



VILLAGE OF MOUNT HOREB

E. Main Street

Mount Horeb, WI 53572

Phone: (608) 437-6884 Fax: (608) 437-3190

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PUBLIC WORKS COMMITTEE AGENDA

Monday, February 24, 2025 at 6:00 PM

Municipal Building Board Room

138 E. Main Street

Mount Horeb, WI

- 1) Call to order
- 2) Roll Call
- 3) Agenda Items
 - a. Consider January 27, 2025 meeting minutes
 - b.
 1. Consider 2025 Street Project:
 - Presentation of 2025 Street Project by Village Engineers
 - PUBLIC HEARING: Preliminary Special Assessment Report for 2025 Street Project
 - Consider any changes/revisions to the Preliminary Special Assessment Report
 - c. Update on Lake Street stormwater project
 - d. Public Services Director's Report
 - e. Consider RFP for facility assessment and space needs study
- 4) Future agenda items
- 5) Set next meeting date and time
- 6) Meeting adjournment.

UPON REASONABLE NOTICE, EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS AND SERVICES. FOR INFORMATION OR TO REQUEST THIS SERVICE, CONTACT ALYSSA GAFFNEY, CLERK, AT 138 E MAIN STREET, MOUNT HOREB, WI (608) 437-9404.



AGENDA ITEM REPORT

MEETING DATE

February 24, 2025

PREPARED BY

AGENDA ITEM # 3.a

Consider January 27, 2025 meeting minutes

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. PW comm minutes 1.27.25



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PUBLIC WORKS COMMITTEE AGENDA

Monday, January 27, 2025 at 6:00 PM

DRAFT MEETING MINUTES

- 1) Call to order
- 2) Roll Call

The Public Works Committee meeting was called to order on the above date at 6:00 pm in the Board Room of the Municipal Building, 138 E. Main Street, Mount Horeb, WI. Members present were Richard Lust, Nate Gauger, Ben Jones, and Marc Schellpfeffer. Also, present were Public Services Director, Jeff Gorman and Utility Office Coordinator, Sara Alderson. Curt Garrity was absent.
- 3) Agenda Items
 - a. Consider July 22, 2024 meeting minutes

Motion by Lust and seconded by Gauger to approve the July 22, 2024, meeting minutes. Motion passed.
 - b. Consider October 28, 2024 meeting minutes

Motion by Gauger to approve October 28, 2024, meeting minutes. Seconded by Lust. Motion carried.
 - c. Consider Community Center painting bids

Jeff Gorman presented the 4 bids for the painting of the outside of the Community Center. \$25,000 has been budgeted for this project.

 - Coplein Painting \$24,855
 - Genesis Painting \$13,617 for paint; additional \$9,775 for carpentry repair work for a total of \$23,392
 - Thrift Painting \$12,340
 - Ayers Painting \$16,490

Jeff recommends going with Thrift Painting.
Lust made a motion to go with Jeff's recommendation of Thrift Painting. Schellpfeffer seconded. Motion carried.
 - d. Update on Lake Street stormwater project

Gorman gave a brief update on the Lake Street Stormwater project. He will have more information after the virtual meeting with Dane County this coming Thursday.

e. Update on 2025 capital projects and purchases

Jeff gave an update on the 2025 capital projects and purchases.

- Jeff approved the low bid from Quality Door and Hardware to replace the service doors and frames \$11,476
- A snow pusher was purchased for \$18,360
- Working on getting the RFP ready for the facility/space needs analysis for the Public Services building \$25,000 budgeted
- Replacement overhead doors have been ordered from R&R Doors \$46,086
- Street maintenance seal coating bids will go out around March 1. Jeff will be contacting Crackfilling Services in February regarding the crackfilling. Work will be done in North Cape Commons/Eastwood Way/Brentwood Ct. \$100,000 budgeted

f. Review tentative 2025 street project schedule

Jeff gave a re-cap of the January 22, 2025, meeting with the engineers and public safety personnel outlining the street project for Blue Mounds St. It will be completed in 3 phases.

- Phase 1 Installation of sidewalk, spot curb repair, and sanitary sewer installation; June 6th deadline
- Phase 2 Dig out of Blue Mounds St. and installation of storm sewer; July 26th deadline
- Phase 3 Fill and overlay of Garfield St; End of August deadline

Approval of the resolutions goes before the Village Board on February 5, 2025. Public Hearing meeting will be on February 24, 2025, during the Public Works Committee meeting. March 5th will be the authorization to bid by the Village Board and then bids can be sent out with a tentative bid opening March 28th. There will be special assessments for the sidewalk property owners; Public Safety Building, School District, and Landsby Ridge.

g. Public Services Director's Report

Director Gorman gave his monthly report and answered questions.

4) Future agenda items

- Public Hearing for streets project and sidewalk assessments
- Discuss Facility Needs Study

5) Set next meeting date and time

Monday, February 24, at 6:00 pm

6) Meeting adjournment.

Motion by Schellpfeffer to adjourn the meeting at 6:34 pm. Motion carried.

Minutes by Sara Alderson, Utility Office Coordinator



AGENDA ITEM REPORT

MEETING DATE

February 24, 2025

PREPARED BY

AGENDA ITEM # 3.b

1. Consider 2025 Street Project:
 - Presentation of 2025 Street Project by Village Engineers
 - PUBLIC HEARING: Preliminary Special Assessment Report for 2025 Street Project
 - Consider any changes/revisions to the Preliminary Special Assessment Report

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. DWG 2025-0212 Preliminary Special Assessment 2025-01 - Schedule A
2. reso 2025-01 prelim spec assessments 2025 street project
3. RPT 2025-0212 Preliminary Special Assessment 2025-01

Mount Horeb 2025 Street Improvements

BLUE MOUNDS STREET (W MAIN ST TO JUSTIN DR)
WEST GARFIELD STREET (WEST VILLAGE LIMITS TO BLUE MOUNDS ST)

FEBRUARY 12, 2025
PRELIMINARY PLANS

SmithGroup Project Number: 15582.000

Sheet List

G-001	TITLE SHEET
G-002	TRAFFIC CONTROL AND DETOURING PLAN
C-001	GENERAL NOTES
C-002	EXISTING CONDITIONS
CS101	BLUE MOUNDS ST PLAN & PROFILE (STA 1000+00 TO 1004+50)
CS102	BLUE MOUNDS ST PLAN & PROFILE (STA 1004+50 TO 1009+00)
CS103	BLUE MOUNDS ST PLAN & PROFILE (STA 1009+00 TO 1013+50)
CS104	BLUE MOUNDS ST PLAN & PROFILE (STA 1013+50 TO 1018+00)
CS105	BLUE MOUNDS ST PLAN & PROFILE (STA 1018+00 TO 1022+50)
CS106	BLUE MOUNDS ST PLAN & PROFILE (STA 1022+50 TO 1027+50)
CS107	W GARFIELD ST PLAN & PROFILE (STA 2000+00 TO 2004+50)
CS108	W GARFIELD ST PLAN & PROFILE (STA 2004+50 TO 2009+00)
CS109	W GARFIELD ST PLAN & PROFILE (STA 2009+00 TO 2009+50)

Prepared for:



VILLAGE OF
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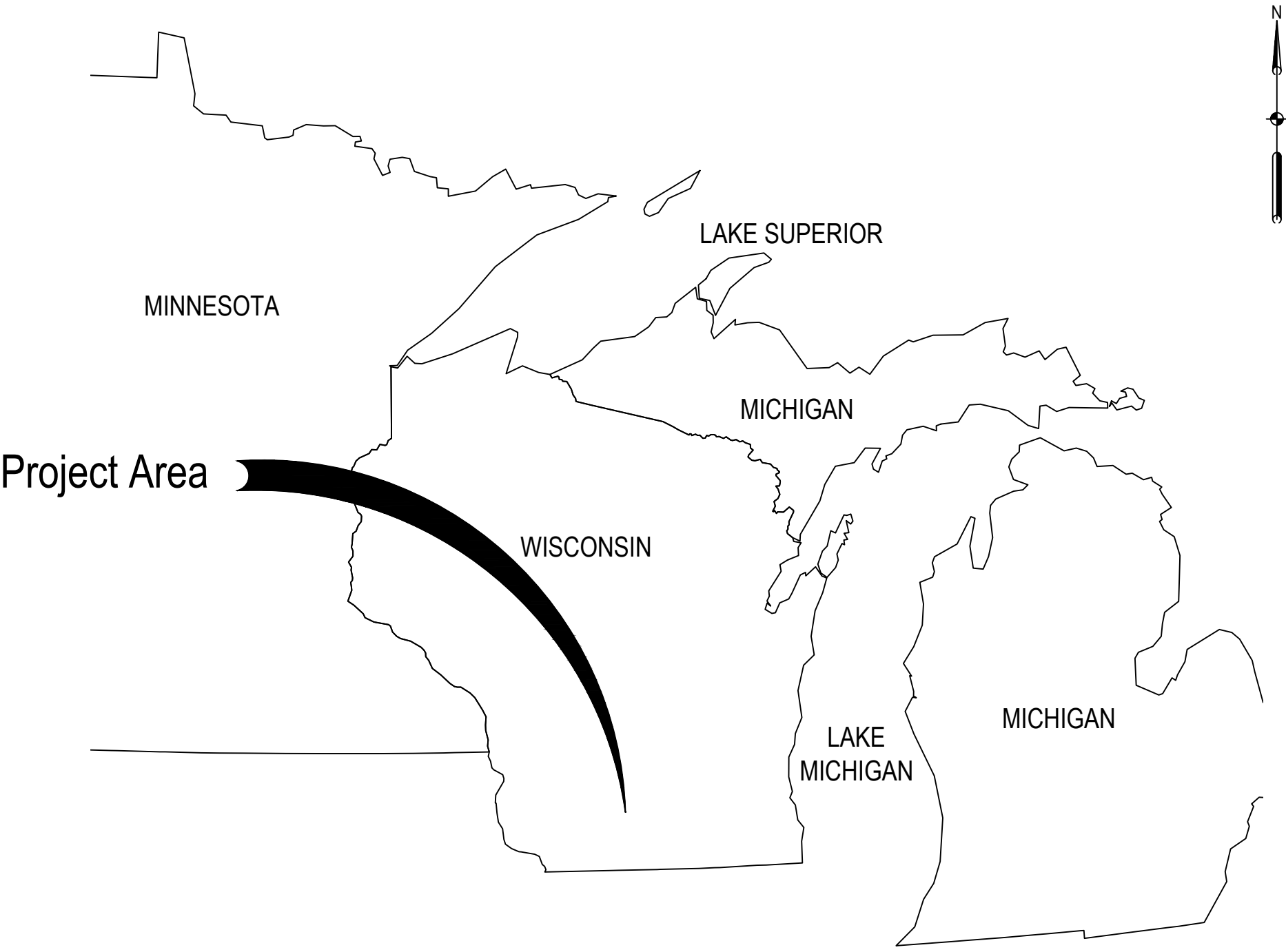
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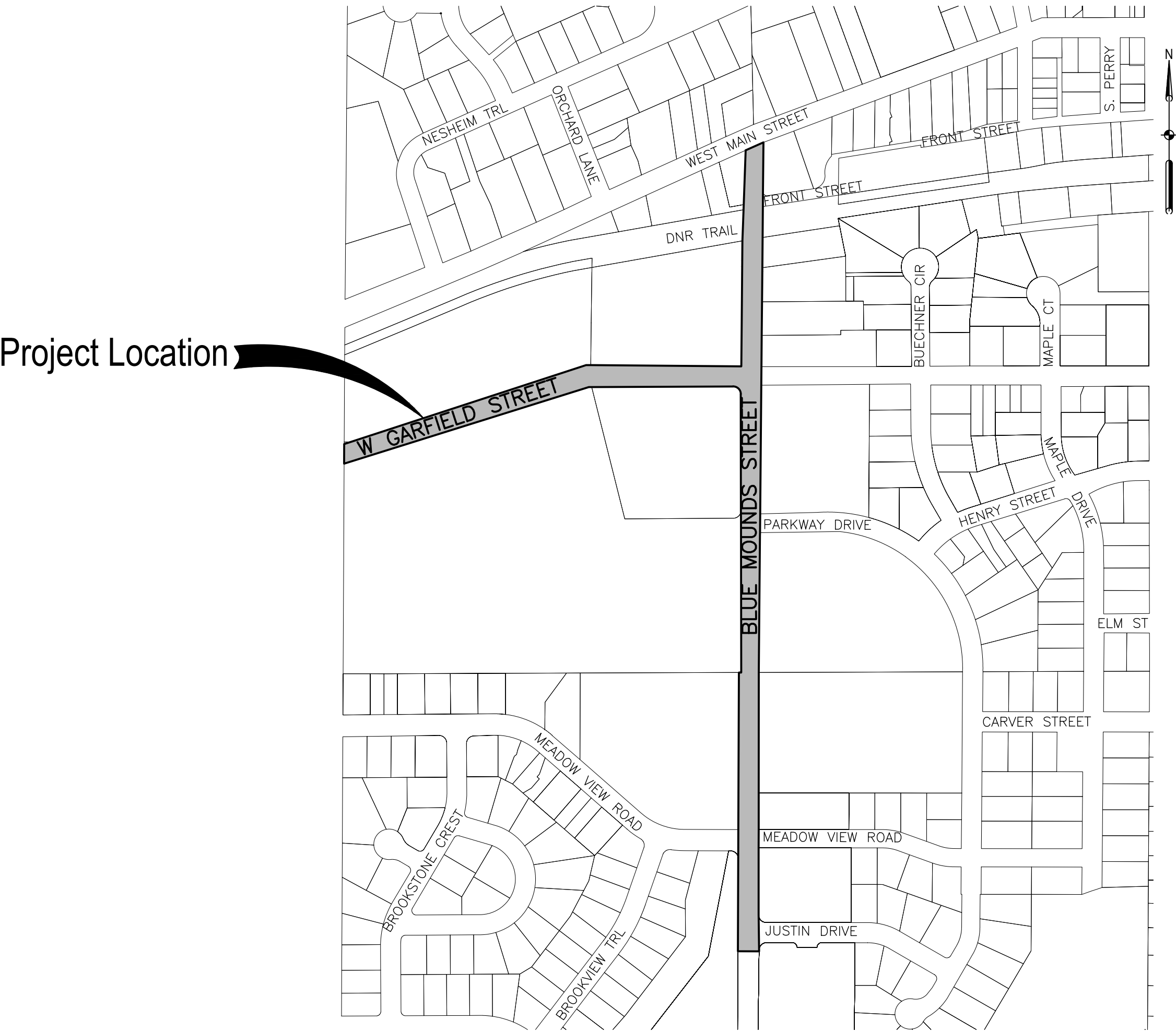
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PROJECT VICINITY MAP
Not to Scale



PROJECT LOCATION MAP
Not to Scale



MOUNT HOREB
2025 STREETS



VILLAGE OF
MOUNT HOREB

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P1	PROPOSED MILITARY RIDGE BICYCLE / PEDESTRIAN DETOUR (PHASE 1 - CONCRETE REPAIRS) CONTRACTOR SHALL PROVIDE TEMPORARY WALKING SURFACES AS NEEDED
P2	PROPOSED MILITARY RIDGE BICYCLE / PEDESTRIAN DETOUR (PHASE 2 - ROADWAY DIG OUT)

-
- Diagram illustrating the placement of signs for a road closure:
- Sign 1: ROAD CLOSED TO THRU TRAFFIC
 - Sign 2: ROAD CLOSED 1/2 MILE AHEAD LOCAL TRAFFIC ONLY

DETOUR
AHEAD

DETOUR



DETOUR
←

END
DETOUR

DETOUR
 $\frac{1}{2}$ MILE

BLUE MOUNDS ST

DETOUR



ROAD CLOSED
1 MILE AHEAD
LOCAL TRAFFIC ONLY

ISSUED FOR

REV DATE

DESIGN DEVELOPMENT

18DEC2024

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE

TRAFFIC CONTROL AND DETOURING PLAN

A horizontal graphic scale bar with tick marks at 0', 100', 200', and 400'. The bar is divided into alternating black and white segments.

SCALE

SCALE

PROJECT NUMBER

DRAWING NUMBER

ABBREVIATIONS

A		M	
ABD	ABANDONED	MATL	MATERIAL
ABS	ACRYLONITRILE BUTADIENE STYRENE	MAX	MAXIMUM
AC	ACRES	M.E.	MATCH EXISTING
ADA	AMERICANS WITH DISABILITIES ACT	MH	MANHOLE
ANLA	AMERICAN NURSERY AND LANDSCAPE ASSOCIATION	MIN	MINIMUM
ARCH	ARCHITECT(URAL)	MISC	MISCELLANEOUS
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	N	
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	N	NORTH, NORTHING COORDINATE
B		NA	NOT APPLICABLE
B.M.	BENCHMARK	NIC	NOT IN CONTRACT
BIT	BITUMINOUS	N.T.S.	NOT TO SCALE
BLDG	BUILDING	O	
B/F	BOTTOM OF FOOTING	O.C.	ON CENTER
B/S	BOTTOM OF SWALE	O.D.	OUTER DIAMETER
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION	OFF	OFFSET
BVCS	BEGINNING OF VERTICAL CURVE STATION	OPT	OPTIONAL
B	BEND (FITTING)	P	
C		PC	POINT OF CURVATURE (POC)
CB	CATCH BASIN	PED	PEDESTRIAN
CI	CURB INLET	PERF	PERFORATED
CIP	CAST IRON PIPE	PERP	PERPENDICULAR
CL	CENTERLINE	PLMB	PLUMBING
CMP	CORRUGATED METAL PIPE	PREP	PREPARATION
CON	CONDENSATE	PROP	PROPOSED
CO	CLEANOUT	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CU FT	CUBIC FOOT	PT	POINT, POINT OF TANGENCY (POT)
CURV	CURVATURE	PVC	POINT OF VERTICAL CURVATURE, POLYVINYL CHLORIDE
CU YD	CUBIC YARD	PVI	POINT OF VERTICAL INTERSECTION
CWR	CHILLED WATER RETURN	PVMT	PAVEMENT
CWS	CHILLED WATER SUPPLY	PWR	POWER
D		Q	
DEMO	DEMOLISH	QTY	QUANTITY
DEPT	DEPARTMENT	R	
DIA	DIAMETER	RAD	RADIUS
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DWG	DRAWING	RD	ROAD
E		REF	REFERENCE
E	EAST, EASTING COORDINATE	REINF	REINFORCED, REINFORCEMENT
EA	EACH	REM	REMOVE
EG	EXISTING GRADE	REQD	REQUIRED
ELEV	ELEVATION	RIM:	RIM ELEVATION
E/P	EDGE OF PAVEMENT (EDGE OF METAL)	ROW	RIGHT OF WAY
EQ	EQUAL	S	
ESVCP	EXTRA STRENGTH VITRIFIED CLAY PIPE	S	SOUTH
EVCE	END OF VERTICAL CURVE ELEVATION	SAN	SANITARY SEWER
EVCS	END OF VERTICAL CURVE STATION	SCH	SCHEDULE
EX	EXISTING	SESC	SOIL EROSION AND SEDIMENTATION CONTROL
F		SP	SPACE, SPACED, SPACING
FF:	FINISH FLOOR ELEVATION	SQ FT	SQUARE FEET
FG	FINISH GRADE	SQ YD	SQUARE YARD
FHWA	FEDERAL HIGHWAY ADMINISTRATION	ST	STREET
FM	FORCE MAIN	STA	STATION
FT	FOOT, FEET	STAG	STAGGER, STAGGERED
FURN	FURNISHING	STD	STANDARD
G		STL	STEEL
G.V.	GATE VALVE	SSL	STAINLESS STEEL
GAS	NATURAL GAS	STM	STORM SEWER
G/C:	GUTTER OF CURB (FLOWLINE)	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
GVL	GRAVEL	T	
H		T	TELECOM
H	HIGH	T/C	TOP OF CURB
HB	HOSE BIBB	TEMP	TEMPORARY
HCAP	ADA HANDICAP	T/F	TOP OF FOOTING
HDPE	HIGH-DENSITY POLYETHYLENE	T/S	TOP OF SWALE
HMA	HOT MIX ASPHALT	T/W	TOP OF WALL
HORZ	HORIZONTAL	TYP.	TYPICAL
HP	HIGH POINT	U	
HT	HEIGHT	UD	UNDERDRAIN
I		UTIL	UTILITY
I.D.	INNER DIAMETER	V	
IN	INCH, INCHES	V/B:	VALVE BOX
INCL	INCLUDE, INCLUDING	VERT	VERTICAL
INV:	PIPE INVERT ELEVATION	W	
IRR	IRRIGATION	W	WEST
K		WM	WATER MAIN
K	K VALUE	W/O	WITHOUT
J		WWF	WELDED WIRE FABRIC
JT	JOINT	Y	
L		YD	YARD DRAIN
L	LENGTH	SYMBOL	
LF	LINEAR FEET	Ø	DIAMETER
LPT	LOW POINT	±	PLUS/MINUS
LN	LANE	Δ	DELTA
LVC	LENGTH OF VERTICAL CURVE		

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WISCONSIN STATUTES. ANY UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY.
2. FOR SPOT REPAIR OF CURB & GUTTER, THE CONTRACTOR SHALL PLACE AGGREGATE BASE COMPACTED TO A MINIMUM THICKNESS OF 5 INCHES UNDER ALL CURB AND GUTTER. AGGREGATE BASE SHALL EXTEND 12 INCHES BEYOND BACK OF CURB. THE COST OF THIS MATERIAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SPOT REPAIR CURB AND GUTTER.
3. THE CONTRACTOR SHALL PLACE 4-INCH DEEP AGGREGATE BASE UNDER ALL SIDEWALKS. THE COST OF THIS MATERIAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALKS.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT CONTRACTORS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
5. ALL UTILITY TRENCHES SHALL HAVE COMPACTED BACKFILL MEETING THE DENSITY REQUIREMENTS OF PART 8, DIVISION II, SECTION 9 OF THE SPECIFICATIONS. EXISTING TRENCH MATERIAL USED FOR BACKFILL MAY CONTAIN STONES UP TO 6 INCHES IN THEIR GREATEST DIMENSION, PROVIDED THE MATERIAL IS WELL-GRADED SO AS NOT TO PRODUCE VOIDS. WHERE REQUIRED BY THE VILLAGE ENGINEER, SAND SHALL BE MIXED WITH EXISTING MATERIAL TO IMPROVE THE GRADATION AND PREVENT THE FORMATION OF VOIDS.
6. BACKFILL MATERIAL SHALL BE FREE OF VEGETATION, ORGANIC MATTER, TOPSOIL, FROZEN SOIL, CLODS AND STONES OVER 6" IN DIAMETER, OR ANY OTHER UNSUITABLE MATERIAL. ALL BACKFILL SHALL BE CAREFULLY PLACED TO PREVENT DAMAGE TO OR DISPLACEMENT OF THE PIPE.
7. NO BLASTING SHALL OCCUR WITHIN 30 FEET OF EXISTING UTILITIES.
8. ALL TRAFFIC SIGNING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. EXISTING STREET AND TRAFFIC SIGNS AND MAIL BOXES SHALL BE REMOVED AND REPLACED IN A SAFE LOCATION BY THE CONTRACTOR AS NECESSARY TO COMPLETE THE WORK. THE METHOD OF REPLACEMENT SHALL BE APPROVED BY THE ENGINEER. SEE SPECIAL PROVISIONS OF THE CONTRACT FOR OTHER REQUIREMENTS.
9. THE CONTRACTOR SHALL KEEP DRIVEWAYS OPEN TO VEHICLES AT ALL TIMES EXCEPT WHEN NEW CURB OR WALK IS BEING CONSTRUCTED AND CURING. THE CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS 24 HOURS IN ADVANCE OF CURB AND SIDEWALK CONSTRUCTION SO THAT PROPERTY OWNERS CAN REMOVE VEHICLES FROM THEIR DRIVEWAYS PRIOR TO CONSTRUCTION. DRIVEWAYS SHALL BE RESTORED WITH 6 INCHES OF AGGREGATE BASE IMMEDIATELY AFTER REMOVAL.
10. THE CONTRACTOR SHALL INSTALL DOT TYPE D INLET PROTECTION IN ALL EXISTING INLETS WITHIN THE PROJECT SITE AND IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE, AND AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL MAINTAIN THE INLET PROTECTION DEVICES DURING CONSTRUCTION AND THROUGH THE ONE-YEAR GUARANTEE PERIOD AS REQUIRED BY THE VILLAGE ENGINEER. THE COST OF INLET PROTECTION IS INCIDENTAL TO CONSTRUCTION.
11. THIRTY DAYS PRIOR TO PLACING AGGREGATE BASE, THE CONTRACTOR SHALL PROVIDE COPIES OF CURRENT TEST RESULTS (TESTS RUN WITHIN THE PREVIOUS 12 MONTHS) FROM THE SOURCE STOCK PILES TO BE USED ON THE PROJECT SHOWING THE MATERIAL MEETS THE GRADATION, SOUNDNESS, AND WEAR REQUIREMENTS OF THE SPECIFICATION. IF CURRENT TEST RESULTS ARE NOT AVAILABLE, THE CONTRACTOR, AT THEIR EXPENSE, SHALL HAVE THE REQUIRED TESTS RUN. THE VILLAGE ENGINEER, AT THE CONTRACTOR'S EXPENSE, WILL COLLECT SAMPLES DURING THE PLACEMENT OF THE BASE COURSE FOR TESTING TO CONFIRM THE MATERIAL MEETS THE SPECIFICATIONS. ANY MATERIAL FOUND TO BE OUT OF SPECIFICATION SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE VILLAGE ENGINEER TWO (2) WORKING DAYS PRIOR TO PLACING AGGREGATE BASE.
12. THE CONTRACTOR SHALL PROTECT ALL CURBS AND WALKS FROM EROSION AND UNDERCUTTING. THE CONTRACTOR SHALL CONSTRUCT DIVERSION BERMS AS NECESSARY TO PREVENT UNDERCUTTING. ANY CURB OR WALK WHICH IS UNDERCUT SHALL BE REMOVED AND REPLACED, AT THE EXPENSE OF THE CONTRACTOR.
13. ACCESSIBLE RAMPS AND DETECTABLE WARNING FIELD PANELS SHALL BE INSTALLED AT ALL INTERSECTIONS PER SSD 805 WISDOT CURB RAMP DETAIL.
14. WHERE PROPOSED PAVEMENT, SIDEWALK, OR CURB AND GUTTER ABUT EXISTING, MATCH EXISTING GRADE.
15. CONTRACTOR TO NOTIFY FIRE AND EMS PRIOR TO START OF CONSTRUCTION.
16. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE ENGINEER SHALL BE NOTIFIED AND WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
17. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
18. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC.
19. SECURE ALL NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
20. ESTABLISH AND MAINTAIN SITE SECURITY UNTIL PROJECT ACCEPTANCE.
21. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
22. DISPOSE ALL ELEMENTS DESIGNATED FOR REMOVAL IN A LEGAL MANNER.

EROSION CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING ALL EROSION CONTROL BERMES AND OTHER EROSION CONTROL MEASURES UNTIL FINAL ACCEPTANCE OF THE WORK AND THE SEEDED AREAS ARE WELL ESTABLISHED.
2. EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF OTHER CONSTRUCTION ACTIVITIES.
3. ALL INLETS SHALL RECEIVE TYPE A, B, C, OR D INLET PROTECTION. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE INLET.
4. ALL DISTURBED AREAS EXCEPT TERRACES SHALL BE RE-TOPSOILED TO A MINIMUM DEPTH OF 4 INCHES, SEEDED, FERTILIZED, AND MULCHED BY THE CONTRACTOR WITHIN 14 DAYS OF INITIAL DISTURBANCE.
5. THE CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCE OR SEDIMENT CONTROL TUBES IN ACCORDANCE WITH THE STANDARD DETAIL DRAWINGS SHOWN AT LOCATIONS DETERMINED BY THE ENGINEER.
6. A CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE LOCATIONS SHOWN TO PREVENT TRACKING OF SOIL ONTO EXISTING STREETS. THE CONTRACTOR SHALL CLEAN ALL TRACKED SOIL FROM ROADWAYS AT THE END OF EACH WORK DAY AND AS DIRECTED BY THE ENGINEER.

4. ALL DISTURBED AREAS OUTSIDE THE STREET RIGHT-OF-WAY SHALL BE SEEDED WITH OLDS LAWN SEED, QUICK-TO-GROW, OR APPROVED EQUAL, AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET AND MULCHED WITH CLEAN STRAW MULCH AT THE RATE OF 70-130 POUNDS PER 1,000 SQUARE FEET. ALL DISTURBED AREAS SHALL BE DEEP TILLED PRIOR TO SEEDING AND MULCHING. MULCH SHALL BE PUNCHED INTO THE SOIL TO A MINIMUM DEPTH OF 2 INCHES USING A MULCH TILLER WHILE TRAVELING ON THE CONTOUR.
8. THE CONTRACTOR SHALL NOTIFY THE VILLAGE ENGINEER 2 DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
9. THE CONTRACTOR SHALL INSTALL EROSION MAT IN ALL DRAINAGE SWALES AS SHOWN ON THE PLAN.
10. SILT FENCE SHALL BE INSTALLED AROUND THE DOWNSTREAM EDGES OF ALL TOPSOIL STOCKPILES. ALL TOPSOIL STOCKPILES REMAINING FOR LONGER THAN A ONE WEEK PERIOD SHALL BE SEEDED AND MULCHED BY THE CONTRACTOR. SEEDING AND MULCHING TOPSOIL PILES IS INCIDENTAL TO UNCLASSIFIED EXCAVATION AND NO ADDITIONAL PAYMENT WILL BE MADE.
11. IF THE CONTRACTOR IS UNABLE TO SEED AND MULCH THE TERRACE AREAS WITHIN 48 HOURS OF THE PLACEMENT OF TOPSOIL, THE CONTRACTOR SHALL INSTALL 6-FOOT WIDE EROSION MAT BEHIND THE CURB AND GUTTER. THE COST OF PLACING THIS EROSION MAT IS INCIDENTAL TO TERRACE RESTORATION.
12. THE CONTRACTOR SHALL CLEAN SEDIMENT FROM THE CURB AND GUTTER AFTER EACH RAIN AND PRIOR TO FINAL ACCEPTANCE.
13. PLACE TEMPORARY SEED IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING. TEMPORARY SEED SHALL BE PLACED IN ACCORDANCE WITH SECTION 630 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
14. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE LOCAL EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE AT ALL TIMES. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED AND SUBMITTED TO THE VILLAGE'S PROJECT INSPECTOR.
15. ALL 4:1 OR STEEPER SLOPES SHALL BE TREATED WITH AN APPLICATION OF POLYACRYLAMIDE SOIL STABILIZER DURING THE RESTORATION PROCEDURES.
16. ALL PERMANENT RIP RAP SHALL HAVE NON-WOVEN GEOTEXTILE FABRIC INSTALLED UNDERNEATH.
17. FOR THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION OF A DISTURBED AREA, PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO PROVIDE WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER HAS ELAPSED.

CURB & GUTTER, DRIVEWAY, AND SIDEWALK NOTES:

1. CONCRETE USED IN THE WORK SHALL CONTAIN A MINIMUM OF 6 BAGS (94 LBS. NET) OF CEMENT PER CUBIC YARD. CONCRETE SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 POUNDS PER SQUARE INCH. ALL CONCRETE SHALL BE AIR ENTRAINED TO 6% AIR BY VOLUME PLUS OR MINUS 1.5 PERCENT. CONCRETE SHALL BE PLACED WITH A SLUMP OF NOT LESS THAN 2 INCHES AND NOT MORE THAN 4 INCHES.
2. CONCRETE SHALL BE PLACED ON CRUSHED STONE BASE, MECHANICALLY COMPACTED TO 95% MAXIMUM DENSITY. THE COSTS OF BASE COURSE SHALL BE INCLUDED IN THE BID PRICE FOR SIDEWALK, DRIVEWAY, AND CURB & GUTTER CONSTRUCTION.
3. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH.
4. TRANSVERSE EXPANSION JOINTS SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AND BE ONE-HALF INCH (1/2") THICK, AND SHALL BE PLACED ACROSS THE CURB AND GUTTER PERPENDICULAR TO THE CURB LINE AT ALL RADIUS POINTS OF CURVES HAVING A RADIUS OF TWO HUNDRED FEET (200') OR LESS, AND ON BOTH SIDES OF ALL INLETS INSTALLED IN CURB & GUTTER. ALL EXPANSION JOINTS SHALL EXTEND THROUGH THE ENTIRE THICKNESS OF THE CURB & GUTTER AND SHALL BE PERPENDICULAR TO THE SURFACE. ALL EXPANSION JOINTS SHALL BE FORMED BY INSERTING DURING CONSTRUCTION AND LEAVING IN PLACE.
5. WHERE CURB & GUTTER AND CONCRETE SIDEWALK OR CONCRETE DRIVEWAY JOIN, AN EXPANSION JOINT ONE INCH (1") IN WIDTH MUST BE CONSTRUCTED BETWEEN WALKS AND CURB.
6. THE CONTRACTOR SHALL PROTECT THE CONCRETE FROM TRAFFIC, FREEZING, EROSION, AND OTHER DAMAGE UNTIL ACCEPTED BY THE OWNER. ALL AREAS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
7. TYPE "X" DRIVEWAY SHALL BE INSTALLED AT LOCATIONS REQUESTED BY ENGINEER IN FIELD OR AS SHOWN ON THE DRAWINGS.
- 8.
9. STORM SEWER INLET CASTINGS SHALL BE NEEHAH FOUNDRY CASTING R-3067-C CURB INLET. ALL INLET GRATES ON STREET GRADES OF 1% OR GREATER SHALL BE NEEHAH FOUNDRY TYPE V (VANE) GRATES, OR APPROVED EQUAL. INLET GRATES ON STREET GRADES OF LESS THAN 1% OR IN SUMP CONDITION SHALL BE NEEHAH FOUNDRY TYPE R, OR APPROVED EQUAL.
10. MANHOLE STEPS SHALL BE EQUAL TO NEEHAH R-1982-F CAST IRON STEP. M.A. INDUSTRIES INC. COPOLYMER STEP WITH 1/2-INCH GRADE 60 STEEL REINFORCEMENT IS AN APPROVED EQUAL.
11. CONCRETE BLOCK MANHOLE APPROVED BY THE ENGINEER WILL BE PERMITTED AS AN ALTERNATE ON STORM SEWER WORK.
12. REINFORCED PRECAST FLAT SLAB COVERS SHALL BE USED IN LIEU OF PRECAST CONCENTRIC CONES WHEN REQUIRED.
13. CONCRETE USED FOR POURED-IN-PLACE STRUCTURES SHALL CONTAIN A MINIMUM OF 6 BAGS (94 NET POUNDS) OF CEMENT PER CUBIC YARD. CONCRETE SHALL OBTAIN A MINIMUM 28 DAY STRENGTH OF 3,000 POUNDS PER SQUARE INCH. CONCRETE SHALL BE AIR ENTRAINED TO 6% AIR BY VOLUME, PLUS OR MINUS 1.5%. CONCRETE SHALL BE PLACED WITH A SLUMP OF NOT LESS THAN 3 INCHES OR MORE THAN 4 INCHES.
14. UNLESS OTHERWISE SPECIFIED ON THE PLANS, REINFORCING STEEL SHALL BE DEFORMED ROUND STEEL BARS CONFORMING TO ASTM A615, GRADE 40. ALL BARS SHALL BE EPOXY COATED.
15. ALL MANHOLES SHALL BE WATER TIGHT. ADJUSTING RINGS ON MANHOLES SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE PLASTERED INSIDE AND OUTSIDE WITH 1/2-INCH OF TYPE M OR S MORTAR.
16. INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IT IS REQUIRED THAT 3 FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF TYPE M OR S MORTAR, WITH THICKNESS AS SHOWN IN TYPE H STORM SEWER INLET. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ADJUSTING RINGS SHALL BE PLASTERED INSIDE AND OUTSIDE WITH 1/2-INCH OF TYPE M OR S MORTAR. ONCE THE CASTING ADJUSTMENT IS COMPLETE, 3 FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
17. THE CONTRACTOR SHALL INSTALL DOT TYPE D INLET PROTECTION IN ALL NEW INLETS. THE CONTRACTOR SHALL MAINTAIN THE INLET PROTECTION DEVICES DURING CONSTRUCTION AND THROUGH THE ONE-YEAR GUARANTEE PERIOD AS REQUIRED BY THE VILLAGE ENGINEER.

SANITARY SEWER NOTES*

1. ALL SANITARY SEWER SHALL BE PVC, ASTM D-3033 OR 3034, SDR 35.
2. SANITARY SEWER LATERALS SHALL BE FOUR INCH (4") DIAMETER UNLESS OTHERWISE SHOWN ON THE PLANS, AND SHALL BE THE SAME MATERIAL AS THE SEWER MAIN. ALL LATERALS SHALL BE LAID AT A SLOPE OF 1/4" PER FOOT UNLESS OTHERWISE INDICATED AND SHALL BE EXTENDED TEN FEET (10') INTO THE LOT. THE ENDS OF ALL LATERALS SHALL BE MARKED WITH 4"x4" POSTS EXTENDING FOUR FEET (4') BELOW THE GROUND TO THREE FEET (3') ABOVE GROUND. THE CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF THE LOCATION OF ALL WYES AND LATERALS INSTALLED AND SHALL PRESENT THIS WRITTEN RECORD TO ENGINEER PRIOR TO FINAL PAYMENT.
3. SANITARY SEWER MANHOLE CASTINGS SHALL BE NEENAH FOUNDRY CASTING R-1550 MANHOLE FRAME, WITH R-1550 TYPE "B" SELF-SEALING MANHOLE LID WITH CONCEALED PICK HOLES, OR APPROVED EQUAL. ADJUSTMENT OF EXISTING AND SALVAGED MANHOLE CASTINGS IS INCIDENTAL TO ADJACENT WORK.
4. MANHOLE FRAME AND COVER SHALL BE MACHINED AND FITTED SO THAT ROCKING AND CHATTERING WILL BE ELIMINATED.
5. MANHOLE STEPS SHALL BE EQUAL TO NEENAH R-1982-F CAST IRON STEP. M.A. INDUSTRIES INC. COPOLYMER STEP WITH 1/2" GRADE 60 STEEL REINFORCEMENT IS APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.
6. CONCRETE BLOCK MANHOLE APPROVED BY THE ENGINEER WILL BE PERMITTED AS AN ALTERNATE ON STORM SEWER WORK ONLY.
7. REINFORCED PRECAST FLAT SLAB COVERS SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CONES WHEN DIRECTED BY THE ENGINEER.
8. INSIDE DIMENSIONS OF MANHOLES ARE AS FOLLOWS:
4" DIAMETER FOR PIPE THROUGH 15" DIAMETER.
5" DIAMETER FOR PIPE THROUGH 18" THROUGH 27" DIAMETER.
6" DIAMETER FOR PIPE 30" THROUGH 36" DIAMETER.
9. OUTSIDE DOW ENTRANCES SHALL BE PROVIDED ON MANHOLES FOR ALL SANITARY SEWERS WHERE INLET TO OUTLET DISTANCE IS 2' OR GREATER.
10. SEWER BEDDING SHALL BE CLASS B OR AS SPECIFIED IN THE SPECIAL PROVISIONS.

*THE ABOVE NOTES ARE FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT INCLUSIVE NOR DO THEY SUPERSEDE THE SPECIFICATIONS.

MOUNT HOREB
2025 STREETS

BLUE MOUNDS ST (W MAIN ST TO JUSTIN DR)
W GARFIELD ST (W VILLAGE LIMITS TO BLUE MOUNDS ST)

M

VILLAGE OF
MOUNT HOREB

THE VILLAGE OF MOUNT HOREB

SMITHGROUP

44 EAST MIFFLIN STREET
SUITE 500
MADISON, WI 53703
608.251.1177
[www.smithgroup.com](#)

ISSUED FOR	REV	DATE
DESIGN DEVELOPMENT		18DEC2024

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE

GENERAL NOTES

SCALE

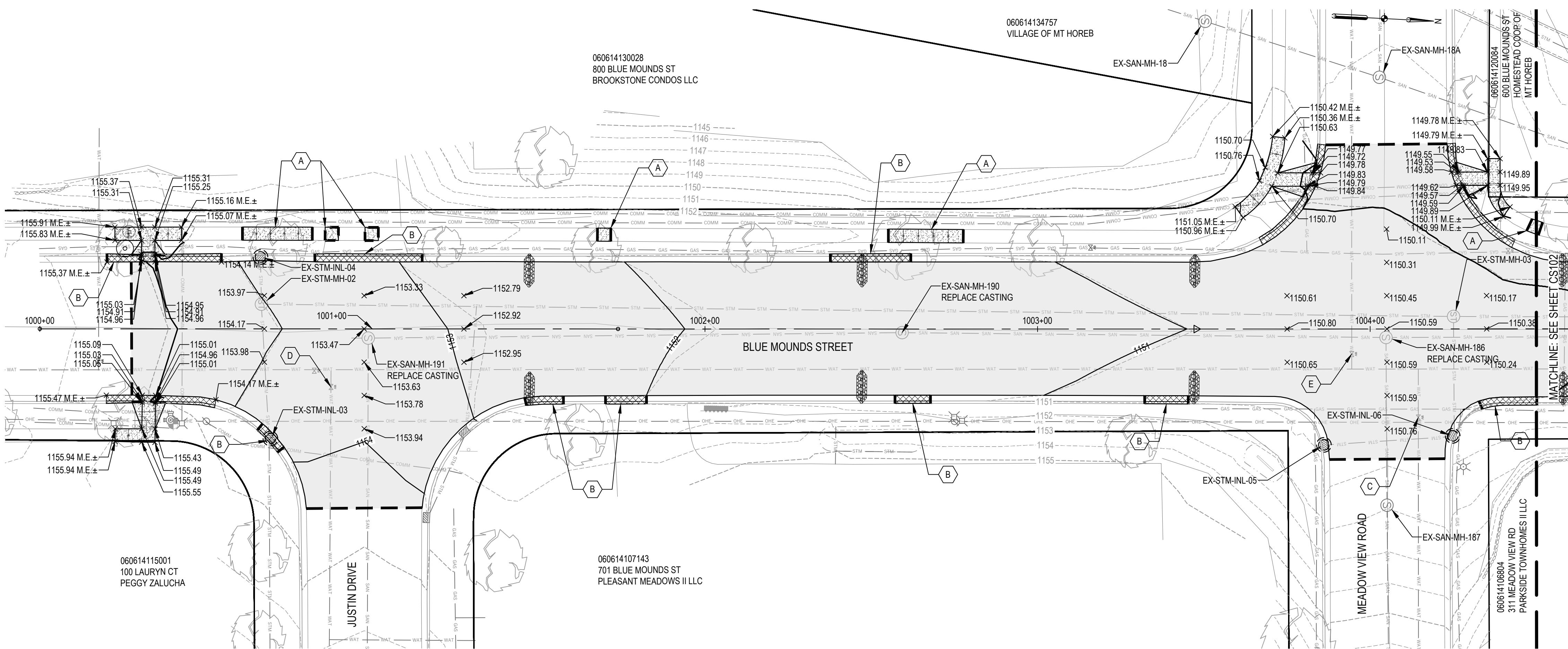
15582.00'

PROJECT NUMBER

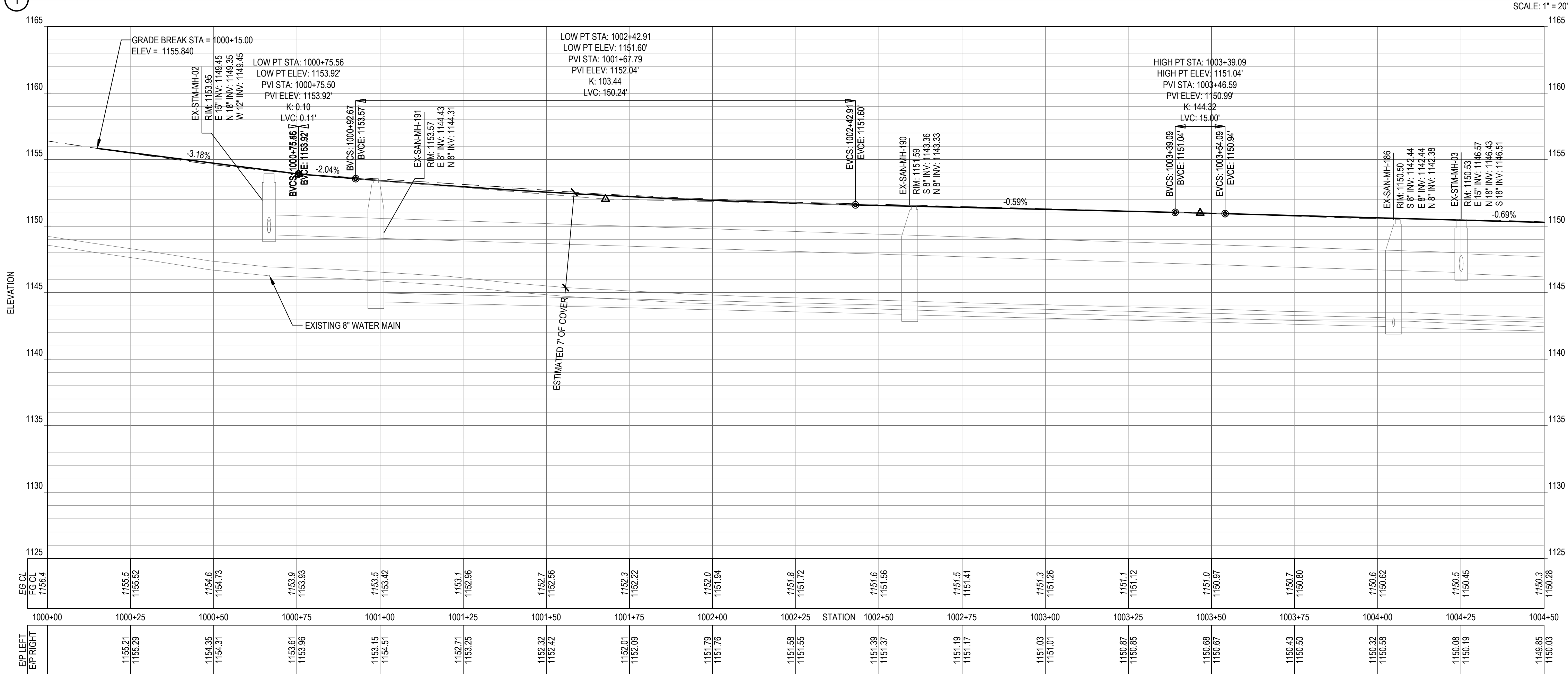
C-001

DRAWING NUMBER

FILE C:\Users\jblou\OneDrive\Documents\SmithGroup\14939.000 - Mt Horeb 2024 Street & Utility Reconstruction\Project Files\BIM\05 Civil\Survey\MOVE TO 2025\SH-XXXX-CS101.dwg USER: jblou DATE: Feb, 12 2025 TIME: 04:52 pm



1 BLUE MOUNDS ST PLAN (STA 1000+00 TO 1004+50)



2 BLUE MOUNDS ST PROFILE (STA 1000+00 TO 1004+50)

SHEET NOTES

- SEE SHEET C-002 FOR SURVEY LEGEND, NOTES, BENCHMARKS, AND STRUCTURE TABLES.
- SEE SHEET C-001 FOR GENERAL NOTES, INCLUDING EROSION CONTROL NOTES.
- MAINTAIN CONTINUOUS TRAFFIC ACCESS THROUGH INTERSECTIONS AND DRIVEWAYS DURING CONSTRUCTION.
- ALL CURB & GUTTER REPLACEMENT SHALL BE REMOVED TO NEAREST JOINT. MATCH EXISTING GRADE AND DRAINAGE PATTERNS. SEE CURB DETAILS ON SHEET CS503.
- CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL EXCAVATED PAVEMENT AREAS ARE COVERED WITH AGGREGATE BASE COURSE AT THE END OF EACH WORKING DAY AND PRIOR TO ANY RAINFALL EVENT.
- PREPARE ALL SUBGRADES IN ACCORDANCE WITH RECOMMENDATIONS OF THE ENGINEER. PROVIDE PROOF OF ALL REQUIRED SOIL COMPACTION TO THE OWNER.
- WATER LATERAL CROSSINGS SHALL BE MIN. 6" ABOVE OR MIN. 18" BELOW SANITARY SEWER WITH FULL LENGTH OF PIPE CENTERED ON THE CROSSING.

KEYED NOTES

- A** SPOT REPAIR SIDEWALK
- B** SPOT REPAIR CURB
- C** REPLACE TOP SECTION OF 8" GATE VALVE
- D** REPLACE 8" GATE VALVE ADAPTOR, 8" GATE VALVE BOX AND BACK FILL WITH CLEAN STONE
- E** REPLACE 10" GATE VALVE ADAPTOR, 10" GATE VALVE BOX AND BACK FILL WITH CLEAN STONE

LEGEND

- APPROX PARCEL LINE FROM GIS
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SAWCUT
- ASPHALT PAVEMENT
- MILL AND OVERLAY
- CONCRETE PAVEMENT
- CURB RAMP
- SPOT REPAIR CURB AND GUTTER
- REMOVE
- SANITARY MANHOLE
- SANITARY SEWER
- SANITARY SEWER SPOT REPAIR
- STORM MANHOLE
- CURB INLET
- STORM SEWER
- TREE PROTECTION
- INLET PROTECTION
- STONE WEEPER

MOUNT HOREB

2025 STREETS

BLUE MOUNDS ST (W MAIN ST TO JUSTIN DR)
W GARFIELD ST (W VILLAGE LIMITS TO BLUE MOUNDS ST)



THE VILLAGE OF MOUNT HOREB

SMITHGROUP

44 EAST MIFFLIN STREET
SUITE 500
MADISON, WI 53703
608.251.1177
www.smithgroup.com

ISSUED FOR

REV DATE

DESIGN DEVELOPMENT

18DEC2024

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE

BLUE MOUNDS ST PLAN &
PROFILE (STA 1000+00 TO
1004+50)

0' 10' 20' 40'
SCALE

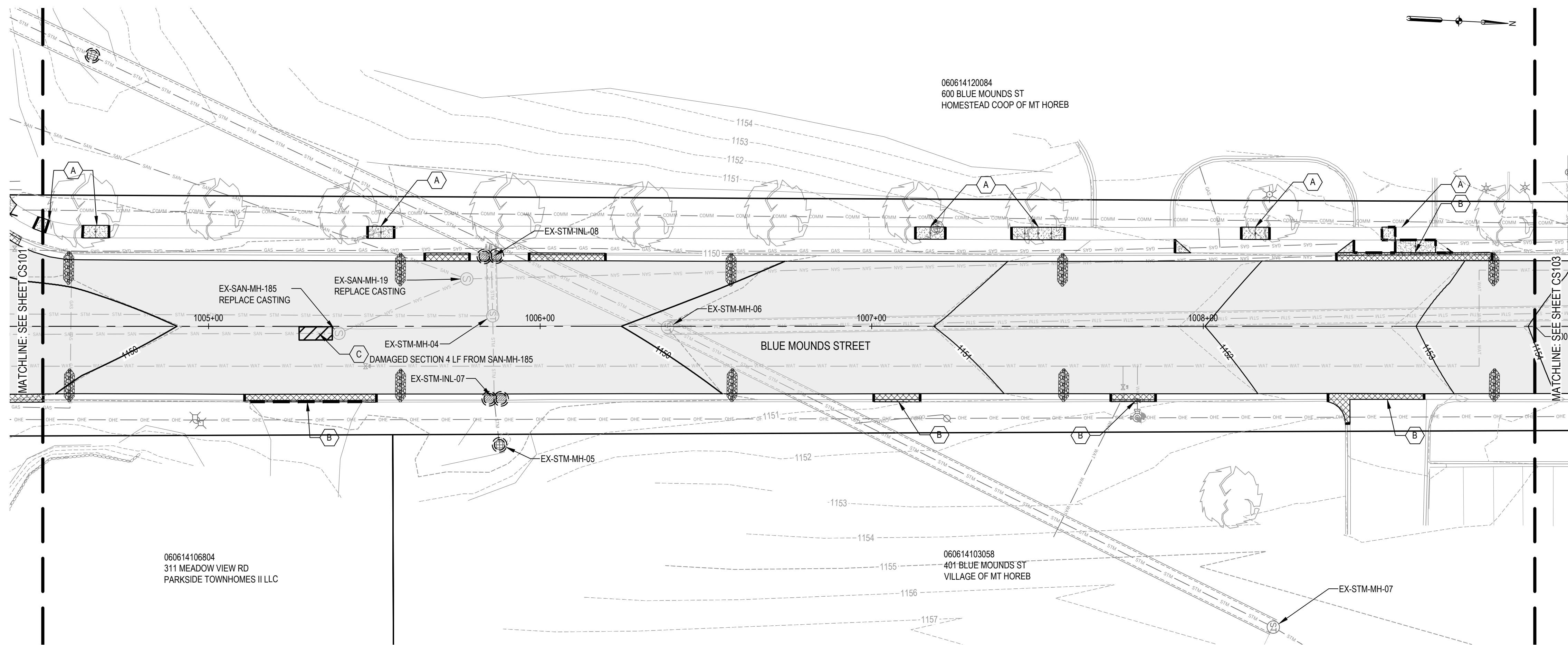
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PROJECT NUMBER

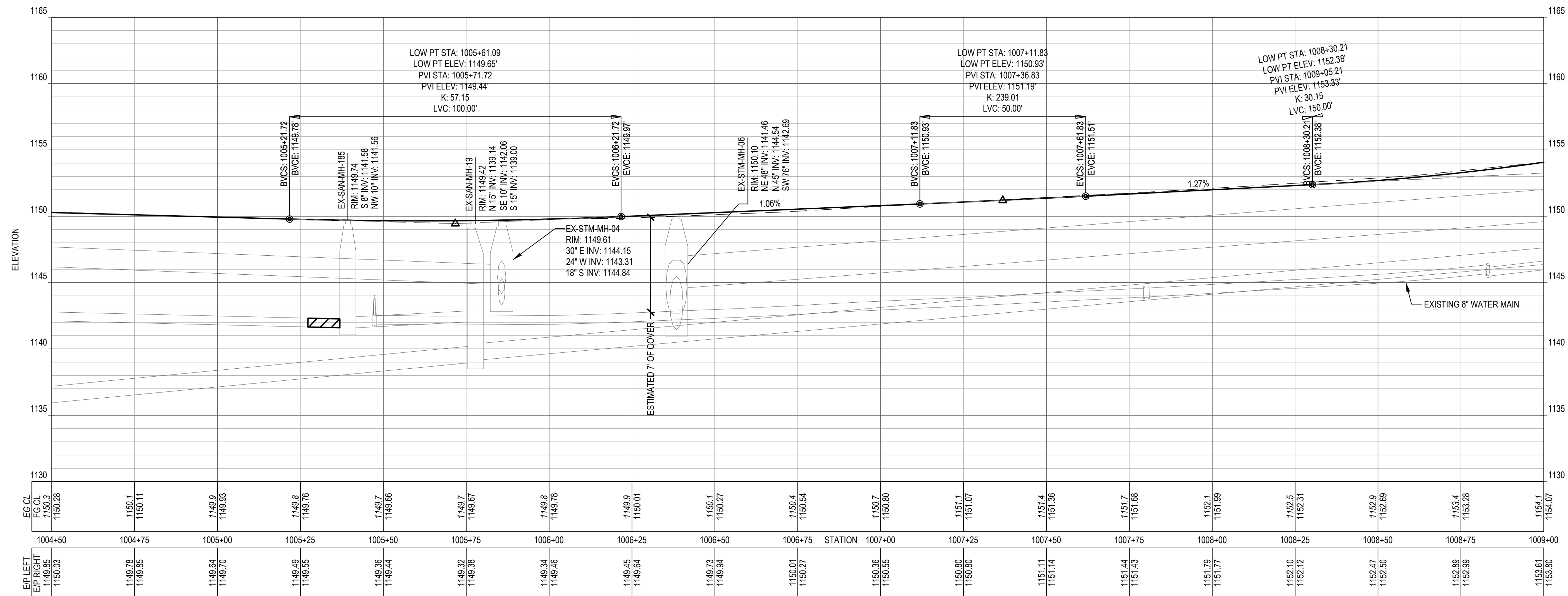
CS101

DRAWING NUMBER



1 BLUE MOUNDS ST PLAN (STA 1004+50 TO 1009+00)

SCALE: 1" = 20'



2 BLUE MOUNDS ST PROFILE (STA 1004+50 TO 1009+00)

HORIZ SCALE: 1" = 20'
VERT SCALE: 1" = 5'

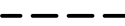
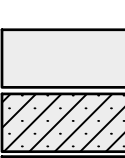
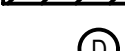
SHEET NOTES

1. SEE SHEET C-002 FOR SURVEY LEGEND, NOTES, BENCHMARKS, AND STRUCTURE TABLES.
2. SEE SHEET C-001 FOR GENERAL NOTES, INCLUDING EROSION CONTROL NOTES.
3. MAINTAIN CONTINUOUS TRAFFIC ACCESS THROUGH INTERSECTIONS AND DRIVEWAYS DURING CONSTRUCTION.
4. ALL CURB & GUTTER REPLACEMENT SHALL BE REMOVED TO NEAREST JUNCTION. MATCH EXISTING GRADE AND DRAINAGE PATTERNS. SEE CURB DETAILS ON SHEET C5503.
5. CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL EXCAVATED PAVEMENT AREAS ARE COVERED WITH AGGREGATE BASE COURSE AT THE END OF EACH WORKING DAY AND PRIOR TO ANY RAINFALL EVENT.
6. PREPARE ALL SUBGRADES IN ACCORDANCE WITH RECOMMENDATIONS OF THE ENGINEER. PROVIDE PROOF OF ALL REQUIRED SOIL COMPACTION TO THE OWNER.
7. WATER LATERAL CROSSINGS SHALL BE MIN. 6" ABOVE OR MIN. 18" BELOW SANITARY SEWER WITH FULL LENGTH OF PIPE CENTERED ON THE CROSSING.

KEYED NOTES

- | | |
|----------|---|
| A | SPOT REPAIR SIDEWALK |
| B | SPOT REPAIR CURB |
| C | REMOVE DAMAGED 10' SECTION OF PVC PIPE SANITARY SEWER.
REPLACE WITH PVC TO MATCH SIZE AND SLOPE. |

LEGEND

- | | |
|---|---|
|  | APPROX PARCEL LINE FROM GIS |
|  | RIGHT-OF-WAY LINE |
|  | PROPERTY LINE |
|  | EXISTING MAJOR CONTOUR |
|  | EXISTING MINOR CONTOUR |
|  | PROPOSED MAJOR CONTOUR |
|  | PROPOSED MINOR CONTOUR |
|  | SAWCUT |
|  | ASPHALT PAVEMENT
MILL AND OVERLAY
CONCRETE PAVEMENT |
|  | CURB RAMP |
|  | SPOT REPAIR CURB AND GUTTER |
|  | REMOVE |
|  | SANITARY MANHOLE |
|  | SANITARY SEWER |
|  | SANITARY SEWER SPOT REPAIR |
|  | STORM MANHOLE |
|  | CURB INLET |
|  | STORM SEWER |
|  | TREE PROTECTION |
|  | INLET PROTECTION |
|  | STONE WEEPER |

MOUNT HORFB

2025 STREETS

BLUE MOUNDS ST (W MAIN ST TO JUSTIN DR)
W GARFIELD ST (W VILLAGE LIMITS TO BLUE MOUNDS ST)



THE VILLAGE OF MOUNT HOREB

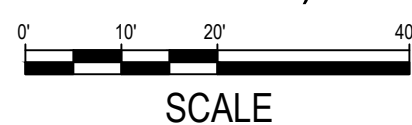
SMITHGROUP

44 EAST MIFFLIN STREET
SUITE 500
MADISON, WI 53703
608.251.1177
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[illegible]

KEY PLAN

DRAWING TITLE
BLUE MOUNDS ST PLAN &
PROFILE (STA 1004+50 to
1009+00)



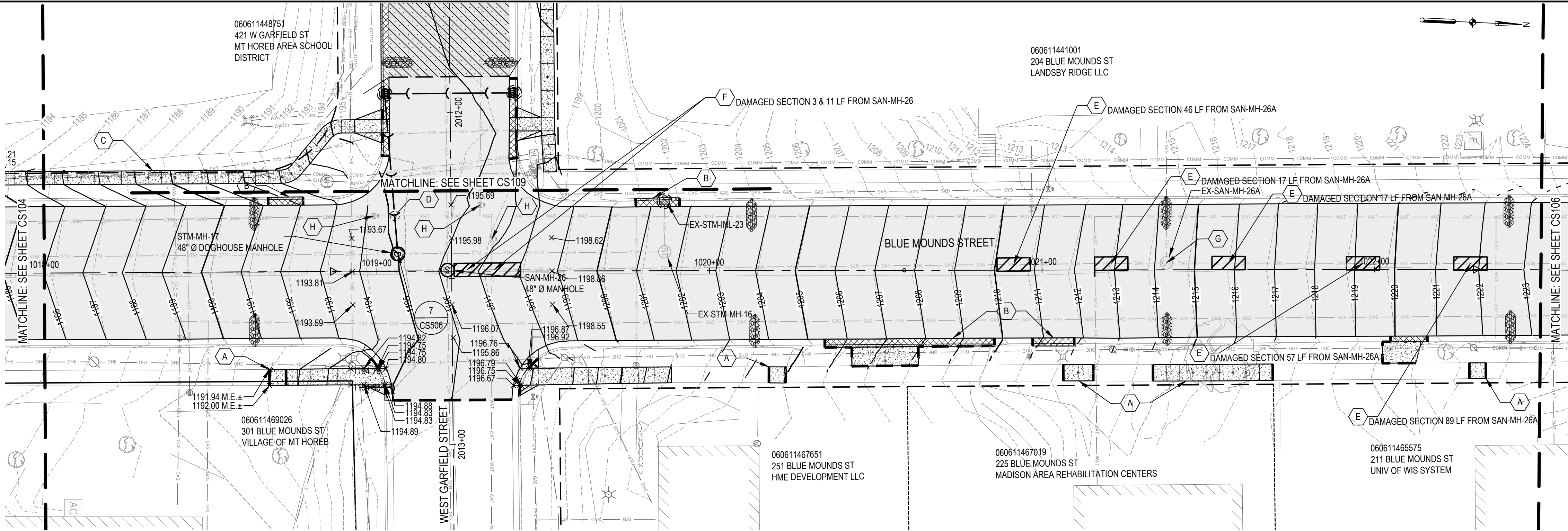
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PROJECT NUMBER

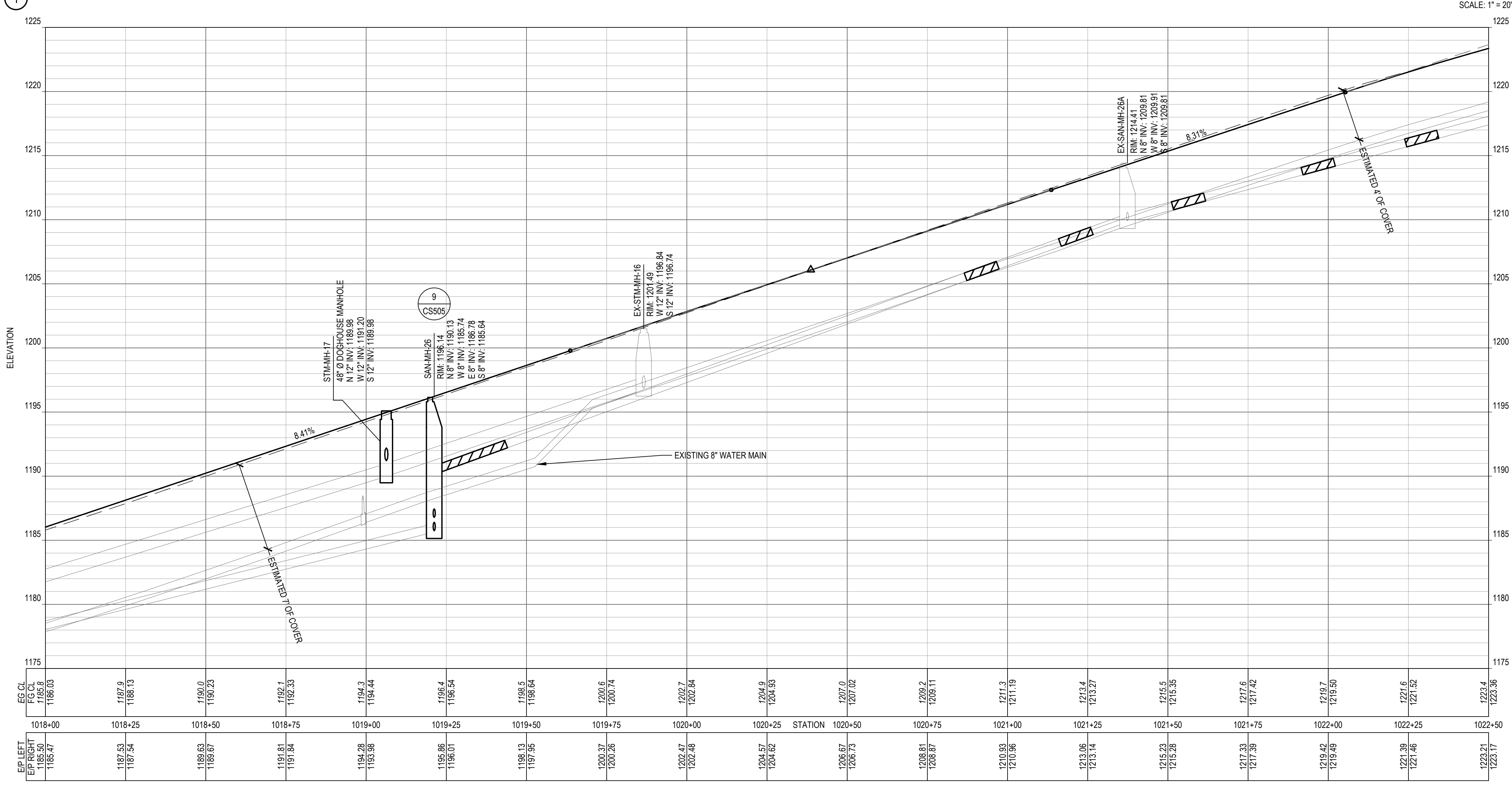
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DRAWING NUMBER

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1 BLUE MOUNDS ST PLAN (STA 1018+00 TO 1022+50)



2 BLUE MOUNDS ST PROFILE (STA 1018+00 TO 1022+50)

SHEET NOTES

- SEE SHEET C-002 FOR SURVEY LEGEND, NOTES, BENCHMARKS, AND STRUCTURE TABLES.
- SEE SHEET C-001 FOR GENERAL NOTES, INCLUDING EROSION CONTROL NOTES.
- MAINTAIN CONTINUOUS TRAFFIC ACCESS THROUGH INTERSECTIONS AND DRIVEWAYS DURING CONSTRUCTION.
- ALL CURB & GUTTER REPLACEMENT SHALL BE REMOVED TO NEAREST JOINT. MATCH EXISTING GRADE AND DRAINAGE PATTERNS. SEE CURB DETAILS ON SHEET CS503.
- CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL EXCAVATED PAVEMENT AREAS ARE COVERED WITH AGGREGATE BASE COURSE AT THE END OF EACH WORKING DAY AND PRIOR TO ANY RAINFALL EVENT.
- PREPARE ALL SUBGRADES IN ACCORDANCE WITH RECOMMENDATIONS OF THE ENGINEER. PROVIDE PROOF OF ALL REQUIRED SOIL COMPACTION TO THE OWNER.
- WATER LATERAL CROSSINGS SHALL BE MIN. 6" ABOVE OR MIN. 18" BELOW SANITARY SEWER WITH FULL LENGTH OF PIPE CENTERED ON THE CROSSING.

KEYED NOTES

- A SPOT REPAIR SIDEWALK
- B SPOT REPAIR CURB
- C NEW SIDEWALK
- D UNDERGROUND UTILITY EXPLORATION
- E REMOVE DAMAGED 10' SECTION OF EXISTING TRUSS PIPE SANITARY SEWER. REPLACE WITH TRUSS PIPE TO MATCH SIZE AND SLOPE.
- F REMOVE DAMAGED 20' SECTION OF EXISTING TRUSS PIPE SANITARY SEWER. REPLACE WITH TRUSS PIPE TO MATCH SIZE AND SLOPE.
- G REUSE CASTING AND ADJUST TO GRADE
- H REPLACE 8" GATE VALVE ADAPTOR, 8" GATE VALVE BOX AND BACK FILL WITH CLEAN STONE

LEGEND

- APPROX PARCEL LINE FROM GIS
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- SAWCUT
- ASPHALT PAVEMENT
- MILL AND OVERLAY
- CONCRETE PAVEMENT
- CURB RAMP
- SPOT REPAIR CURB AND GUTTER
- REMOVE
- SANITARY MANHOLE
- SANITARY SEWER
- SANITARY SEWER SPOT REPAIR
- STORM MANHOLE
- CURB INLET
- STORM SEWER
- TREE PROTECTION
- INLET PROTECTION
- STONE WEEPER

MOUNT HOREB

2025 STREETS

BLUE MOUNDS ST (W MAIN ST TO JUSTIN DR)
W GARFIELD ST (W VILLAGE LIMITS TO BLUE MOUNDS ST)



THE VILLAGE OF MOUNT HOREB

SMITHGROUP

44 EAST MIFFLIN STREET
SUITE 500
MADISON, WI 53703
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ISSUED FOR

REV DATE

DESIGN DEVELOPMENT

18DEC2024

SEALS AND SIGNATURES

KEY PLAN

DRAWING TITLE

BLUE MOUNDS ST PLAN &
PROFILE (STA 1018+00 to
1022+50)

0' 10' 20' 40'
SCALE

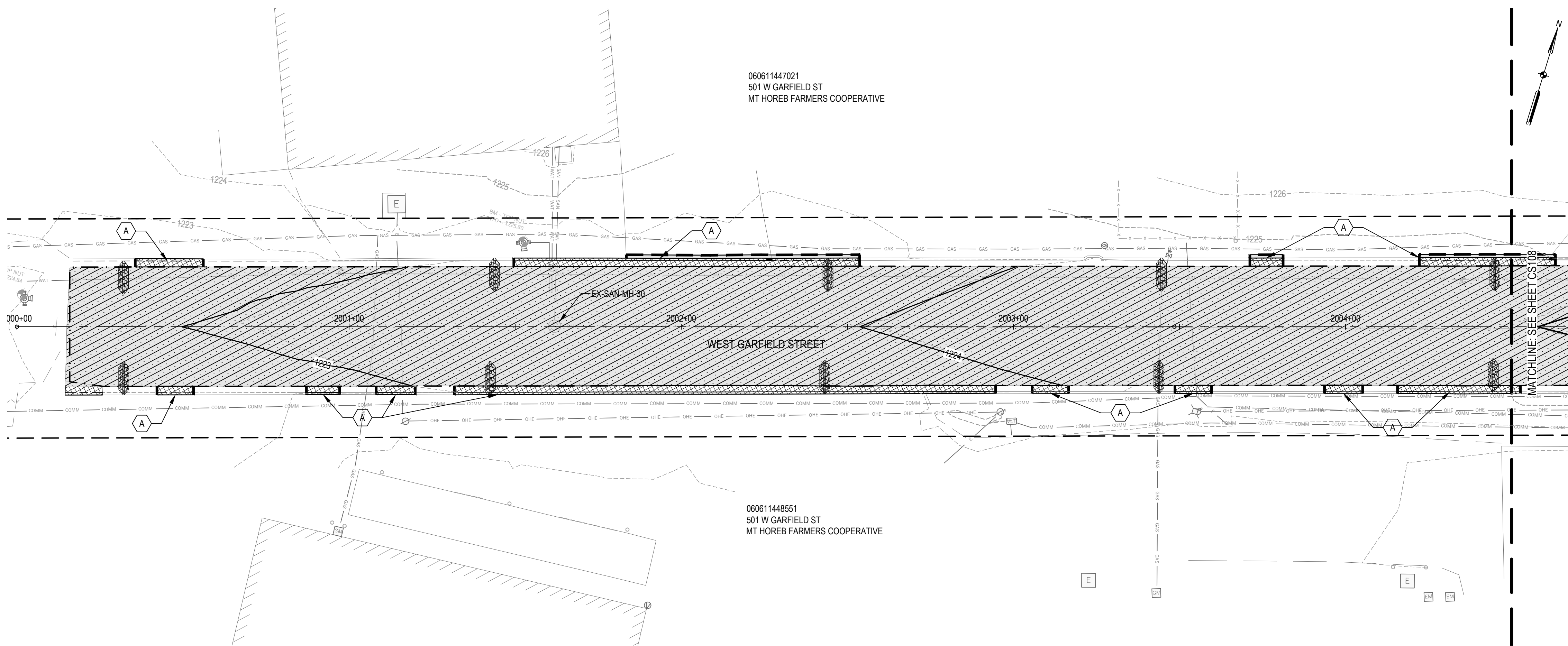
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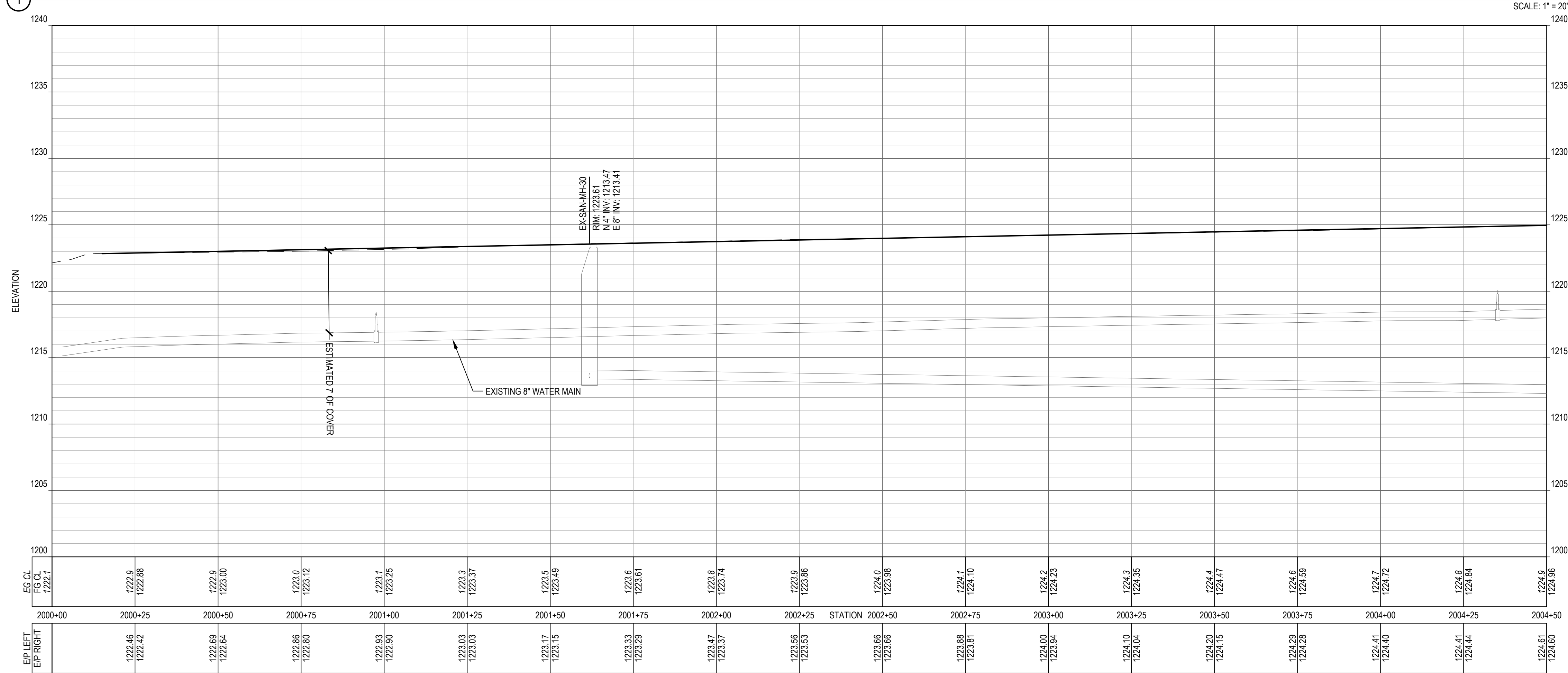
PROJECT NUMBER

CS105

DRAWING NUMBER



1 W GARFIELD ST PLAN (STA 2000+00 TO 2004+50)



2 W GARFIELD ST PROFILE (STA 2000+00 TO 2004+50)

SHEET NOTES

1. SEE SHEET C-002 FOR SURVEY LEGEND, NOTES, BENCHMARKS, AND STRUCTURE TABLES.
2. SEE SHEET C-001 FOR GENERAL NOTES, INCLUDING EROSION CONTROL NOTES.
3. MAINTAIN CONTINUOUS TRAFFIC ACCESS THROUGH INTERSECTIONS AND DRIVEWAYS DURING CONSTRUCTION.
4. ALL CURB & GUTTER REPLACEMENT SHALL BE REMOVED TO NEAREST JOINT. MATCH EXISTING GRADE AND DRAINAGE PATTERNS. SEE CURB DETAILS ON SHEET CS503.
5. CONTRACTOR SHALL SCHEDULE WORK SO THAT ALL EXCAVATED PAVEMENT AREAS ARE COVERED WITH AGGREGATE BASE COURSE AT THE END OF EACH WORKING DAY AND PRIOR TO ANY RAINFALL EVENT.
6. PREPARE ALL SUBGRADES IN ACCORDANCE WITH RECOMMENDATIONS OF THE ENGINEER. PROVIDE PROOF OF ALL REQUIRED SOIL COMPACTION TO THE OWNER.
7. WATER LATERAL CROSSINGS SHALL BE MIN. 6" ABOVE OR MIN. 18" BELOW SANITARY SEWER WITH FULL LENGTH OF PIPE CENTERED ON THE CROSSING.
8. ALL CURB SPOT REPAIRS WITHIN COMMERCIAL DRIVES SHALL BE HEAVY DUTY CONCRETE.

KEYED NOTES

A SPOT REPAIR CURB

MOUNT HOREB
2025 STREETS

BLUE MOUNDS ST (W MAIN ST TO JUSTIN DR)
W GARFIELD ST (W VILLAGE LIMITS TO BLUE MOUNDS ST)



THE VILLAGE OF MOUNT HOREB

SMITHGROUP

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MADISON, WI 53703
608.251.1177
www.smithgroup.com

[illegible]

LEGEND

- | | |
|--|-----------------------------|
| | APPROX PARCEL LINE FROM GIS |
| | RIGHT-OF-WAY LINE |
| | PROPERTY LINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | SAWCUT |
| | ASPHALT PAVEMENT |
| | MILL AND OVERLAY |
| | CONCRETE PAVEMENT |
| | CURB RAMP |
| | SPOT REPAIR CURB AND GUTTER |
| | REMOVE |
| | SANITARY MANHOLE |
| | SANITARY SEWER |
| | SANITARY SEWER SPOT REPAIR |
| | STORM MANHOLE |
| | CURB INLET |
| | STORM SEWER |
| | TREE PROTECTION |
| | INLET PROTECTION |
| | STONE WEEPER |

DRAWING TITLE
W GARFIELD ST PLAN &
PROFILE (STA 2000+00 to
2004+50)

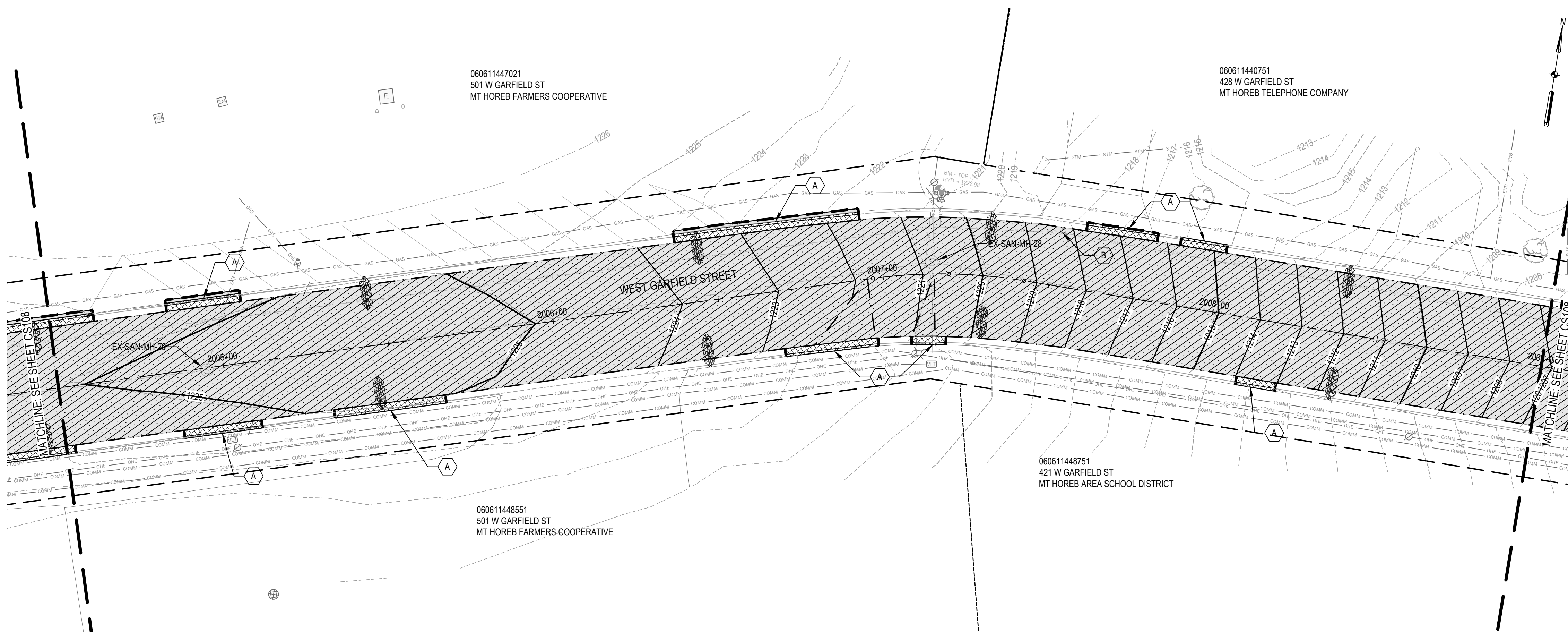


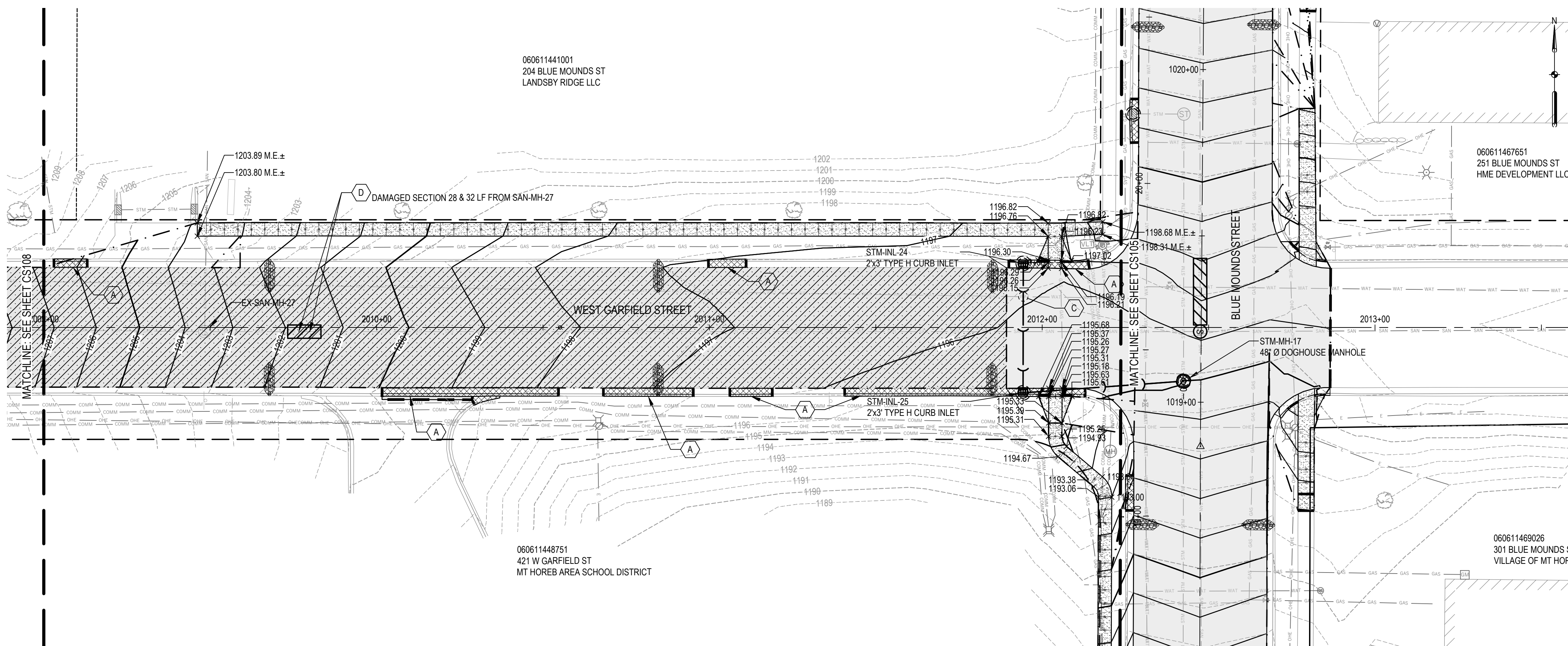
SCALE 15582.000

PROJECT NUMBER

CS107

DRAWING NUMBER





VILLAGE OF MOUNT HOREB
RESOLUTION 2025-01

PRELIMINARY RESOLUTION TO LEVY SPECIAL ASSESSMENTS

RESOLVED, by the Village Board of the Village of Mount Horeb, Wisconsin:

1. The Village Board hereby declares its intention to exercise its police power under 66.0701, Stats., to levy special assessments upon property in the assessment districts hereafter described for benefits conferred upon such property by reason of the following public work and improvements.

BLUE MOUNDS STREET FROM W MAIN STREET TO JUSTIN DRIVE:

Street Rehabilitation consisting of the removal and replacement of all existing base course and bituminous pavement, spot repair of existing sidewalks, spot repair of concrete curb and gutter, and driveways in kind where necessary.

Sidewalk Improvement consisting of installation of new sidewalks where they do not exist.

W GARFIELD STREET FROM WEST VILLAGE LIMITS TO BLUE MOUNDS STREET:

Street Rehabilitation consisting of mill and overlay of existing bituminous pavement, spot repair of concrete curb and gutter, and replacement of driveways in kind where necessary.

Sidewalk Improvement consisting of installation of new sidewalks where they do not exist.

2. The assessment district consists of all those properties having frontage on either side of the above-named streets as listed on Attachment A.

3. The total amounts to be assessed against the properties in the assessment district shall not exceed the following percentages of the total project cost of the improvements.

BLUE MOUNDS STREET FROM W MAIN STREET TO JUSTIN DRIVE:

- 100% of the cost to remove and install bituminous and concrete driveways.

- 50% of the cost to remove and replace sidewalks meeting the Village's Sidewalk Replacement Criteria under the Village's policy.
- 25% of the cost to install concrete sidewalks where none exist, and the areas are located on the Village's Sidewalk Improvement Plan.

W GARFIELD STREET FROM WEST VILLAGE LIMITS TO BLUE MOUNDS STREET:

- 100% of the cost to remove and install bituminous and concrete driveways.
- 50% of the cost to remove and replace sidewalks meeting the Village's Sidewalk Replacement Criteria under the Village's policy. (where they exist)
- 25% of the cost to install concrete sidewalks where none exist, and the areas are located on the Village's Sidewalk Improvement Plan.

4. The Village Board determines that the improvements constitute an exercise of the police power for the health, safety, and general welfare of the Village and its inhabitants.

5. The Village Engineer shall prepare a report which shall consist of preliminary plans and specifications for the improvements, an estimate of the entire project costs, and a schedule of the proposed assessments.

6. The Village Engineer shall file a copy of the report with the Village Clerk for public inspection.

7. Upon receiving a copy of the report of the Village Engineer, the Village Clerk shall cause notice to be given stating the nature of the proposed improvements, the general boundary lines of the proposed Assessment District, the time and place at which the report may be inspected, and the time and place of the public hearing on the matters contained in the preliminary resolution and report.

8. Assessments in a total amount less than \$500.00 shall be paid within 30 days of receipt. Assessments of \$500.00 but less than \$5,000.00 may be paid in five equal annual installments. Assessment over \$5,000.00 may be paid in ten equal annual installments. Any unpaid balance shall accrue interest at a rate one percent per annum greater than the rate at which the Village borrowed funds for the improvements.

The above resolution was duly adopted by the Village Board of the Village of Mount Horeb, Dane County, Wisconsin, at a meeting held on March 5, 2025.

VILLAGE OF MOUNT HOREB

By: _____
Ryan Czyzewski, Village President

ATTEST:

Alyssa Gaffney, Village Clerk

MOUNT HOREB 2025 STREET IMPROVEMENTS

**BLUE MOUNDS STREET (W MAIN STREET TO JUSTIN DRIVE)
W GARFIELD STREET (WEST VILLAGE LIMITS TO BLUE MOUNDS STREET)**

PRELIMINARY SPECIAL ASSESSMENT REPORT

Prepared For:
Village of Mount Horeb
138 East Main Street
Mount Horeb, WI 53572

Prepared By:
SMITHGROUP
44 East Mifflin Street, Suite 500
Madison, WI 53703

February 12, 2025

In accordance with Section 8.03 of the Village of Mount Horeb Code of Ordinances, the Preliminary Resolution 2025-01 of the Village Board, dated February 5, 2025 and acting on behalf of the Village of Mount Horeb as the Village Engineer, we herewith submit the following report on the preliminary assessments for roadway, storm, and sanitary improvements within the Project Area described below and as shown on Schedule A of this report.

BLUE MOUNDS STREET FROM W MAIN STREET TO JUSTIN DRIVE

W GARFIELD STREET FROM WEST VILLAGE LIMITS TO BLUE MOUNDS STREET

This report consists of the following schedules, attached hereto:

- Schedule A - Preliminary plans and specifications.
- Schedule B - Estimate of entire costs of the proposed improvements.
- Schedule C - Schedule of proposed assessments against each parcel affected.

The properties listed in Schedule C, are those for which proposed assessments are to be made under the Village's police power as provided for under Section 66.0701, Wisconsin State Statutes. These properties have been viewed and are found to be benefited by the proposed improvements as said improvements will provide new sidewalk, curb and gutter, roadway, driveway aprons, landscaping, and related improvements adjacent to said parcels. The proposed assessments have been applied to all properties adjacent to the proposed improvements in accordance with the preliminary resolution and current Village policy.

Respectfully Submitted,



Heather Brose, PE
Associate | Civil Engineer
SmithGroup, Inc.



Robert Wright, PE
Principal | Village Engineer
SmithGroup, Inc.

SMITHGROUP

www.smithgroup.com

Client Village of Mount Horeb
 Project **Mount Horeb 2025 Street Improvements (CONTRACT 25-101)**
 Project # 15582.000
 Detail **SCHEDULE B - Preliminary Project Cost Schedule**
 Date 2/12/2025

Item	Description	Quantity	Unit	Unit Cost	Item Total	Subtotal
A	Roadway					\$ 1,356,860.00
1	Unclassified Excavation - Including Removal of all Materials & Subgrade (for 4" asphalt and 18" aggregate base, all driveways, and miscellaneous removals). Excavation for Utilities is not included in estimated Unclassified Excavation quantity and is incidental to the associated Utility work & Bid items. (Complete in place)	1	LS	\$ 272,000.00	\$ 272,000.00	
2	Excavation Below Subgrade & Place Stone Fill (Undercut) (Complete in place)	2,130	CY	\$ 48.00	\$ 102,240.00	
3	Geotextile Fabric. (Complete in place)	1,070	SY	\$ 4.00	\$ 4,280.00	
4	Install Crushed Stone Base Course (12" Deep). (Complete in place)	14,100	SY	\$ 18.00	\$ 253,800.00	
5	Finish Grade Base Course. (Complete in place)	39	STA	\$ 800.00	\$ 31,200.00	
6	Install 30" Concrete Curb & Gutter. (Includes 18" depth crushed stone Base Course to 12" behind curb & gutter.) (Complete in place)	1,900	LF	\$ 50.00	\$ 95,000.00	
7	Driveway Plating and Access During Curb Curing (undistributed)	1	EA	\$ 1,200.00	\$ 1,200.00	
8	Sawcut Butt Joint. (Complete in place)	680	LF	\$ 4.00	\$ 2,720.00	
9	Asphalt Milling. (Complete in place)	4,700	SY	\$ 3.00	\$ 14,100.00	
10	Install 2.5" Overlay Bituminous Pavement. (Type LT) (Complete in place)	4,700	SY	\$ 15.00	\$ 70,500.00	
11	Install 4" Deep Bituminous Pavement. (2-1/4" Binder, 1-3/4" Surface, Type LT) (Complete in place)	12,800	SY	\$ 20.00	\$ 256,000.00	
12	Remove Existing Bituminous Drive Apron and Replace with 3" Thick Bituminous Drive Apron on 8" Deep Aggregate Base. (Complete in place)	180	SF	\$ 12.00	\$ 2,160.00	
13	Remove Existing Concrete Apron and Replace with 6" Thick Concrete Drive Apron on 6" Deep Aggregate Base. (includes decorative concrete) (Complete in place)	450	SF	\$ 15.00	\$ 6,750.00	
14	Install New 5-in Concrete Sidewalk on New 4-in Deep Aggregate Base. (Complete in place)	3,500	SF	\$ 15.00	\$ 52,500.00	
15	Remove and Replace 5-in Concrete Sidewalk on New 4-in Deep Aggregate Base. (Complete in place)	1,300	SF	\$ 20.00	\$ 26,000.00	
16	Sidewalk Striping (across Fire Department apron) (2 - 4-inch solid red lines, 4 feet apart) (Complete in place)	345	LF	\$ 4.00	\$ 1,380.00	
17	Hydrant Curb Striping. (15 LF centered on hydrant, curb face and head, yellow) (Complete in place)	30	LF	\$ 25.00	\$ 750.00	

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Client Village of Mount Horeb
 Project **Mount Horeb 2025 Street Improvements (CONTRACT 25-101)**
 Project # 15582.000
 Detail **SCHEDULE B - Preliminary Project Cost Schedule**
 Date 2/12/2025

Item	Description	Quantity	Unit	Unit Cost	Item Total	Subtotal
18	Special Waterway Curb (includes placement and compaction of base). (Complete in place)	62	LF	\$ 90.00	\$ 5,580.00	
19	Restoration	1	LS	\$ 36,100.00	\$ 36,100.00	
20	Construction Staking and Layout	1	LS	\$ 21,600.00	\$ 21,600.00	
21	Traffic Control & Phasing	1	LS	\$ 86,600.00	\$ 86,600.00	
22	Erosion Control	1	LS	\$ 14,400.00	\$ 14,400.00	
B	Sanitary Sewer					\$ 182,650.00
23	Install New 8" SDR 35 PVC Sanitary Sewer (includes reconnection of all live laterals) (Complete in place)	465	LF	\$ 120.00	\$ 55,800.00	
24	Provide New 48" diameter Sanitary Sewer Manhole with castings (Neenah R-1550-B with non-rocking lid) (includes installation, adjustment, polyethylene rings, and external chimney seal) (Complete in Place)	2	EACH	\$ 6,500.00	\$ 13,000.00	
25	Remove and Replace 48" Sanitary Sewer Manhole with castings (Neenah R-1550-B with non-rocking lid) (includes adjustment, polyethylene rings, and external chimney seal) (Complete in Place)	1	EACH	\$ 8,300.00	\$ 8,300.00	
26	Adjust Existing Sanitary Sewer Manhole Casting to finish grade. Provide new polyethelyene adjustment rings and external chimney seal. Reuse existing casting unless otherwise noted. (Complete in place)	12	EACH	\$ 1,200.00	\$ 14,400.00	
27	Provide New Sanitary Sewer Manhole Casting. (Neenah R-1550-B with non-rocking lid) Installation and adjustment are included within Bid Item 26	11	EACH	\$ 1,300.00	\$ 14,300.00	
28	Sanitary Spot Repair PVC - 10 LF. Includes Fernco connections. (Complete in place)	1	EACH	\$ 5,000.00	\$ 5,000.00	
29	Sanitary Spot Repair Truss Pipe - 10 LF. Includes Fernco connections. (Complete in place)	7	EACH	\$ 5,500.00	\$ 38,500.00	
30	Sanitary Spot Repair Truss Pipe - 20 LF. Includes Fernco connections. (Complete in place)	1	EACH	\$ 6,500.00	\$ 6,500.00	
31	Connection to Existing Sanitary Manhole (Field Core EX-SAN-MH-21) (Complete in place)	1	EACH	\$ 1,200.00	\$ 1,200.00	
32	Rock Excavation	465	LF	\$ 50.00	\$ 23,250.00	
33	Underground Utility Exploration (as requested by Engineer) (undistributed)	2	EACH	\$ 1,200.00	\$ 2,400.00	

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Client Village of Mount Horeb
 Project **Mount Horeb 2025 Street Improvements (CONTRACT 25-101)**
 Project # 15582.000
 Detail **SCHEDULE B - Preliminary Project Cost Schedule**
 Date 2/12/2025

Item	Description	Quantity	Unit	Unit Cost	Item Total	Subtotal
C	Water Main					\$ 30,400.00
34	8-inch Ductile Iron Water Main (Includes connections to existing main. Complete in place)	40	LF	\$ 150.00	\$ 6,000.00	
35	Replace 10" Gate Valve Box, including Gate Valve Adaptor and Clear Stone Backfill. (Complete in place)	2	EACH	\$ 2,400.00	\$ 4,800.00	
36	Replace 8" Gate Valve Box, including Gate Valve Adaptor and Clear Stone Backfill. (Complete in place)	6	EACH	\$ 2,000.00	\$ 12,000.00	
37	Replace 6" Gate Valve Box, including Gate Valve Adaptor and Clear Stone Backfill. (Complete in place)	1	EACH	\$ 1,800.00	\$ 1,800.00	
38	Replace 4" Gate Valve Box, including Gate Valve Adaptor and Clear Stone Backfill. (Complete in place)	1	EACH	\$ 1,600.00	\$ 1,600.00	
39	Replace 8" Gate Valve Box Top Section	3	EACH	\$ 800.00	\$ 2,400.00	
40	Replace 6" Gate Valve Box Top Section	1	EACH	\$ 600.00	\$ 600.00	
41	Underground Utility Exploration (as requested by Engineer) (undistributed)	1	EACH	\$ 1,200.00	\$ 1,200.00	
D	Storm Sewer					\$ 31,810.00
42	12-inch RCP Storm Sewer (Complete in place)	42	LF	\$ 105.00	\$ 4,410.00	
43	Provide New 2' x 3' Type H Curb Inlet with casting and grate (includes installation, adjustment, and rings) (Complete in place)	2	EACH	\$ 3,500.00	\$ 7,000.00	
44	Provide New 48" diameter Storm Manhole with castings and grate (includes installation, adjustment, and rings) (Complete in place)	1	EACH	\$ 6,000.00	\$ 6,000.00	
45	Adjust Existing Storm Sewer Manhole Casting to finish grade. Provide new concrete adjustment rings. Reuse existing casting unless otherwise noted. (Complete in place)	11	EACH	\$ 1,200.00	\$ 13,200.00	
46	Underground Utility Exploration (as requested by Engineer) (undistributed)	1	EACH	\$ 1,200.00	\$ 1,200.00	
Construction Total						\$ 1,601,720
Construction Contingency 12.00%						\$ 192,200.00
Project Total						\$ 1,793,920

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Client Village of Mount Horeb
 Project **2025 STREET IMPROVEMENTS**
 Project # 15582.000
 Detail **SCHEDULE C - Preliminary Schedule of Special Assessments Against Benefited Parcels**
 Date 2/12/2025

The following items shall be assessed at the following percentages based upon the Village's Assessment Policies and Resolution to Levy Special Assessments. Unit prices include technical fees.

Blue Mounds Street & W Garfield Street							
Driveway Apron	Concrete	\$	15.00	per square foot	@ 100% of cost		
Driveway Apron	Asphalt	\$	12.00	per square foot	@ 100% of cost		
Concrete Sidewalk	New (Circulation Plan)	\$	5.00	per square foot	\$20/SF @ 25% of cost		
Concrete Sidewalk	Repair (Existing)	\$	10.00	per square foot	\$20/SF @ 50% of cost		
Blue Mounds Street & W Garfield Street							
Address	Parcel Number	Owner	Replacement Type	Width (ft)	Length (ft)	Area (sf)	Cost
327 W MAIN ST	060611409064	JARED DONALD NELSON & ELIZABETH NELSON	Driveway apron	3.2	8.75	28	\$ 420.00
			No sidewalk (new)				\$ -
			No sidewalk (repair)				\$ -
			Total				\$ 420.00
102 BLUE MOUNDS ST	060611428801	JUDY L JOHNSON	No driveway apron				\$ -
			No sidewalk (new)				\$ -
			No sidewalk (repair)				\$ -
			Total				\$ -
405 W MAIN ST	060611428703	PAUL D KLAAS	No driveway apron				\$ -
			No sidewalk (new)				\$ -
			No sidewalk (repair)				\$ -
			Total				\$ -
NO PARCEL ADDRESS MILITARY RIDGE STATE TRAIL	060611488014	MILITARY RIDGE STATE TRAIL (WI DNR)	Driveway apron (asphalt)			104	\$ 1,248.00
			Sidewalk (new)			176	\$ 880.00
			Sidewalk (repair)			57.5	\$ 575.00
			Sidewalk (repair)			25	\$ 250.00
			Total				\$ 2,953.00
201 BLUE MOUNDS ST	060611413031	BOARD OF REGENTS OF UNIV OF WIS SYSTEM	Driveway apron			160	\$ 2,400.00
			Driveway apron (asphalt)			80	\$ 960.00
			No sidewalk (new)				\$ -
			Sidewalk (repair)			25	\$ 250.00
			Sidewalk (repair)			25	\$ 250.00
			Sidewalk (repair)			100	\$ 1,000.00
			Total				\$ 4,860.00
211 BLUE MOUNDS ST	060611465575	BOARD OF REGENTS OF UNIV OF WIS SYSTEM	Driveway apron			75	\$ 1,125.00
			No sidewalk (new)				\$ -
			Sidewalk (repair)			25	\$ 250.00
			Total				\$ 1,375.00
225 BLUE MOUNDS ST	060611467019	MADISON AREA REHABILITATION CENTERS	Driveway apron	6	3.5	21	\$ 315.00
			No sidewalk (new)				\$ -
			Sidewalk (repair)			180	\$ 1,800.00
			Sidewalk (repair)			45	\$ 450.00
			Total				\$ 2,565.00
251 BLUE MOUNDS ST	060611467651	HME DEVELOPMENT LLC	Driveway apron	6	17	102	\$ 1,530.00
			No sidewalk (new)				\$ -
			Sidewalk (repair)			25	\$ 250.00
			Total				\$ 1,780.00
204 BLUE MOUNDS ST	060611441001	LANDSBY RIDGE LLC	No driveway apron				\$ -
			Sidewalk (new)			1,100	\$ 5,500.00
			Sidewalk (new)			48	\$ 480.00
			No sidewalk (repair)				\$ -
			Total			0	\$ 5,980.00
428 W GARFIELD ST	060611440751	MOUNT HOREB TELEPHONE COMPANY	No driveway apron				\$ -
			No sidewalk (new)				\$ -
			No sidewalk (repair)				\$ -
			Total				\$ -
501 W MAIN ST	060611491500	MT HOREB FARMERS COOPERATIVE	No driveway apron				\$ -
			No sidewalk (new)				\$ -
			No sidewalk (repair)				\$ -
			Total				\$ -

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Client Village of Mount Horeb
 Project **2025 STREET IMPROVEMENTS**
 Project # 15582.000
 Detail **SCHEDULE C - Preliminary Schedule of Special Assessments Against Benefited Parcels**
 Date 2/12/2025

The following items shall be assessed at the following percentages based upon the Village's Assessment Policies and Resolution to Levy Special Assessments. Unit prices include technical fees.

Blue Mounds Street & W Garfield Street					
Driveway Apron	Concrete	\$	15.00	per square foot	@ 100% of cost
Driveway Apron	Asphalt	\$	12.00	per square foot	@ 100% of cost
Concrete Sidewalk	New (Circulation Plan)	\$	5.00	per square foot	\$20/SF @ 25% of cost
Concrete Sidewalk	Repair (Existing)	\$	10.00	per square foot	\$20/SF @ 50% of cost
Blue Mounds Street & W Garfield Street					
Address	Parcel Number	Owner	Replacement Type	Width (ft)	Length (ft) Area (sf) Cost
501 W MAIN ST	060611447021	MT HOREB FARMERS COOPERATIVE	Driveway apron (asphalt)	1	56 \$ 672.00
			Driveway apron (asphalt)	1	23 \$ 276.00
			Driveway apron (asphalt)	1	41 \$ 492.00
			Driveway apron (asphalt)	1	10 \$ 120.00
			Driveway apron (asphalt)	1	71 \$ 852.00
			No sidewalk (new)		\$ -
			No sidewalk (repair)		\$ -
Total					\$ 2,412.00
501 W MAIN ST	060611449021	MT HOREB FARMERS COOPERATIVE	No driveway apron		\$ -
			No sidewalk (new)		\$ -
			No sidewalk (repair)		\$ -
Total					\$ -
501 W GARFIELD ST	060611448551	MT HOREB FARMERS COOPERATIVE	No driveway apron		\$ -
			No sidewalk (new)		\$ -
			No sidewalk (repair)		\$ -
Total					\$ -
421 W GARFIELD ST	060611448751	MT HOREB AREA SCHOOL DISTRICT	Driveway apron	1	28 \$ 336.00
			Sidewalk (new)	4	425 1700 \$ 8,500.00
			Sidewalk (new)	5	10 50 \$ 250.00
			No sidewalk (repair)		\$ -
Total					\$ 9,086.00
301 BLUE MOUNDS ST	060611469026	VILLAGE OF MT HOREB	No driveway apron		\$ -
			No sidewalk (new)		\$ -
			Sidewalk (repair)	5	5 25 \$ 250.00
			Sidewalk (repair)	5	9.5 47.5 \$ 475.00
Total					\$ 725.00
401 BLUE MOUNDS ST	060611470023	VILLAGE OF MT HOREB	No driveway apron		\$ -
			No sidewalk (new)		\$ -
			No sidewalk (repair)		\$ -
Total					\$ -
401 BLUE MOUNDS ST	060614103058	VILLAGE OF MT HOREB	No driveway apron		\$ -
			No sidewalk (new)		\$ -
			No sidewalk (repair)		\$ -
Total					\$ -
311 MEADOW VIEW RD	060614106804	PARKSIDE TOWNHOMES II LLC	No driveway apron		\$ -
			No sidewalk (new)		\$ -
			No sidewalk (repair)		\$ -
Total					\$ -
400 BLUE MOUNDS ST	060611448401	MOUNT HOREB AREA JOINT FIRE DEPARTMENT & VILLAGE OF MOUNT HOREB	No driveway apron		\$ -
			Sidewalk (new)	4	35 140 \$ 700.00
			Sidewalk (new)	4	66 264 \$ 1,320.00
			Sidewalk (new)	5	6 30 \$ 150.00
Total					\$ 2,170.00

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Client Village of Mount Horeb
 Project **2025 STREET IMPROVEMENTS**
 Project # 15582.000
 Detail **SCHEDULE C - Preliminary Schedule of Special Assessments Against Benefited Parcels**
 Date 2/12/2025

The following items shall be assessed at the following percentages based upon the Village's Assessment Policies and Resolution to Levy Special Assessments. Unit prices include technical fees.

Blue Mounds Street & W Garfield Street						
Driveway Apron	Concrete	\$	15.00	per square foot	@ 100% of cost	
Driveway Apron	Asphalt	\$	12.00	per square foot	@ 100% of cost	
Concrete Sidewalk	New (Circulation Plan)	\$	5.00	per square foot	\$20/SF @ 25% of cost	
Concrete Sidewalk	Repair (Existing)	\$	10.00	per square foot	\$20/SF @ 50% of cost	
Blue Mounds Street & W Garfield Street						
Address	Parcel Number	Owner	Replacement Type	Width (ft)	Length (ft)	Area (sf) Cost
600 BLUE MOUNDS ST	060614120084	HOMESTEAD COOP OF MT HOREB	Driveway apron	4	12.5	50 \$ 750.00
			Driveway apron			10 \$ 150.00
			Driveway apron			10 \$ 150.00
			No sidewalk (new)			\$ -
			Sidewalk (repair)	4	13	52 \$ 520.00
			Sidewalk (repair)	4	4	16 \$ 160.00
			Sidewalk (repair)	4	8.5	34 \$ 340.00
			Sidewalk (repair)	4	16	64 \$ 640.00
			Sidewalk (repair)	4	9	36 \$ 360.00
			Sidewalk (repair)	4	8	32 \$ 320.00
			Sidewalk (repair)	4	8	32 \$ 320.00
			Sidewalk (repair)	4	4	16 \$ 160.00
			Total			\$ 3,870.00
701 BLUE MOUNDS ST	060614107143	PLEASANT MEADOWS II LLC	No driveway apron			\$ -
			No sidewalk (new)			\$ -
			No sidewalk (repair)			\$ -
			Total			\$ -
800 BLUE MOUNDS ST	060614130028	BROOKSTONE CONDOS LLC	No driveway apron			\$ -
			No sidewalk (new)			\$ -
			Sidewalk (repair)	4	23	92 \$ 920.00
			Sidewalk (repair)	4	4	16 \$ 160.00
			Sidewalk (repair)	4	4	16 \$ 160.00
			Sidewalk (repair)	4	4	16 \$ 160.00
			Sidewalk (repair)	4	21	84 \$ 840.00
			Total			\$ 2,240.00
NO PARCEL ADDRESS BROOKSTONE RIDGE OUTLOT 1	060614134757	VILLAGE OF MT HOREB	No driveway apron			\$ -
			No sidewalk (new)			\$ -
			No sidewalk (repair)			\$ -
			Total			\$ -
100 LAURYN CT	060614115001	PEGGY FLORA ZALUCHA	No driveway apron			\$ -
			No sidewalk (new)			\$ -
			No sidewalk (repair)			\$ -
			Total			\$ -



AGENDA ITEM REPORT

MEETING DATE

February 24, 2025

PREPARED BY

AGENDA ITEM # 3.c

Update on Lake Street stormwater project

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. MEM 2025-0131 Stewart Lake Park - Board Request

PROJECT Lake Street / Stewart Lake Park Stormwater Improvements DATE 1/31/2025

PROJECT NO. 50581.000

SUBJECT Request for Authorization to Bid

PREPARED BY Robert Wright

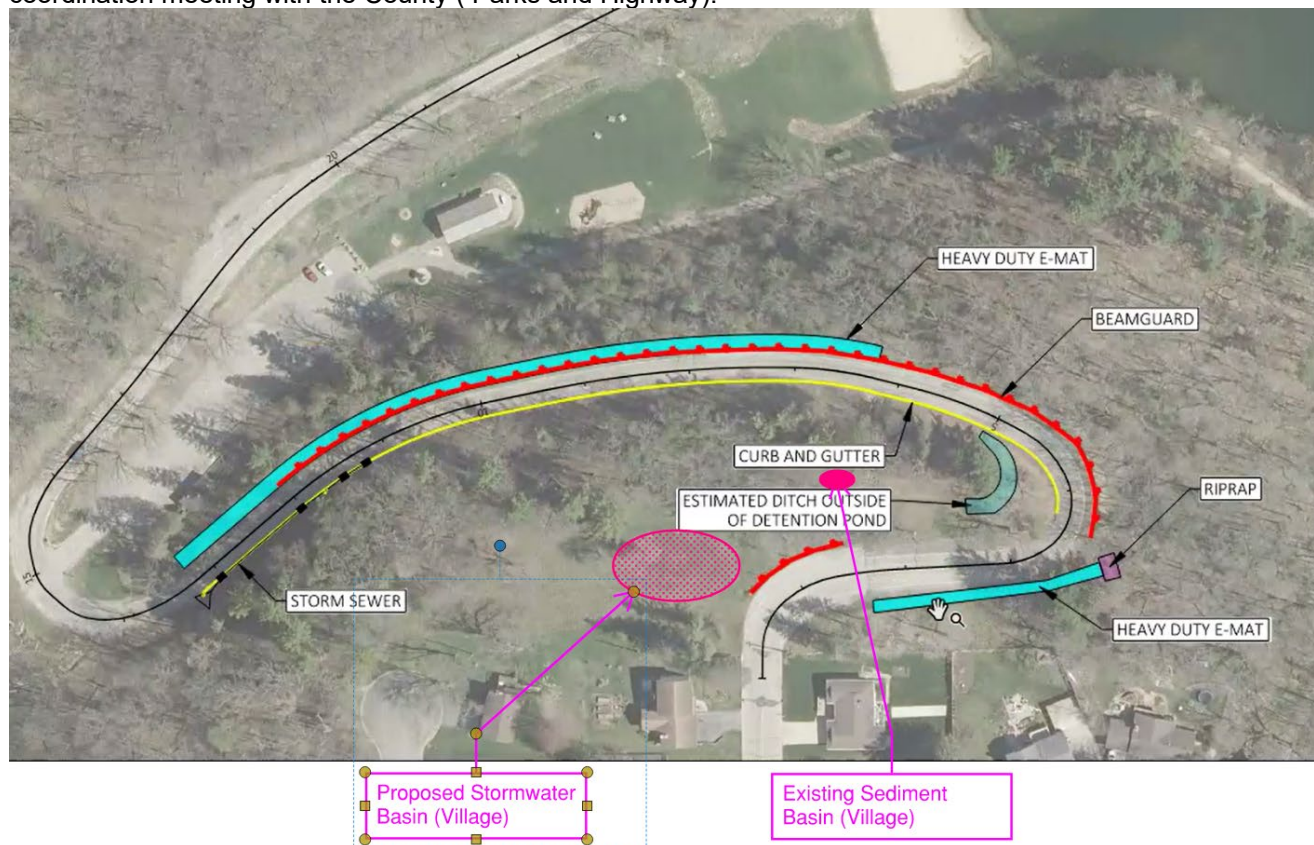
NAME	COMPANY
Nic Owen	Village of Mt Horeb
Jeff Gorman	Village of Mt Horeb

NOTES

We have been working with the County Highway Department, Dane County Parks, Dane County Land and Water Resources, and the Village Public Services related to the Dane County Highway Department's road rehabilitation of CTH JG northerly of the Village Limits.

The County project entails mill and overlay, new beam guard, limited curb and gutter installation, riprap and stormwater improvements.

The Village has a small sediment basin directly north of the Village Limits located on the Stewart Lake Park County Property. Due to existing stormwater issues, an additional basin has been planned to be installed at the north end of Lake Street. A schematic of the improvements is depicted below from the 1/30/2025 coordination meeting with the County (Parks and Highway).



There has been significant erosion along CTH JG due to discharge of waters from Lake Street. This project aims to slow the discharge from the storm sewers on Lake Street to a lower velocity and rate to stem the erosion as well as further reduce sediment load to Stewart Lake.

Working with County Parks, Water Resources, and the Highway Department, we have a preliminary design for a new dry Stormwater Basin to be located on the County Park land north of the Village Limits and discharged easterly. This will then be treated secondarily by the existing sediment basin. A small amount of pipe work and patching will be completed at the end of Lake Street / CTH JG.

Dane County Water Resources has a non-point source stormwater management grant available with a 60/40 cost share that we have received good feedback that the Village would be funded. Current Engineers Estimate is below \$100,000.

An easement will be granted by Dane County for the basin to the Village. The Village will be the responsible party for the maintenance.

Schedule:

Dane County Highway is going to advertise their project for bids on 2/28/2025. They are strongly requesting concurrent construction for the Village's improvements in order limit roadway closures and damage to new asphalt.

In order for SmithGroup to meet the timeline, we will need to complete design and contract documents quickly. We request that the Village Board provide Authorization to Bid the above referenced project at the February 5, 2025 meeting.

We will work on completion of a Grant Application for Village submission to Dane County for cost sharing concurrently with Contract Document completion.



AGENDA ITEM REPORT

MEETING DATE

February 24, 2025

PREPARED BY

AGENDA ITEM # 3.d

Consider RFP for facility assessment and space needs study

BACKGROUND

The Village has budgeted \$25,000 to hire a consultant to perform a facility assessment and space needs study to address our public works space needs.

RECOMMENDATION

ATTACHMENTS

1. RFP Facility needs study



REQUEST FOR PROPOSALS

DEPARTMENT OF PUBLIC SERVICES FACILITY ANALYSIS AND SPACE NEEDS ASSESSMENT

For further information regarding this RFP, contact:

Jeff Gorman, Public Services Director

(608) 437-3351

jeff.gorman@mounthorebwi.info

Proposals must be submitted by:

12:00 PM (noon)

Friday, _____



Village of Mount Horeb

Public Services Department

138 E Main St
Mount Horeb, WI 53572
Phone (608) 437-3351/Fax (608) 437-3190
www.mounthorebwi.info

The Village of Mount Horeb is soliciting proposals from qualified firms to perform a facility analysis and space needs assessment of the Public Services facilities at 301 Blue Mounds Street. The purpose of the study is to assess the condition of the existing buildings, the current and future space demands and to determine if the current location is the most efficient and practical location for the facility.

Background

The current facility includes personnel and equipment to support streets, parks and forestry operations. In addition to the 12,000 square foot main shop, there is a 84'x46' cold storage shed, a 50'x35' salt storage building and a 36'x16' lean-to for storage on the side of the salt building. The Public Services Department shares the property with the Mount Horeb Utilities who have their own building built in 2010. The Mount Horeb Utilities building is not included in this assessment; however, consideration should be given to the working relationship between these two departments. The two departments do share the cold storage building, some equipment and the close proximity of these two departments is beneficial to both but not mandatory.

Project Scope

1. Determine the condition and deficiencies of the existing facilities including but not limited to:
 - a. Structural issues
 - b. Plumbing/HVAC
 - c. ADA/OSHA compliance
 - d. Storage
 - e. Staff/visitor parking
 - f. Vehicle and equipment maintenance and storage
2. Assess the current facilities to determine what space is adequate to handle the current and future needs of the department including but not limited to:
 - a. Office space

- b. Break room/lunch room
 - c. Restrooms/locker rooms
 - d. Meeting rooms
 - e. Storage
 - f. Vehicle and equipment maintenance and storage
 - g. Mechanic's work area
 - h. Parking
 - i. Storage for salt, topsoil, gravel and asphalt cold patch
 - j. Accepting deliveries from semi-trucks
3. Identify conceptual facility layouts
- a. Incorporating existing buildings with the addition of new buildings/additions
 - b. Incorporating all new buildings at the same property
 - c. Incorporating all new buildings at another location to be determined

Deliverables

Please include the following submittals in your final report:

- 1. An evaluation of the current Public Services facility including the current condition and the present and future space needs
- 2. Costs to improve current deficiencies
- 3. Conceptual layouts as described in Scope #3 above. Layouts should be simple single-line drawings showing the general floor plans. Detailed concepts or architectural drawings are not required.
- 4. Costs associated with each conceptual layout along with pros and cons of each alternative
- 5. Draft report submitted to Village staff by _____, 2025.
- 6. Final report submitted by _____, 2025 with presentation to the Public Works Committee on _____, 2025

Submission of Proposals

The Village will hold a walkthrough of the facility prior to the submission deadline. The tour will take place at the Public Services Dept. located at 301 Blue Mounds St. on _____, 2025 at 1:00pm. Interested firms are encouraged to attend.

Proposals are due at noon, _____, 2025. Please email one PDF of the proposal to Jeff Gorman, Public Services Director, at jeff.gorman@mounthorebwi.info.

Proposals will be evaluated based on the following criteria:

- Overall quality of proposal
- Project approach and schedule
- Proposed fee

- Relevant project experience
- References



PUBLIC SERVICES SHOP

SALT STORAGE

COLD STORAGE

MT HOREB UTILITIES

W Garfield St

Blue Mounds St

Buechner Cir

Buechner Dr

Parkway Dr

Henry St



AGENDA ITEM REPORT

MEETING DATE

February 24, 2025

PREPARED BY

AGENDA ITEM # 3.e

Public Services Director's Report

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. pw comm report 2.24.25



Village of Mount Horeb

Public Services Department

138 E Main St
Mount Horeb, WI 53572
Phone (608) 437-3351/Fax (608) 437-3190
www.mounthorebwi.info

Public Works Committee

February 24, 2025

Public Services Director's Report

- In February, our crew worked a total of 171 regular hours and 145 overtime hours plowing, salting and hauling snow.
- We interviewed three candidates for the vacant Crewperson position and have an accepted offer from Kevin Krantz. Kevin is currently a Maintenance Tech 3 at UW-Madison and also was a Superintendent for Joe Daniels Construction for 27 years. He also has experience plowing streets and parking lots on the UW campus. Kevin will be starting on March 3.
- I received five bids for the library roof replacement project. The library board will be deciding on a contractor at their February 20 meeting. The two lowest bids were Heins Contracting and Royal Exteriors.
- Upcoming staff training sessions:
 - Completed: Flagger and Electrical Hazard Awareness training with Fehr Graham January 29.
 - March 10: Audiograms
 - March 13: Annual Safety Training and Competent Person training with Fehr Graham
 - March 25-28: Wisconsin Rural Water Association conference, Jeremy Martin
 - Date TBD: First Aid/CPR training
 - April 9: MSHA training