



VILLAGE OF MOUNT HOREB

E. Main Street

Mount Horeb, WI 53572

Phone: (608) 437-6884 Fax: (608) 437-3190

Email: mhinfo@mounthorebwi.info Web: mounthorebwi.info

PLAN COMMISSION AGENDA

Wednesday, September 24, 2025 at 7:00 PM

Municipal Building Board Room

138 E. Main Street

Mount Horeb, WI

- 1) Call to order
- 2) Roll call
- 3) Public Comments
- 4) Agenda Items
 - a. Consideration of August 27, 2025 Meeting Minutes
 - b. Consideration of Design Review Application for 400 E Main Street, Elk Property Management (Melrose on Main)
 - c. Consideration of SIP Amendment Steve Brown Apartments, Front Street Station Apartments, 120 S First St
 - d. Recommendation of Extraterritorial CSM, Bilse Family LLC, Lange Rd, Town of Springdale
- 5) Committee Reports:
 - a. Plan Commission Chair Report
 - b. Village Planner Report
 - c. Building Inspector Report
- 6) Meeting adjournment.

UPON REASONABLE NOTICE, EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS AND SERVICES. FOR INFORMATION OR TO REQUEST THIS SERVICE, CONTACT ALYSSA GAFFNEY, CLERK, AT 138 E MAIN STREET, MOUNT HOREB, WI (608) 437-9404.

PLAN COMMISSION AGENDA
Wednesday, August 27, 2025 at 7:00 PM

DRAFT MEETING MINUTES

- 1) **Call to order**
Chair Ryan Czyzewski called the meeting to order at 7:00 pm in the Board Room of the Municipal Building, 138 East Main Street, Mount Horeb, WI.

- 2) **Roll call**
Members Present: Sarah Best, Andrew Kidd, Jill Remmert-Willis, Destinee Udelhoven, Ben Vondra, Peggy Zalucha
Others Present: Village Administrator Nic Owen, Assistant Clerk Jean Culberson

- 3) **Public Comments**
The following spoke in opposition regarding a non-agenda item 214-220 E Main St apartment building: Diane Dangerfield 2553 State Rd 92, Diane Hirsch 205 Ellen Ct, Tami Clary 817 Brookstone Crest, Gregory Standel 200 Wilson St, Ellen Myers 203 N Second St.

- 4) **Agenda Items**
 - a. **Consideration of July 23, 2025 Meeting Minutes**
Zalucha Motioned and Best seconded to approve the minutes of the July 23, 2025 meeting. Motion carried by unanimous voice vote.

 - b. **Public Hearing on rezone request for 208 Meadow View Rd from R-1 single-family residential to R-2 two-family residential for Kelly Tichenor**
Property owner Kelly Tichenor gave an overview on the request to rezone in order to have rental income and remodel the current structure for a zero-lot line possibility. Owen stated the request would require a Comprehensive Plan amendment.

Public Hearing opened at 7:19pm
Czyzewski informed on two written notifications received. Bob Johnson at 713 Parkway Drive spoke in opposition of the spotted zoning and setting a precedent for other requests.
Public Hearing closed at 7:22pm

 - c. **Recommendation on Rezone Request for 208 Meadow View Rd from R-1 to R-2**
The Commission discussed the spotted zoning and the tentative proposed construction for zero-lot line. The Commission questioned if the recodification involving an accessory dwelling unit would be a better option. No Action taken. Owner to review options and return if needed.

- 5) **Committee Reports:**
 - a. **Plan Commission Chair Report**
Czyzewski submitted resources on local government issues in the revised packet for the Commission to review.

 - b. **Village Planner Report**
Acting Village Planner Owen informed on the recodification and the updating of the housing study by Economic Developer Kristen Fish-Peterson. The Commission questioned mass transit, traffic study reports and detailed budget information. Owen to submit report on the number of vehicles counted but any other reports are in review. Owen to research on budget information.

C. **Building Inspector Report**

Owen informed on software updating and no report in packet.

6) **Meeting adjournment.**

Zalucha Motioned and Best seconded to the adjournment at 7:57pm. Motion carried by unanimous voice vote.

Minutes by Assistant Clerk Jean Culberson



AGENDA ITEM REPORT

MEETING DATE

September 24, 2025

PREPARED BY

Nicholas Owen, Administrator

AGENDA ITEM # 4.b

Consideration of Design Review Application for 400 E Main Street, Elk Property Management (Melrose on Main)

BACKGROUND

This design review application is for some exterior work on the existing Melrose on Main Property to add storage space to accommodate Olson's Flower's moving into the building. Village Planner Ben Rohr has provided his review memo which is included in the packet. Overall, the additions proposed are designed to match the existing buildings on the lot.

RECOMMENDATION

ATTACHMENTS

1. Plan-Commission-Application-2023---MASTER-FILLABLE
2. MELROSE ON MAIN PORCH BUILDOUT
3. Olsons Workshop 9.12.25
4. 400 E. Main Street Design Review 9.24.25



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: _____

Project Address _____ **Parcel Number:** _____

[Access Dane Link](#)

Zoning Map

Current Zoning _____ **Future Land Use Zoning:** _____

(select zoning layer in map)

(select future land use layer in map)

APPLICANT:	
ADDRESS:	
PHONE:	EMAIL:

OWNER:	
ADDRESS:	
PHONE:	EMAIL:

PROJECT DESCRIPTION: _____

OWNER/APPLICANT SIGNATURE: _____ **DATE:** _____

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-
<input type="checkbox"/> Certificate of Appropriateness (for Central Business Zoning)	No Fee	
<input type="checkbox"/> Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two
<input type="checkbox"/> Design Review	\$100.00	
<input type="checkbox"/> General Development Plan (GDP)	\$200.00	
<input type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00	
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two

<p>Developer Deposit:</p> <p>An escrow deposit is required in accordance with the Development Application Agreement.</p> <p>Total Fee Paid:</p> <p>_____</p> <p>Date: _____</p> <p>Fee Waived By:</p> <p>_____</p>
--

The Village of Mount Horeb Plan Commission meets the fourth Wednesday of the month, unless noted on calendar. A schedule of deadlines can be found on the Zoning page of the Village website: [Plan Commission Calendar](#). **Consultation with the Village Administrator is highly encouraged to discuss procedure and necessary forms prior to any submittal.**

Note: applications requiring a public hearing will be scheduled for a hearing according to the publication deadline, with action considered at the scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Village Administrator for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Class One = Published in newspaper for one week / Class Two = Published in newspaper for two weeks

Application submittals should include:

- 1) Fully executed **Plan Commission Application**
- 2) Fully executed **Development Application Agreement** (attached)
 - A development agreement is a voluntary contract between a local jurisdiction and a person who owns or controls property within the jurisdiction, detailing the obligations of both parties and specifying the standards and conditions that will govern development.
- 3) Full payment for all associated fees
- 4) Written narrative of the proposed project
- 5) One electronic copy of **full submittal**
 - emailed to (2 parties) Nic.Owen@mounthorebwi.info and mhbuildinginspector@mounthorebwi.info,
 - or provided to our offices on a USB device or submitted via downloaded file

All **submittals** must contain the following to be considered complete:

- 1) Written narrative must include:
 - a. Owner and/or developer names and addresses
 - b. Where applicable; architect and/or engineer names and addresses
 - c. Description of proposed uses
 - d. Calculation indicating total site size, building floor area, number of parking stalls, amount of impervious surface, and amount of non-impervious green space
- 2) A scaled site plan which must include:
 - a. Name of project and date of plan preparation
 - b. Scale of drawing and north arrow
 - c. Property boundaries
 - d. Where applicable; both the one hundred (100) year recurrence interval floodplain and the floodway delineations
 - e. Where applicable; wetlands as delineated in the WDNR Wetland Inventory and 75' setback line from such wetlands
 - f. Existing and proposed easements on the subject property
 - g. Adjoining public street rights-of-way, street pavements, and sidewalk locations; existing and proposed driveways and curb cuts; and parking and loading areas
 - h. Location of existing and proposed building footprints with building and yard setback lines indicated
 - i. Location and size of any existing or proposed signs and fencing
 - j. Location and type of all outdoor lighting proposed to illuminate the site; including a photometrics plan of the site ([See Village Code Chapter 17.14 \(4\)](#))

- 3) Building Plans which must include:
 - a. Elevation drawing of each new or remodeled building façade, indicating height, materials and building dimensions
 - b. Colored renderings of all façades of the principal building showing the proposed colors
 - c. Building materials samples (upon request)
- 4) Grading and Stormwater Management Plan, including:
 - a. Existing and proposed topography shown at a contour interval of not less than two (2) feet at National Geodetic Vertical Datum
 - b. Location and dimension of Stormwater retention or detention basins and/or stormwater conveyances
- 5) Landscape Plan that meets all landscaping standards ([See Village Code Chapter 17.14\(25-27\)](#))
- 6) Parking Calculations
- 7) Escrow fees as outlined in the Development Application Agreement
- 8) Erosion Control and Stormwater Management Application and fees. *No person may begin a land disturbing construction activity or land developing activity subject to this division until the person has paid the Erosion Control Review and Inspection fee.
- 9) Erosion Control Plan
- 10) Signage Plan ([Village Code Chapter 17.171](#))
- 11) Design Review guideline ([See Village Code Chapter 17.14](#))
- 12) Refer to [Mount Horeb Village Code Chapter 17-Zoning Code](#) for all supporting details of required documentation.

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the “Agreement”) is made and entered into this ___ day of _____, _____, by and between the Village of Mount Horeb, a Wisconsin municipal corporation (the “Village”), and _____ (the “Applicant”).

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village’s jurisdiction: **site plan** / conditional use permit / rezone / variance / other development (hereinafter referred to as the “Development”).
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village’s discretion and that the Applicant’s compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (*e.g.*, engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

- 1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
- 2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village’s review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (*e.g.*, engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as “Review Costs.” Village staff time shall be charged at current rates.

3. *Deposit Required to Fund Reimbursement Account.*

- a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the “Deposit”). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions (<2,500 sf) shall require a \$1,500 Deposit.
- (2) Small-sized projects (<5,000 sf) shall require a \$3,500 Deposit.
- (3) Medium-sized projects (<10,000 sf) shall require a \$5,500 Deposit.
- (4) Large-sized projects (>10,000 sf) shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier’s check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non-interest-bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the “Reimbursement Account”).

4. *Village Withdrawals from the Reimbursement Account.*
 - a. After complying with the notification requirements of paragraph 4.b. below, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
 - b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
 - c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
 - d. Any amounts remaining in the Reimbursement Account after the Village has taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.
5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.
6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Mount Horeb
 Village Administrator
 138 East Main Street
 Mount Horeb, WI 53572
 Email: Nic.Owen@mounthorebwi.info

To Applicant: _____

Email: _____


7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

VILLAGE OF MOUNT HOREB

By: _____
Nicholas W Owen
Administrator

APPLICANT

By: 
Print name: Kristen Dresen
Title: owner

MELROSE ON MAIN

PORCH ENCLOSURE

Mount Horeb, Wisconsin



LAYOUT PAGE TABLE		
NUMBER	TITLE	COMMENTS
1	COVER	
2	EXISTING PORCH	
3	BUILDOUT FLOORPLAN	
4	ELEVATION	
5	ELEVATION	
6	WALL SECTION	

GENERAL CONTRACTOR:
 E THOMPSON CARPENTRY, LLC
 608-354-5202

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY NECESSARY PARTIES OF ANY OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. THESE DRAWINGS ARE PROVIDED AS A DRAFTING SERVICE AND PREMIER BUILDING SOLUTIONS, INC IS NOT RESPONSIBLE FOR THE COMPLIANT CONSTRUCTION OF THE PROJECT.

SHEET NUMBER

1

DATE DESCRIPTION

9.10.25 PERMITTING

KRISTEN DRESEN
 400 E MAIN STREET
 MOUNT HOREB, WI 53572

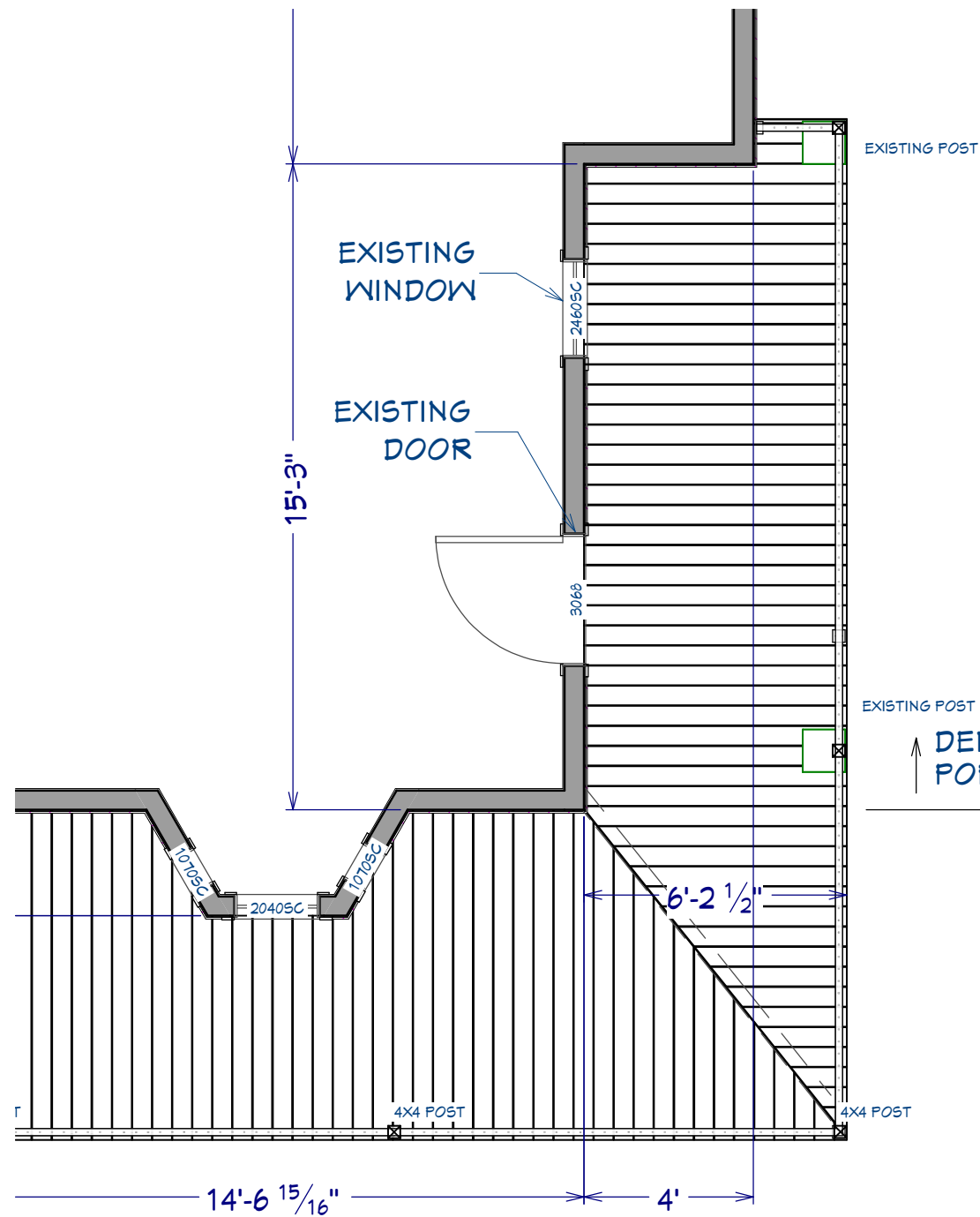
DRAWN BY: JAMIE ORLOFF

MELROSE ON MAIN
 PORCH ENCLOSURE

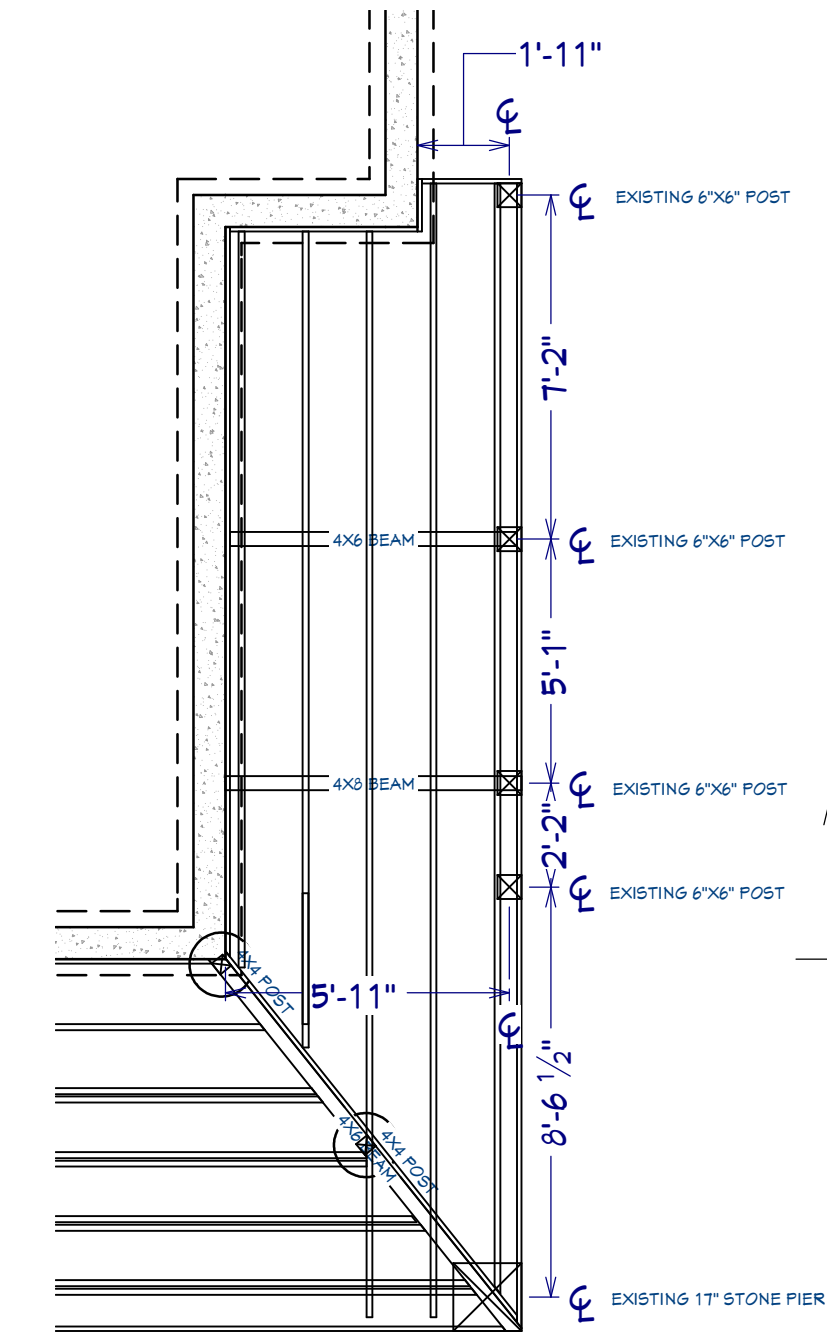
2581 STATE HWY 92,
 MOUNT HOREB WI 53572
 (608) 437-9595
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↑ DEMO PORCH DECK
PORCH ROOF REMAINS



↑ DEMO PORCH
DECK FRAMING

○ EXISTING FOUNDATION
1/4 in = 1 ft

○ EXISTING PORCH
1/4 in = 1 ft

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SHEET NUMBER
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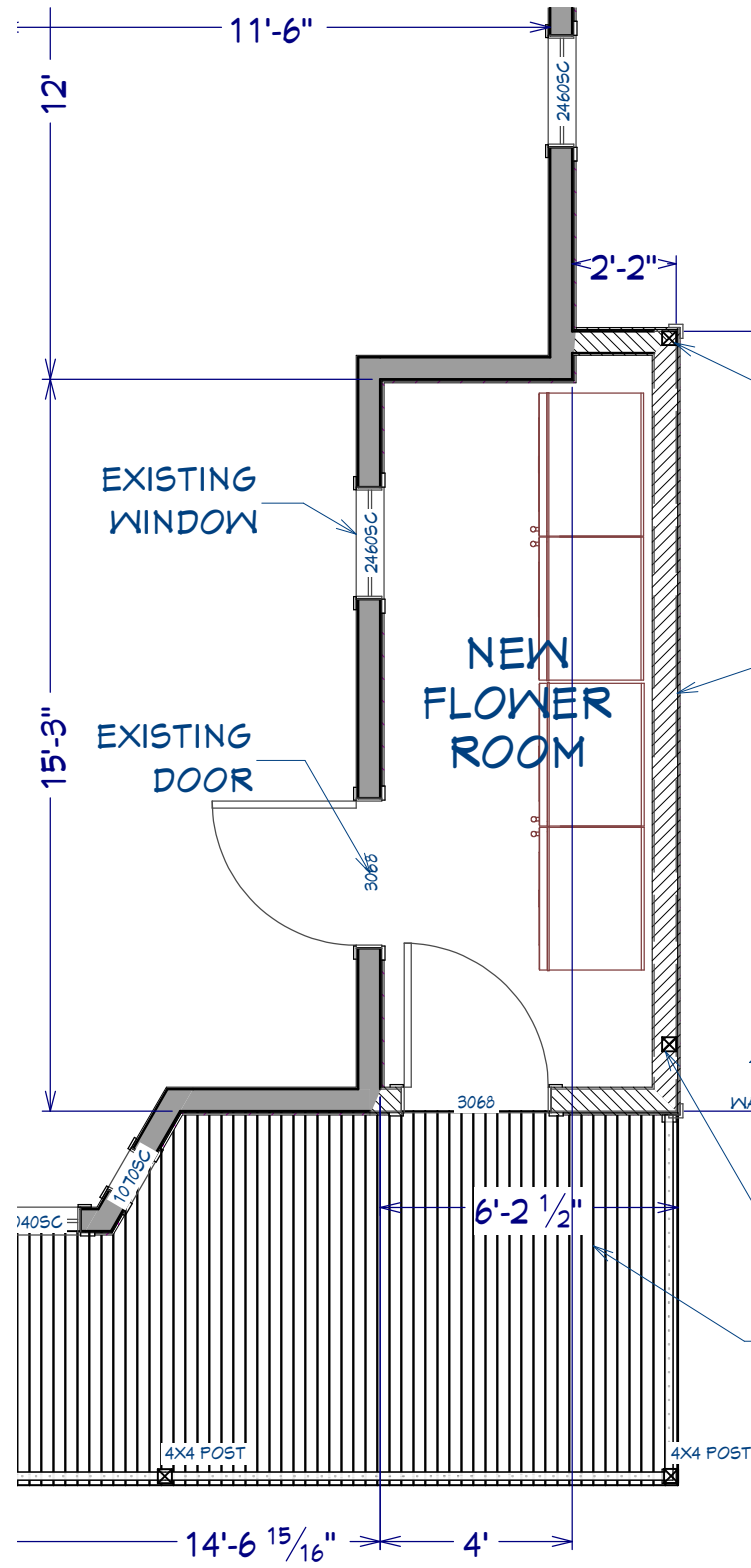
DATE DESCRIPTION
9.10.25 PERMITTING

KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53572
DRAWN BY: JAMIE ORLOFF

MELROSE ON MAIN
PORCH ENCLOSURE

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REMODELED PORCH
1/4 in = 1 ft

E10
4

REMOVE DECORATIVE COLUMN WRAP
REPLACE EXISTING COLUMN IF NECESSARY TO
RETAIN BEARING POINT FOR ROOF BEAM

2X6 WALL INFILL FRAMING

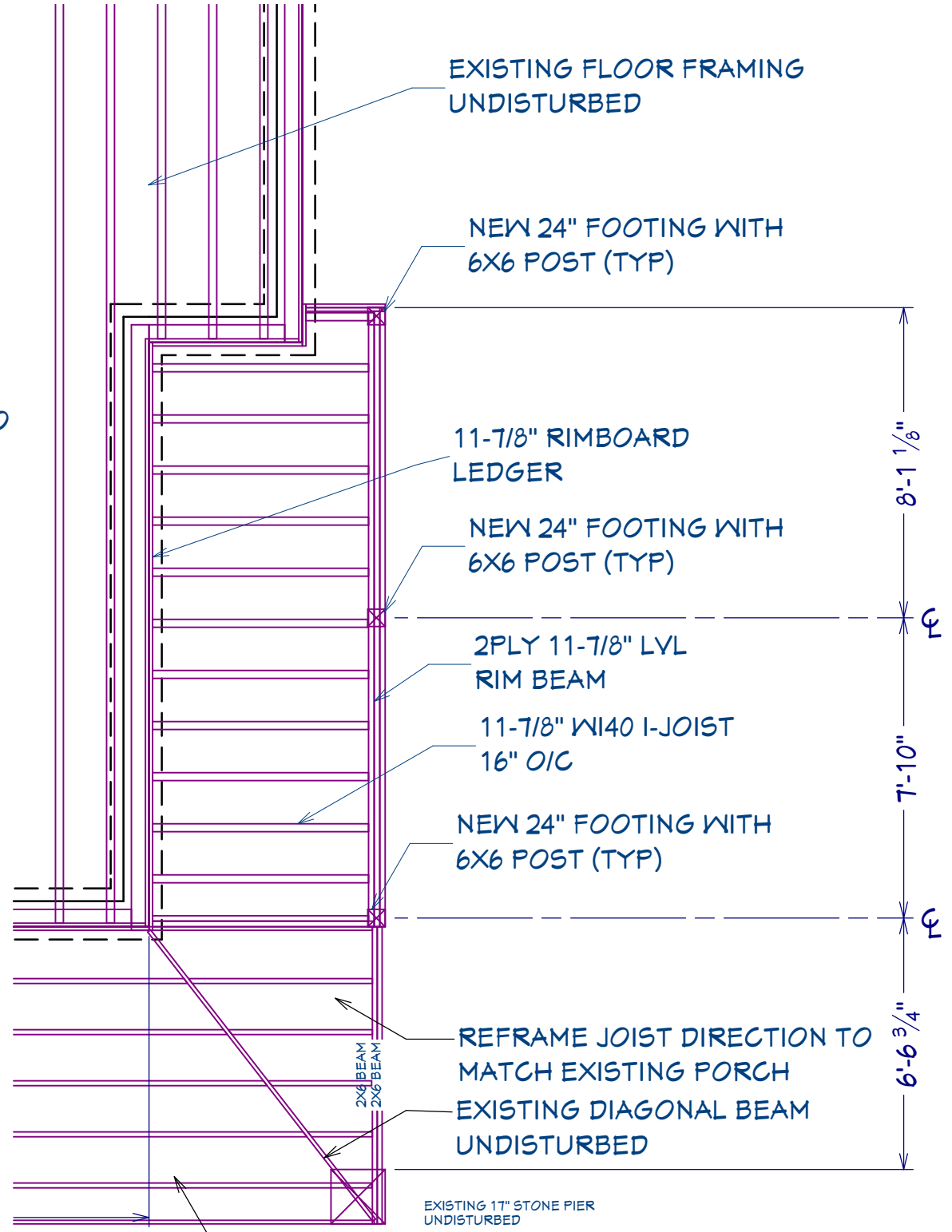
NEW
FLOWER
ROOM

E9
WALL SECTION V

REMOVE DECORATIVE COLUMN WRAP
REPLACE EXISTING COLUMN IF NECESSARY TO
RETAIN BEARING POINT FOR ROOF BEAM

REFRAME JOISTS FROM DIAGONAL BEAM TO NEW
ROOM AND FIX FLOORBOARD DIRECTION

E11
5



Framing, Floor Plan View
1/4 in = 1 ft

EXISTING PORCH FRAMING
2X6 TREATED JOISTS
UNDISTURBED

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SHEET NUMBER
3

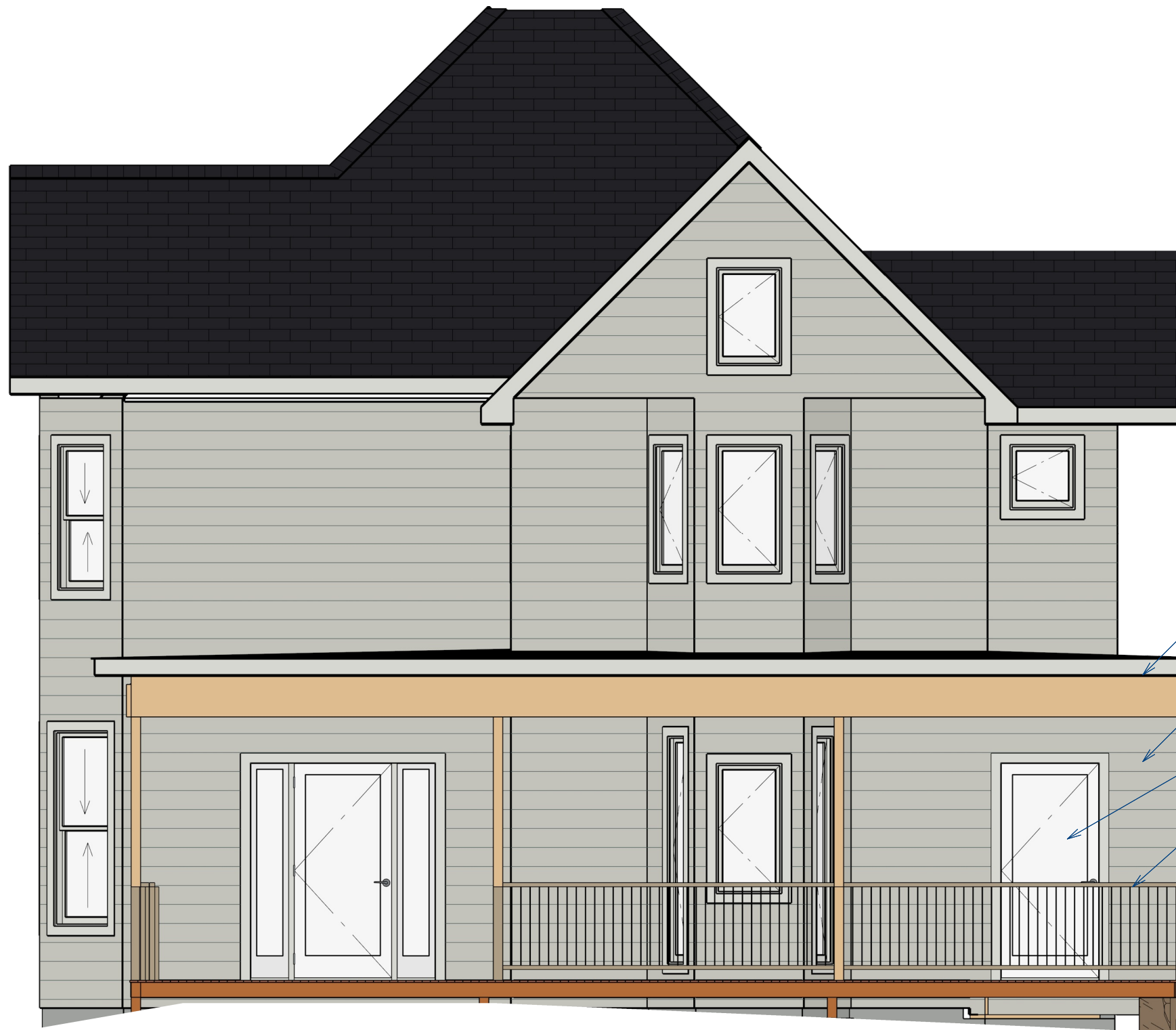
DATE DESCRIPTION
9.10.25 PERMITTING

KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53512
DRAWN BY: JAMIE ORLOFF

MELROSE ON MAIN
PORCH ENCLOSURE

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EXISTING ROOF AND BEAM REMAIN

WHITE VINYL D/4 SIDING

NEW STEEL FULL LITE DOOR

EXISTING WOOD RAILING REMAINS

EXISTING
UNDISTURBED
BUILDING

PORCH
BUILDOUT

E10 STORE SOUTH ELEVATION
1/4 in = 1 ft

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SHEET NUMBER

4

DATE DESCRIPTION
9.10.25 PERMITTING

KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53572

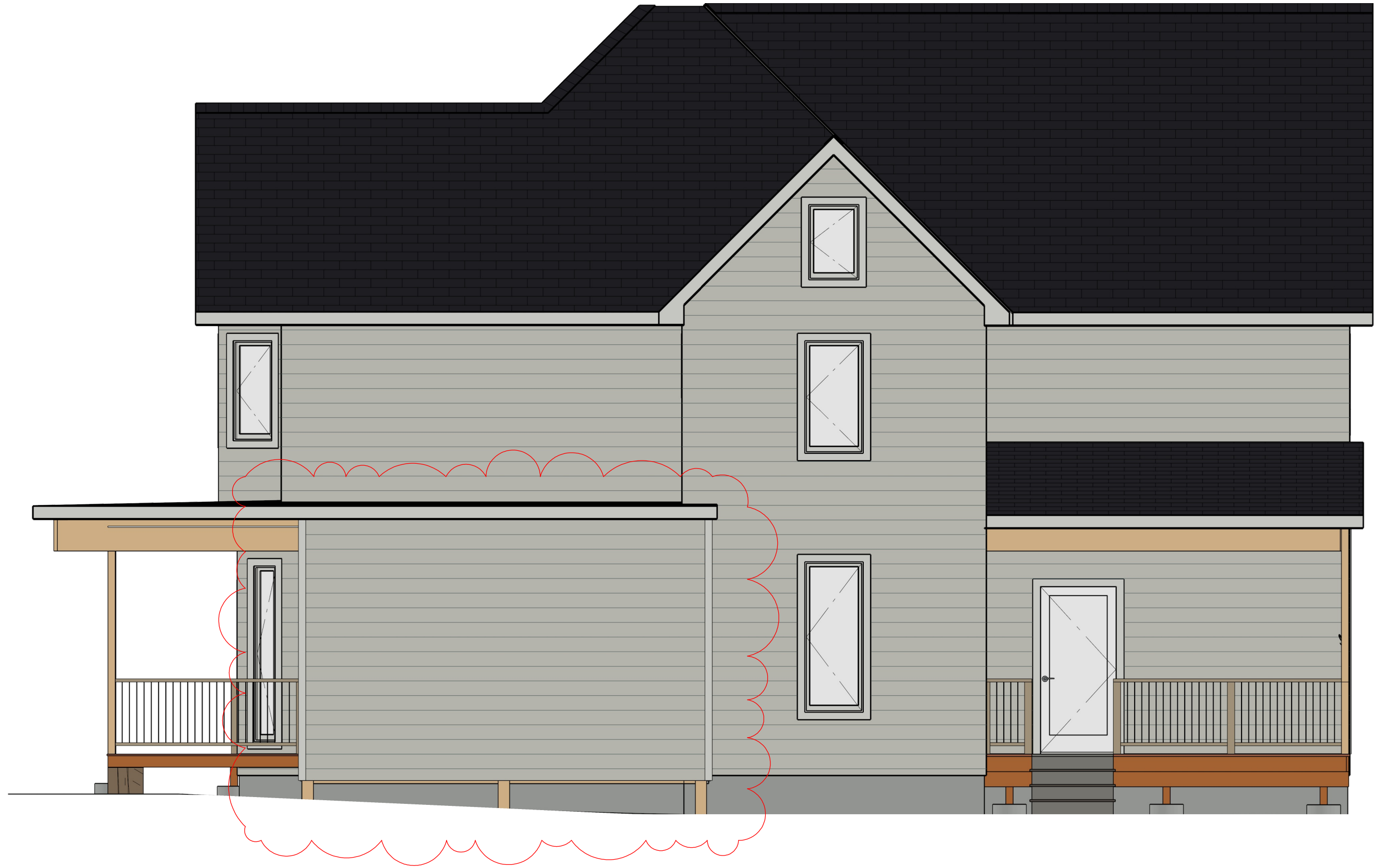
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MELROSE ON MAIN
PORCH ENCLOSURE

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REMODEL



E11 EAST ELEVATION
1/4 in = 1 ft

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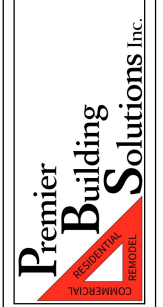
SHEET NUMBER
5

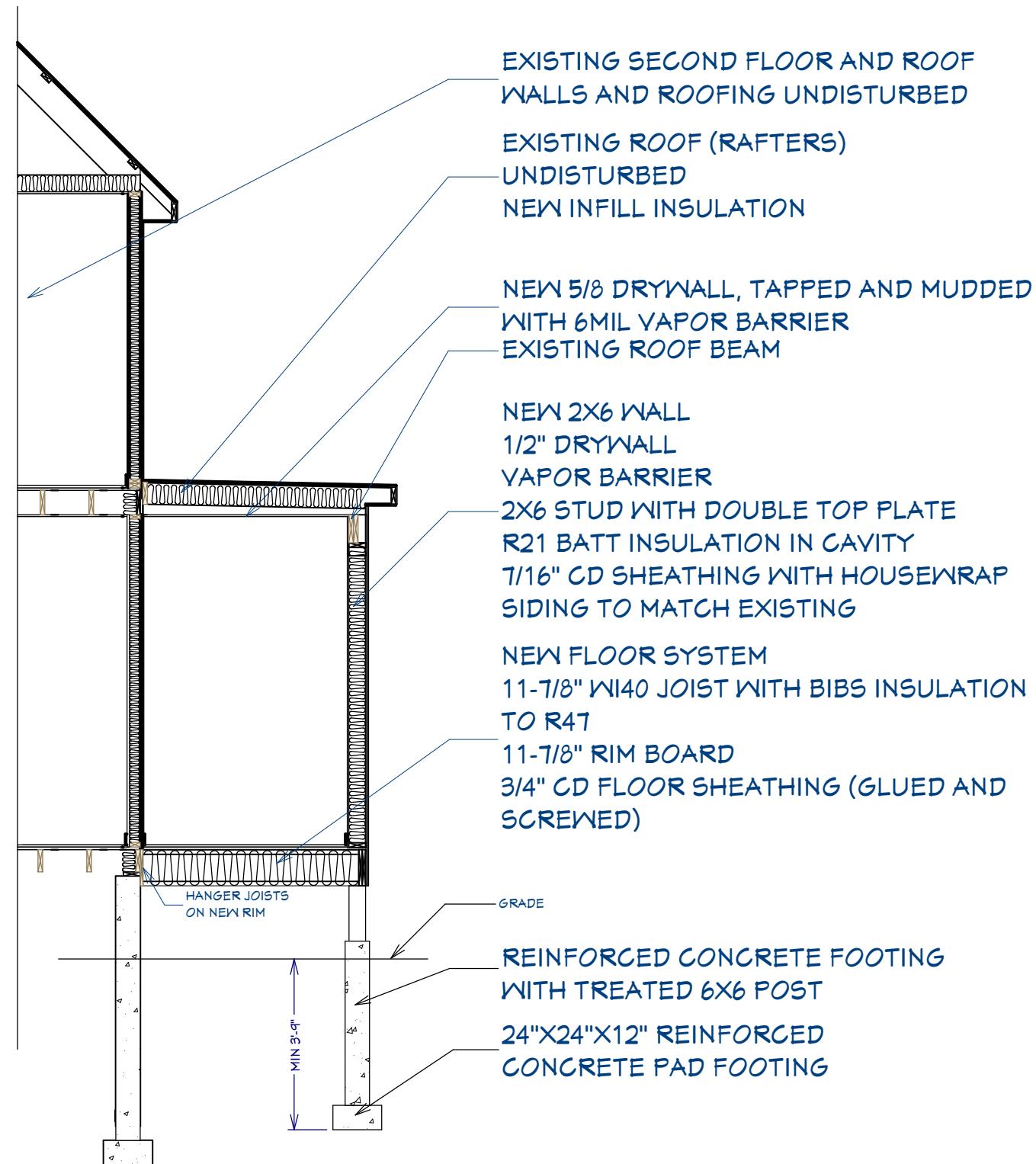
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DRAWN BY: JAMIE ORLOFF

MELROSE ON MAIN
PORCH ENCLOSURE

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EXISTING SECOND FLOOR AND ROOF
WALLS AND ROOFING UNDISTURBED

EXISTING ROOF (RAFTERS)
UNDISTURBED

NEW INFILL INSULATION

NEW 5/8 DRYWALL, TAPPED AND MUDDED
WITH 6MIL VAPOR BARRIER
EXISTING ROOF BEAM

NEW 2X6 WALL
1/2" DRYWALL
VAPOR BARRIER

2X6 STUD WITH DOUBLE TOP PLATE
R21 BATT INSULATION IN CAVITY
7/16" CD SHEATHING WITH HOUSEWRAP
SIDING TO MATCH EXISTING

NEW FLOOR SYSTEM
11-7/8" W140 JOIST WITH BIBS INSULATION
TO R47

11-7/8" RIM BOARD
3/4" CD FLOOR SHEATHING (GLUED AND
SCREWED)

HANGER JOISTS
ON NEW RIM

GRADE

REINFORCED CONCRETE FOOTING
WITH TREATED 6X6 POST

24"X24"X12" REINFORCED
CONCRETE PAD FOOTING

○ WALL SECTION
1/4 in = 1 ft

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SHEET NUMBER
6

DATE DESCRIPTION
9.10.25 PERMITTING

KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53572
DRAWN BY: JAMIE ORLOFF

MELROSE ON MAIN
PORCH ENCLOSURE

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OLSON'S WORKSHOP AT MELROSE ON MAIN

Mount Horeb, Wisconsin



LAYOUT PAGE TABLE		
NUMBER	TITLE	COMMENTS
1	COVER	
2	FOUNDATION	
3	FLOORPLAN	
4	ELEVATION	
5	ELEVATION	
6	ROOF LAYOUT	
7	WALL BRACING	

GENERAL CONTRACTOR: E THOMPSON CARPENTRY, LLC
608-354-5202

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SHEET NUMBER
1

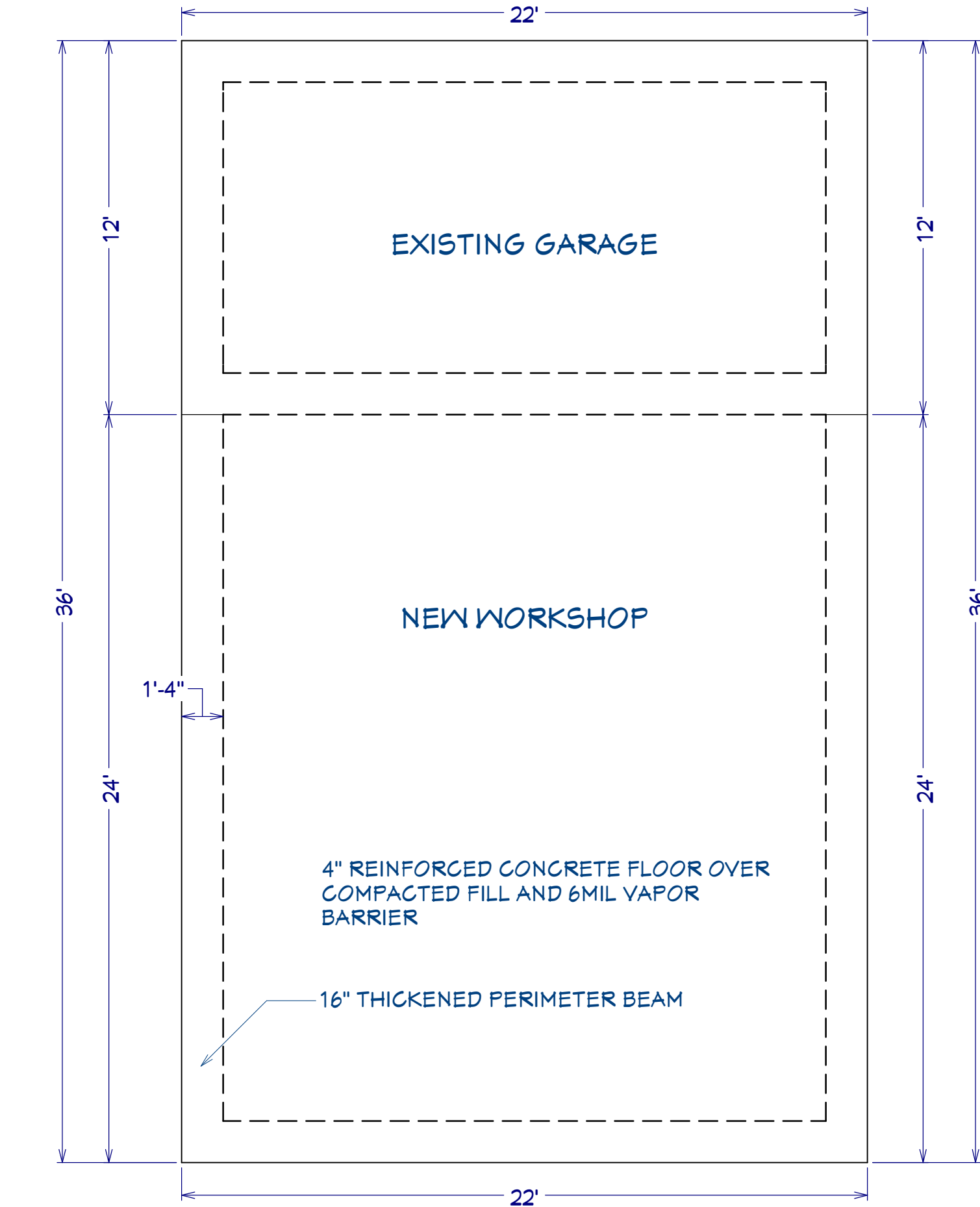
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KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53572
DRAWN BY: JAMIE ORLOFF

OLSON'S FLOWERS AND GIFTS
WORKSHOP ADDITION
MELROSE ON MAIN

2581 STATE HWY 92,
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○ Foundation
1/4 in = 1 ft

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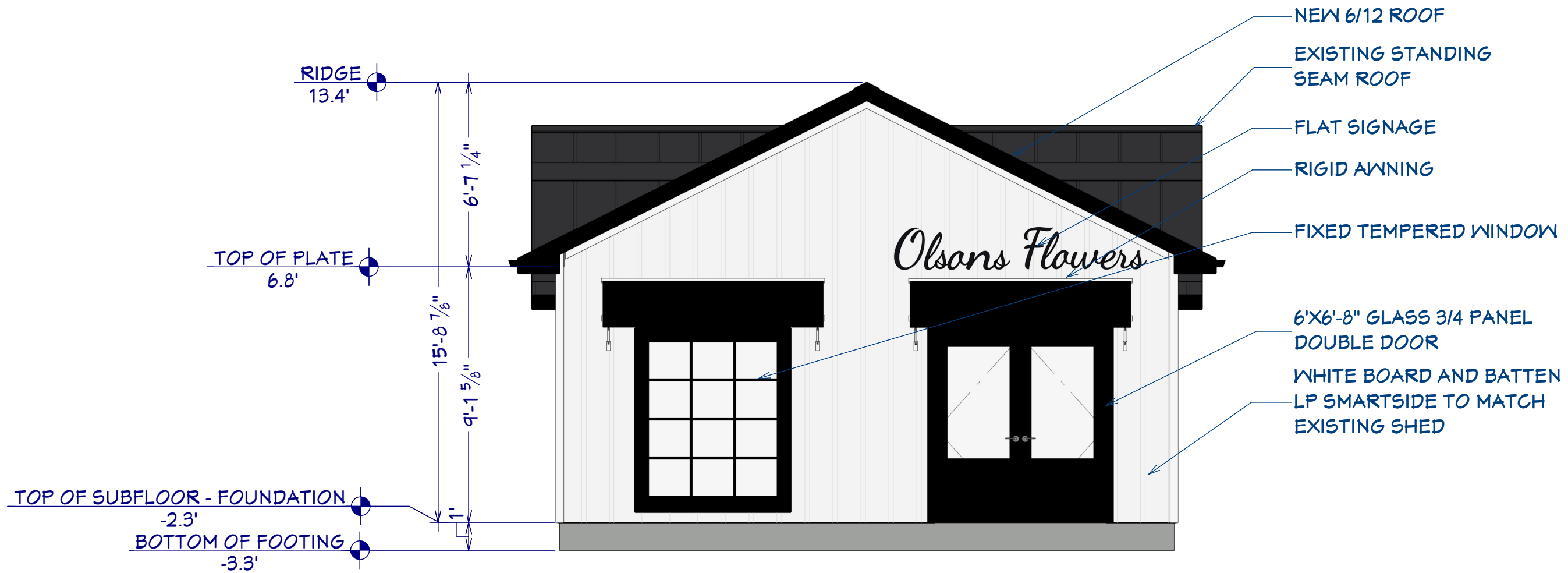
OLSON'S FLOWERS AND GIFTS
WORKSHOP ADDITION
MELROSE ON MAIN

KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53572
DRAWN BY: JAMIE ORLOFF

DATE DESCRIPTION
9/12/25 PERMITTING

SHEET NUMBER

2



E6 STREET ELEVATION
1/4 in = 1 ft

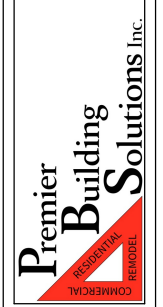
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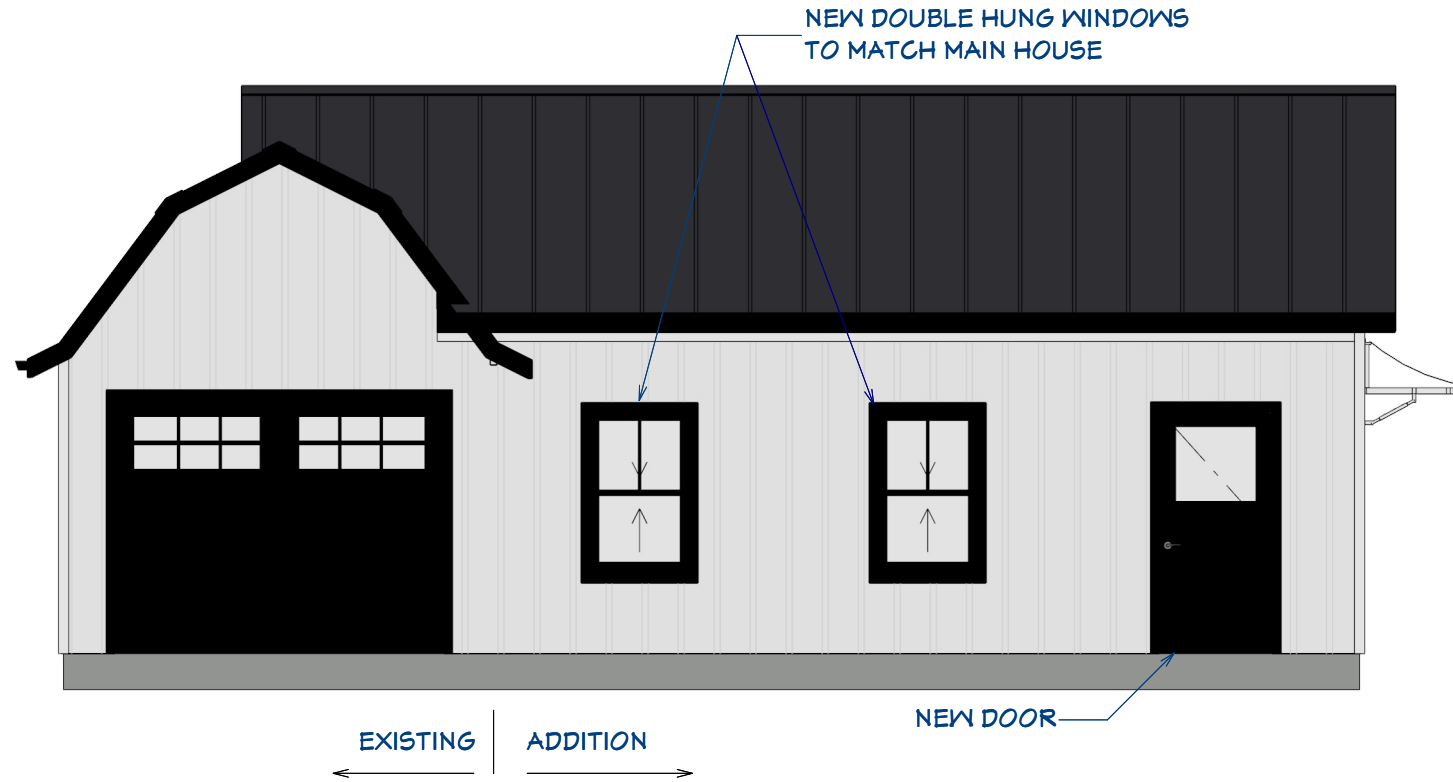
DATE	DESCRIPTION
9/12/25	PERMITTING

KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53572
DRAWN BY: JAMIE ORLOFF

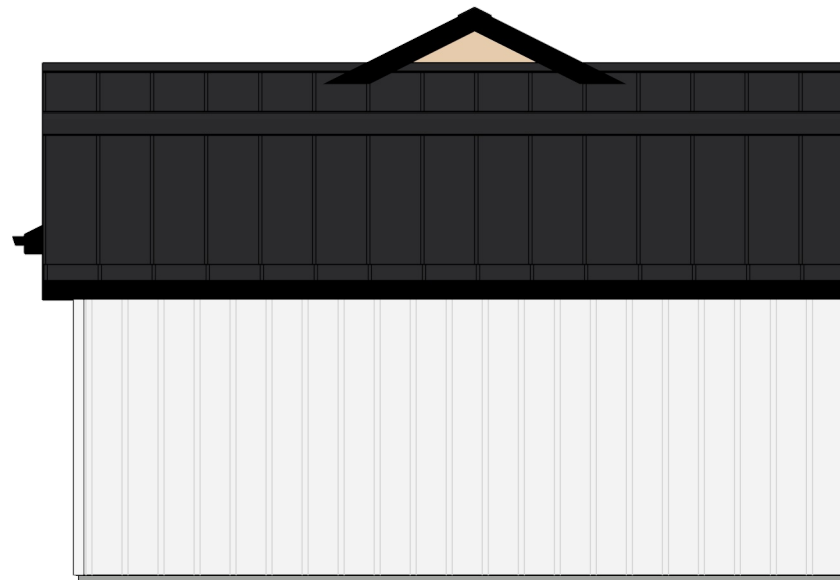
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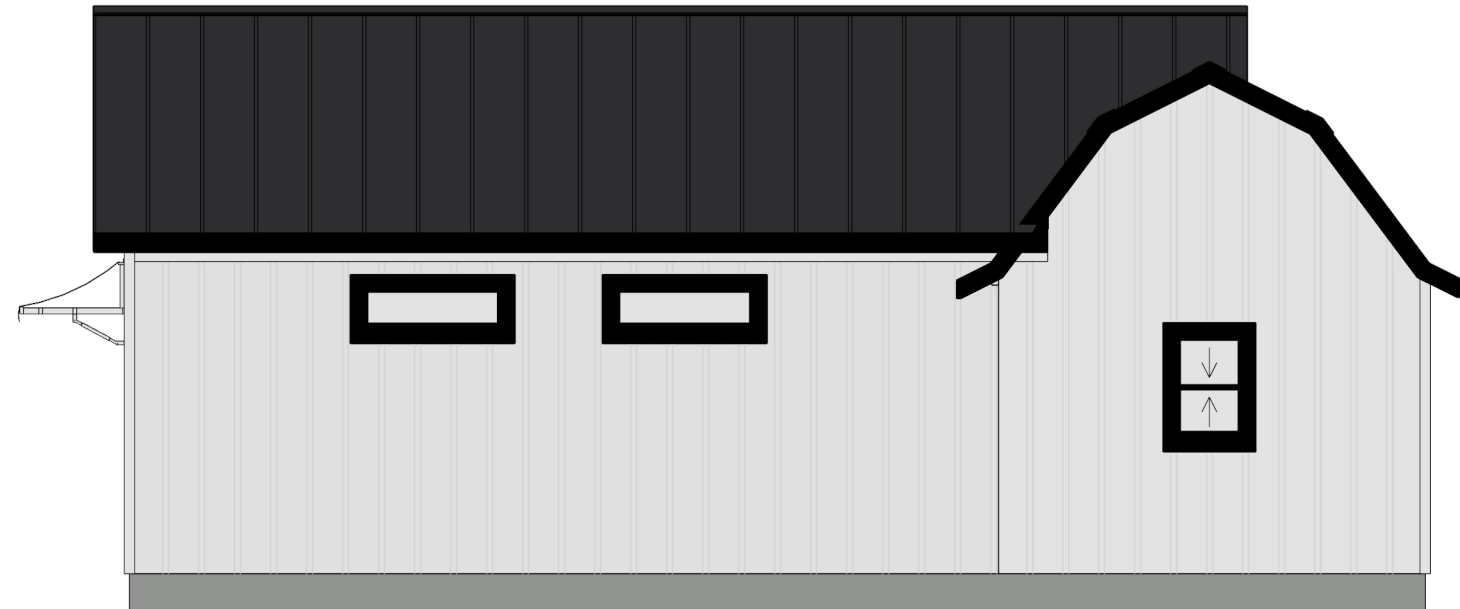




E5 WORKSHOP WEST ELEVATION
3/16 in = 1 ft



E8 SOUTH GARAGE ELEVATION
3/16 in = 1 ft



E7 EAST WORKSHOP ELEVATION
3/16 in = 1 ft

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SHEET NUMBER
5

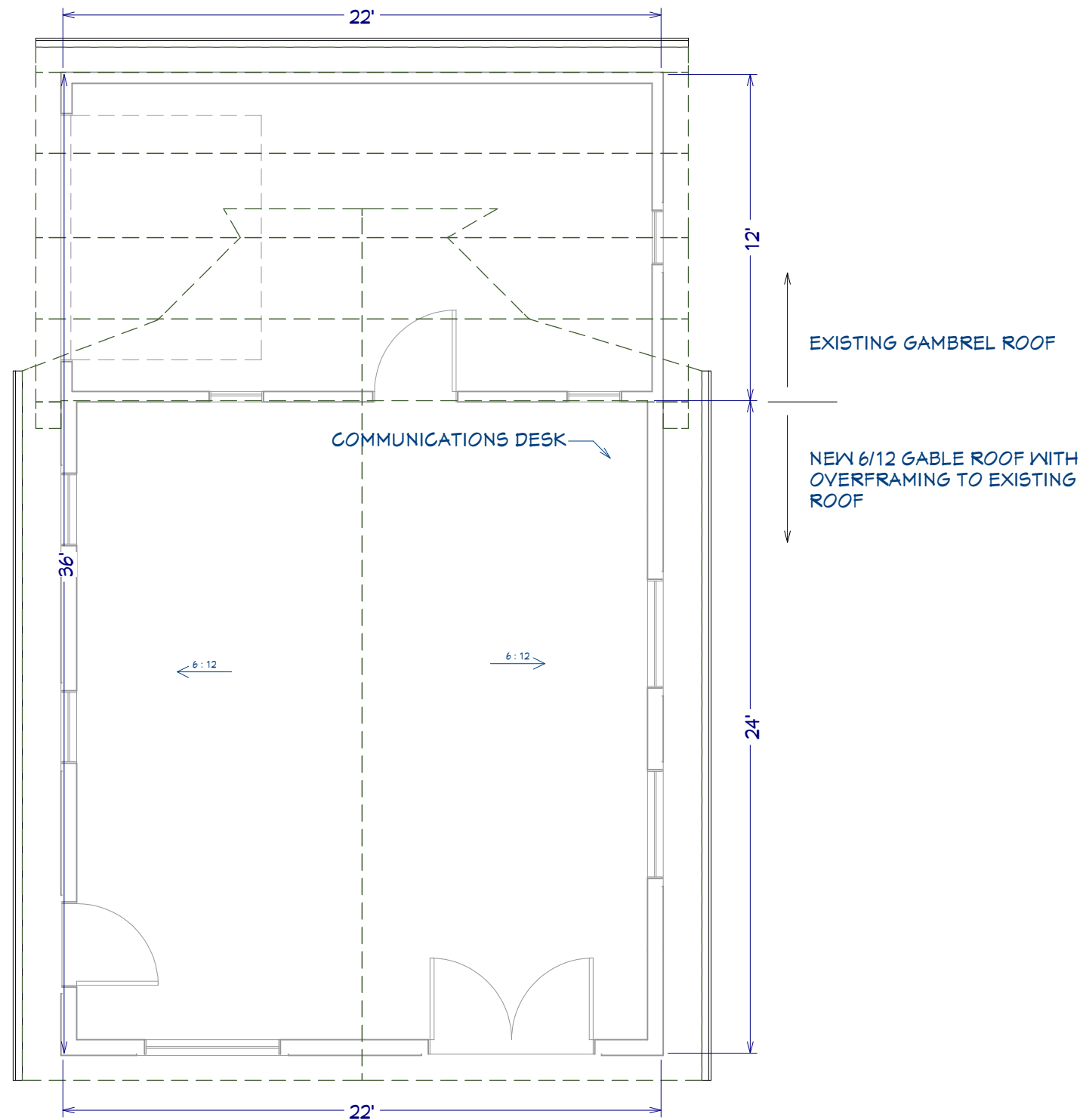
DATE DESCRIPTION
9/12/25 PERMITTING

KRISTEN DRESEN
400 E MAIN STREET
MOUNT HOREB, WI 53512
DRAWN BY: JAMIE ORLOFF

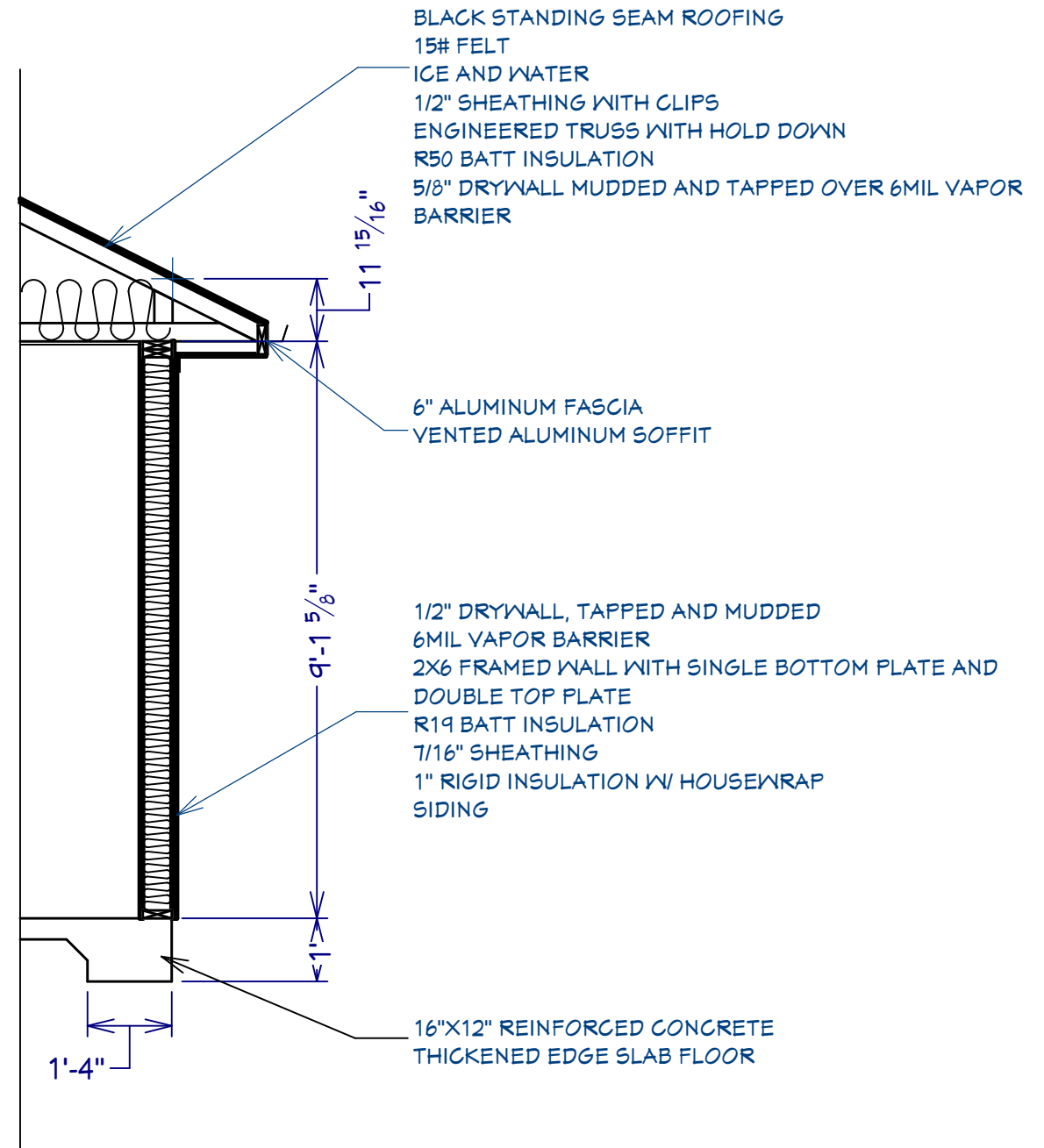
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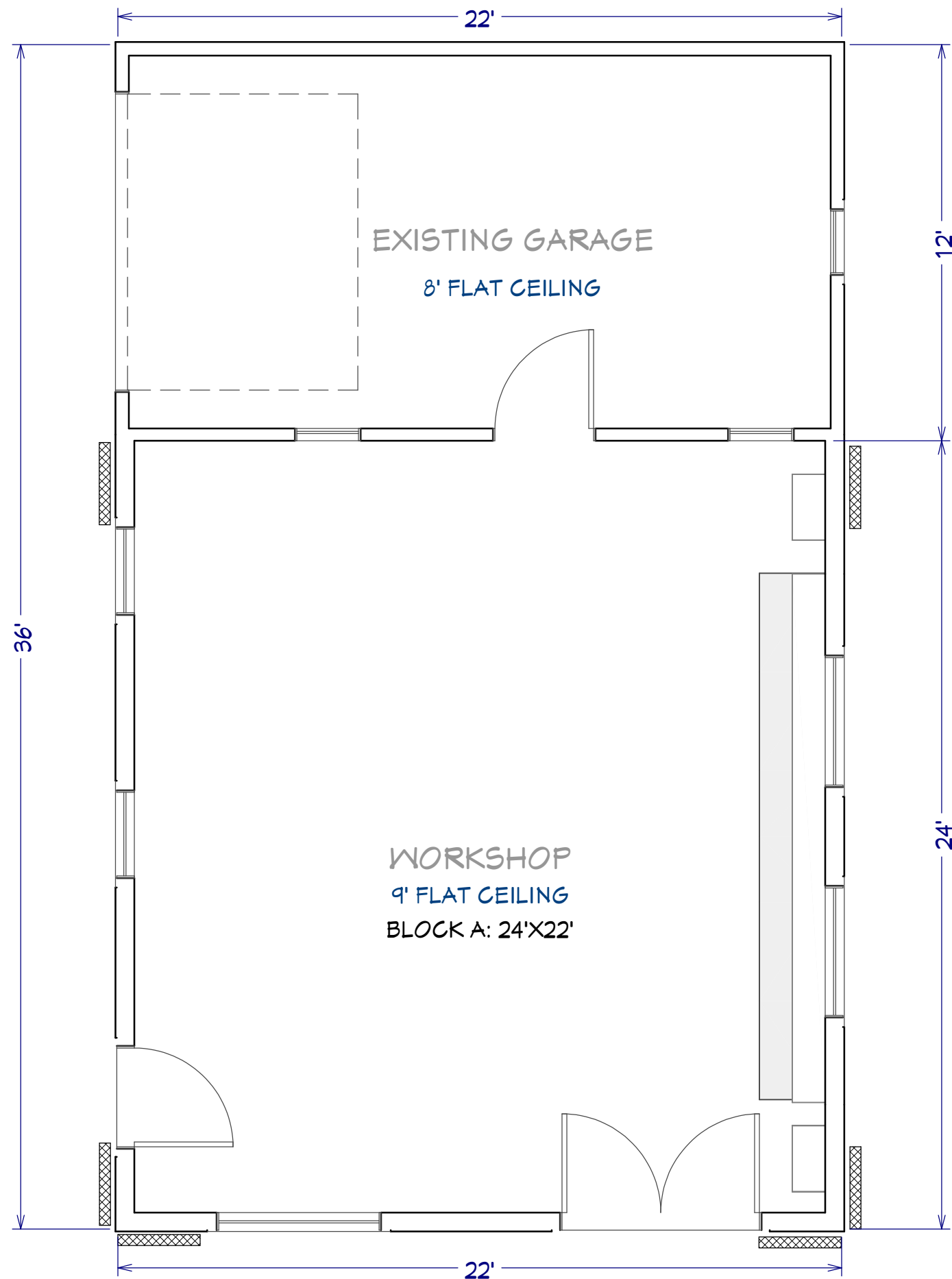


Roof Plan View
3/16 in = 1 ft



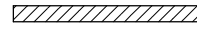


WORKSHOP WALL ELEVATION
3/8 in = 1 ft

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CS-WSP BRACING PARAMETERS
 BLOCK A DIMENSIONS: 24'X22'
 WALL HEIGHT: 9'
 MAX OPENING HEIGHT: 6'-8"
 ROOF HEIGHT: 6'-9"
 WIND EXPOSURE: B
 MIN PANEL WIDTH: 30"
 REQUIRED BRACING: LONG SIDE: 5' SHORT SIDE: 5'

WALL BRACE PANEL SCHEDULE

	48" WALL BRACE PANEL
	MIN WALL BRACE PANEL
	PORTAL WALL FRAMING

○ **WALL BRACING PLAN**
 1/4 in = 1 ft

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY NECESSARY PARTIES OF ANY OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. THESE DRAWINGS ARE PROVIDED AS A DRAFTING SERVICE AND PREMIER BUILDING SOLUTIONS, INC IS NOT RESPONSIBLE FOR THE COMPLIANT CONSTRUCTION OF THE PROJECT.

SHEET NUMBER
7

DATE DESCRIPTION
 9/12/25 PERMITTING

KRISTEN DRESEN
 400 E MAIN STREET
 MOUNT HOREB, WI 53572
 DRAWN BY: JAMIE ORLOFF

OLSON'S FLOWERS AND GIFTS
 WORKSHOP ADDITION
 MELROSE ON MAIN

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VANDEWALLE & ASSOCIATES INC.

MEMORANDUM

To: Village of Mount Horeb Plan Commission
From: Village Planner: Ben Rohr, AICP
Date: September 24, 2025
Re: Design Review for Exterior Changes at 400 E. Main Street

Introduction

Elk Property Management has submitted a request for Design Review for façade alterations to accommodate Olson's Flowers relocation to 400 E. Main Street. The façade changes include:

- Converting a 100 square foot portion of the existing porch at the southeast corner of the structure into a fully sheltered space to accommodate a new flower room that will be accessible from Main Street. The rest of the existing open-air porch is planned to remain.
- Adding a 528 square foot addition on the southside of the existing detached garage space to accommodate a new flower workshop space.

Both changes are proposed to match the exterior materials that are used today on the principal and accessory structures. Each will provide new interior spaces for utilization by Olson's Flowers. All other existing exterior components of the structure and site are proposed to remain unchanged.

The site is zoned Central Business and Indoor Sales and Service is permitted by-right in this zoning district. The only land use requirement associated with Indoor Sales and Service is on-site parking, which is not applicable within the Central Business district. Today, the applicant is seeking review and action on the site plan and design review.

The proposed exterior changes meet all setback and other bulk dimensional requirements of the CB zoning district.



Site Plan and Design Review

Design Review by the Plan Commission is required under Section 17.14 of the Zoning Ordinance. Design Review is required for all development projects in the Village, except residential development with three or fewer dwelling units. The Design Review requirements in Section 17.14(4)(b) identify 27 Design Directives. The Plan Commission has the ability to waive any Design Directive or add additional design requirements upon a finding that the additional design requirement would improve the project.

This review is based on the plan set provided by the applicant. I recommend the Plan Commission discusses the items underlined.

1. Site Grading:

- a. The grading plan shall preserve existing grades to the greatest extent possible, particularly at the perimeter of the site.
 - This requirement is met.
- b. In no instance shall proposed grading create transitions to adjoining properties or rights-of-way that are unsafe, unstable or create drainage problems.
 - This requirement is met.
- c. Site grading shall also preserve or create an attractive site appearance in conjunction with the proposed development.
 - This requirement is met.

2. Existing Site Vegetation and Other Natural Features:

- a. The grading and development plans shall preserve, protect, and maintain important existing site vegetation as identified by the Plan Commission. Examples include hedgerows, groves and individual specimen trees.
 - This requirement is met.
- b. Topsoil used at the development site should be from on site, to the extent possible, particularly in areas under the drip line of preserved vegetation.
 - This requirement is met.

3. Site Layout Relation to Abutting Streets:

- a. In general, the layout of buildings, structures, pavement, parking and landscaping shall be compatible with the general pattern for similar land uses in the vicinity, as determined by the Plan Commission.
 - This requirement is met.
- b. The general site layout shall result in an attractive appearance to all abutting streets, as determined by the Plan Commission.
 - The site layout meets this requirement.

4. Building Setbacks:

- a. Building setbacks shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 4.b. and 4.c.
 - This requirement is met.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, the entire street side of buildings shall be

located at or within 3 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process.

- This requirement is not applicable.
- c. Within the CTH ID corridor between STH 78 and USH 151, the entire street side of buildings shall be located at or within 30 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process. Parking shall not be permitted in this area. Drives for one-way circulation and/or emergency vehicle access may be permitted through the conditional use process.
 - This requirement is not applicable.

5. Building Height:

- a. Building heights shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 5.b. and 5.c.
 - This requirement is met.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, building heights shall be a minimum of 20 feet and shall be a minimum of 2 stories, unless an exception is granted through the conditional use process.
 - This requirement is not applicable.
- c. Within the CTH ID corridor between STH 78 and USH 151, building heights shall provide a functional or decorative building tower or related architectural feature that exceeds the height of the majority of the building facade by at least 7 feet, unless an exception is granted through the conditional use process. Roofs, and roof appurtenances such as cupolas, shall not count toward this requirement.
 - This requirement is not applicable.

6. Building Mass:

- a. Buildings over 5,000 square feet of gross floor area shall be subject to the requirements for large developments.
 - This requirement is not applicable. The proposed addition is less than 5,000 square feet.

7. Building Facades:

- a. Long building facades shall be visually broken up and variegated with staggers and offsets as determined appropriate by the Plan Commission.
 - This requirement is met through the use of matching and regularly spaced window and door openings.
- b. All building facades facing streets, drives or parking areas shall provide regularly spaced openings for windows and doors, and regularly spaced decorative elements such as piers and columns. The size and spacing of these features shall be compatible with nearby structures that meet this requirement, as determined by the Plan Commission.
 - This requirement is met through the use of matching and regularly spaced window and door openings.

- c. All building facades facing streets, drives or parking areas shall provide a pattern of upper story openings that is compatible with the pattern established by the ground floor, as determined by the Plan Commission.
 - This requirement is not applicable.
- d. Within the downtown zoning district, and particularly along Main Street and the commercially developed portions of intersecting streets, building facades shall employ traditional storefront design by providing pilasters, transom windows, cornices, lintels and related decorative details to highlight transitions between the ground floor and upper stories and between upper stories and the parapet.
 - This requirement is not applicable because the existing structure design is that of a house and the proposed additions match the existing structure's design.

8. Exterior Building Materials:

- a. Exterior materials for multi-family, office, or commercial buildings may not include metal wall panels, concrete panels, plain concrete block, asphalt, or spandrel window panels, unless an exception is granted through the conditional use process.
 - This requirement is met. The proposed exterior building materials match the existing structures and include siding.
- b. Hard and durable materials including decorative block, brick or stone, shall be required on all exterior portions of the structure within 40 inches of the adjacent grade.
 - This requirement is not met. Both the existing principle and accessory structure do not include this design element, and the proposed additions match the existing structure's design. I recommend the Plan Commission waive this requirement.

9. Exterior Building Colors:

- a. Exterior colors of all buildings, structures, appurtenances and paving shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
 - i. Within the downtown area, the Victorian color palette shall be used, or other colors must be approved by the Plan Commission.
 - This requirement is met with white matching colors used within the addition areas.
 - ii. Throughout the rest of the Village, primary colors including red, blue, green, yellow, black, and fluorescent colors shall not be permitted. Where an integral part of site design, muted versions of these colors may be used, as approved by the Plan Commission.
 - This requirement is not applicable.
 - iii. High gloss paints and other exterior finishes are not permitted.
 - This requirement is met on all portions of the building.
 - iv. Color patterns shall be used consistently throughout the property, as determined by the Plan Commission.
 - This requirement is met on all portions of the building.

10. Exterior Doors:

- a. All exterior doors visible from streets, drives or parking areas shall provide decorative design elements.
 - This requirement is met with all new proposed doors to match those existing.

11. Windows:

- a. Spandrel panels, mirrored glass or heavily-tinted windows are not permitted. Where screening is desired, vertical or horizontal strip blinds may be used.
 - This requirement is met. None of those materials are proposed.
- b. Windows may not be obscured by paper or other attached materials on more than 5% of any individual window panel.
 - This requirement is met. None proposed.

12. Roofs:

- a. Roof forms and materials shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
 - This requirement is met. Several of the surrounding buildings in this area include pitched roofs that reflect the proposed development.
- b. Metal roofs shall not be used for multifamily, office or commercial buildings, unless an exception is granted through the conditional use process.
 - This requirement is not met with the accessory structure because the existing structure has a metal roof, and the proposed addition matches that design. I recommend the Plan Commission waive this requirement.
- c. Roof forms shall be designed to accommodate the requirements in subparagraphs 5.c. and 7.d., above.
 - This requirement is met.
- d. Rooftop mechanical equipment shall not exceed the elevation of the lowest point of the surrounding building parapet or roof.
 - This requirement is met. None proposed.

13. Exterior Building Appurtenances:

- a. Building facades shall be uncluttered by the minimal use and careful placement of brackets, wiring, meter boxes, antennae, gutters, downspouts and other appurtenances. Where necessary, such features shall be colored to blend in, rather than contrast, with the immediately adjacent building exterior.
 - This requirement is met.

14. Awnings:

- a. Awnings, where approved by the Plan Commission, shall complement the character of the building.
 - This requirement is met. The proposed awnings on the accessory structure complement the design of the structure.

- b. Soft, weather-treated canvas or vinyl materials which allow for flexible or fixed installation may be used. Metal canopies are prohibited.
 - This requirement is met with what looks to be canvas or vinyl awning materials.
- c. Backlighting is prohibited.
 - This requirement is met. No backlighting is proposed.

15. Trash Containment Structures:

- a. Trash containment structures shall be designed to fully conceal trash storage.
 - This requirement is met. None proposed.
- b. Trash containment structures shall be constructed in the same materials and colors as the ground floor of the principal building.
 - This requirement is met. None proposed.
- c. Wood or synthetic wood gates shall be used and shall be arranged in a pattern to provide complete opacity. Metal panel gates and metal fence gates with strips are prohibited.
 - This requirement is met. None proposed.

16. Freestanding Canopy Structures:

- a. Freestanding canopy structures, such as those providing shelter at a gas station or drive-up banking station, shall be designed to complement the design of the principal building, as determined by the Plan Commission.
 - This requirement is met. No freestanding canopies are planned.
- b. Canopy roofs shall employ the same pitch, materials and colors as the roof of the principal building, unless an exception is granted through the conditional use process.
 - This requirement is met. No freestanding canopies are planned.
- c. Canopy supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
 - This requirement is met. No freestanding canopies are planned.

17. Other Structures:

- a. Outbuildings shall employ the same high-quality exterior building materials as used on the principal building.
 - This requirement is met. The accessory structure addition matches the design of the existing structure.
- b. Walls and fences shall employ high-quality materials such as metal pickets, stone, decorative block or brick which complement the principal building, as determined by the Plan Commission.
 - This requirement is met. No fencing is proposed.

18. Exterior Lighting:

- a. All exterior lighting shall use decorative fixtures, as approved by the Plan Commission. Such fixtures shall be consistent in design theme throughout the site.

- No lighting plans have been provided. It is unknown if this requirement is met.
- b. All exterior light bulbs shall not be visible from beyond any property line. Directional or cutoff fixtures shall be used to meet this requirement.
 - See 18.a.
- c. Lighting at the property lines shall not exceed 0.5 footcandles over ambient conditions.
 - See 18.a.
- d. Maximum lighting shall not exceed 10.0 footcandles on the site, except in areas serving in-vehicle uses such as drive-up windows and fueling areas. In such locations, maximum lighting shall not exceed 25.0 footcandles.
 - See 18.a.
- e. Freestanding light fixtures shall not exceed a total height of 20 feet.
 - See 18.a.

19. Exterior Signage:

- a. Exterior signage shall complement the design of the overall site, as determined by the Plan Commission.
 - This requirement looks to be met, but all signage plans shall be submitted prior to the issuance of permits, meeting all requirements of the Zoning Ordinance.
- b. Freestanding sign supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
 - This requirement looks to be met, but all signage plans shall be submitted prior to the issuance of permits, meeting all requirements of the Zoning Ordinance.

20. Outdoor Display or Storage:

- a. All outdoor display and/or storage areas must be clearly depicted and labeled on an approved site plan. Said label shall specify the general types of materials to be displayed or stored, including: retail or rental display; retail or rental vehicle display; long-term business vehicle storage; equipment storage; refuse storage; scrap equipment or vehicle storage.
 - This requirement is met. No areas of outdoor display are proposed or approved anywhere else on the site.
- b. Outdoor storage areas shall be adequately screened from view from adjacent properties and streets, drives and parking areas, as determined by the Plan Commission.
 - This requirement is met. No areas of outdoor storage are proposed or approved anywhere else on the site.

21. Pavement Materials:

- a. All traffic circulation, parking and pedestrian areas shall be provided with a hard, durable surface such as concrete, asphalt, pavement blocks or bricks. Gravel is not acceptable.
 - This requirement is not applicable. No new pavement is proposed.

- b. Durable, porous pavement techniques are encouraged, and the overall coverage of pavement on all sites should be minimized so as to reduce stormwater runoff.
 - This requirement is met. No new pavement is proposed.

22. Pedestrian Facilities:

- a. Public sidewalks or multipurpose paths shall be required along all street frontages, per Village standards.
 - This requirement is met. No new sidewalks are proposed.
- b. Paved pedestrian connections are required between all street frontage pedestrian facilities and public doorways. Said connections shall be a minimum of 5 feet wide.
 - This requirement is met. No new sidewalks are proposed.
- c. Where pedestrian connections cross vehicle circulation areas, a crosswalk clearly delineated by color and/or texture is required.
 - This requirement is met. No new sidewalks are proposed.

23. Traffic Circulation:

- a. Traffic circulation patterns shall be safe and understandable by vehicle operators, as determined by the Plan Commission.
 - This requirement is met. No new traffic circulation is proposed.
- b. Traffic patterns which are determined as too complicated by the Plan Commission shall be prohibited. Complications may be identified due to steep grades, inadequate throat depths, offset intersections, too many intersections within a particular area, dangerous and conflicting traffic movements, movements compromised by limited visibility, or restricted turning radii for the types of vehicles likely present on the site.
 - This requirement is met. No new traffic circulation is proposed.
- c. No traffic circulation shall be permitted within 10 feet of a street or drive right-of-way or easement, nor within 5 feet of any other property line, except within the downtown area, or as approved as through the conditional use process.
 - This requirement is met. No new traffic circulation is proposed.
- d. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding limitations on drives located adjacent to street rights-of-way.
 - This requirement is not applicable.

24. Parking:

- a. All parking areas located within required principal building setback areas shall be visually screened from streets by a continuous landscaped hedge, fence, wall or berm with a minimum height of 40 inches over the elevation of the adjacent portion of the parking lot at time of installation. Gaps in this hedge are permitted for pavement approved as part of the site design.
 - This requirement is met. No new parking is proposed.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, parking shall not be located along a street frontage unless an exception is granted through the conditional use process.

- This requirement is met. No new parking is proposed.
- c. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding the prohibition of parking adjacent to street rights-of-way.
 - This requirement is not applicable.
- d. Bicycle parking shall be provided at a rate of one bicycle space for every 10 vehicle parking spaces up to a total of 20 bicycle spaces.
 - This requirement is not applicable as it does not apply within the Central Business District.

25. Building Foundation Landscaping:

- a. A minimum 10-foot wide landscaping bed or planter shall be provided along at least 50% of each wall facing a street, drive or parking area, except within the downtown area.
 - This requirement is not applicable in the Central Business District.
- b. This bed or planter shall be located adjacent to or within 10 feet of the building foundation.
 - See 25.a.
- c. This bed or planter shall be landscaped appropriately as determined by the Plan Commission.
 - See 25.a.

26. Street Frontage Landscaping:

- a. A minimum 10-foot wide landscaped area shall be provided adjacent to the frontage of all streets and drives, except within the downtown area.
 - See 25.a.
- b. This area shall be landscaped appropriately as determined by the Plan Commission. At minimum, one canopy-type street tree (maple, oak, hickory, ginkgo, honey locust or similar species) shall be required for every 50 feet of street or drive frontage, except within the downtown area. Said trees shall be a minimum 2-inch to 2.5-inch caliper.
 - See 25.a.

27. Parking Lot Landscaping:

- a. Parking lot landscaping shall comply with the requirements of §17.136
 - See 25.a.
- b. Subsection 24.a., above, shall also apply along street and drive frontages.
 - See above notes on this requirement.
- c. Subsection 24.c., above, shall also apply along CTH ID.
 - See above notes on this requirement.

Village Planner's Recommendation on the Proposed Site Plan and Design Review

I recommend the Plan Commission approve the following:

1. Site Plan and Design Review packet, including waivers for:
 - a. 8.b.: Allow the façade not to include a 40” decorative horizontal base as depicted because the additions match the existing building design that does not include this element.
 - b. 12.b.: Allow a metal standing seam roof as depicted because the accessory structure addition matches the existing building design that includes a metal roof.
2. Village staff review and approval of the following that meets all Design Review requirements. If any waivers are requested by the applicant from the Design Review requirements, the proposed plans must be reviewed and approved by the Plan Commission.
 - a. Light fixture specifications (if exterior lighting is desired).
 - b. Photometric plans that extend to the property line (if exterior lighting is desired).
 - c. Sign details (materials, location, height, and size).
3. Site Plan and Design Review approval subject to any requirements as determined above.
4. Any other comments or recommendations of the Village Engineer, Village Fire Department, and/or Plan Commission.



AGENDA ITEM REPORT

MEETING DATE	PREPARED BY
September 24, 2025	Nicholas Owen, Administrator

AGENDA ITEM # 4.c

Consideration of SIP Amendment Steve Brown Apartments, Front Street Station Apartments, 120 S First St

BACKGROUND

Steve Brown Apartments has submitted a Specific Implementation Plan Amendment to the rear side of their building on the 4th floor. With the last approved revision, they made the studio units on the 4th floor extremely large to meet the parking requirements of the approved General Development Plan with the removal of the L-shaped area at the rear of the building. After consideration, they decided to return these studios to a normal studio size and create an outdoor patio on the 4th floor in the middle of the building. The change is barely visible on the south side/rear of the building, but it is an exterior change and I felt it should come back to the committee for consideration. Planner Rohr's memo is included in your packet.

RECOMMENDATION

ATTACHMENTS

1. SIP Alteration Cover Letter 9.18.25
2. 250918_Front Street Station_Minor Alteration to Approved Plans
3. Steve Brown Apartments SIP Amendment 2 Memo for Plan Commission 9.24.25



Thursday, September 18, 2025

Nic Owen
Village Administrator
Village of Mt. Horeb Planning Department
138 E. Main St.
Mount Horeb, WI 53572

Re: Specific Implementation Plan - Minor Alteration
120 E. First St. (Front Street Station Multi-Family Development)

On behalf of Steve Brown Apartments, please accept this cover letter and attachments as our formal request for Specific Implementation Plan – Minor Alteration review of the two lots currently addressed as 120 E. First Street. We are requesting design review and approval of the proposed minor alteration to the Specific Implementation Plan previously approved by the Plan Commission on June 25th, 2025.

Project Name: Front Street Station
120 E. First Street (to be readdressed)
Mt. Horeb, WI 53572

Applicant: Steve Brown Apartments
Dan Seeley
120 W. Gorham St.
Madison, WI 53703
Phone: (608) 255-7100
Email: dseeley@stevebrownapts.com

Architect: Brownhouse
Shane Fry
202 W. Gorham St.
Madison, WI 53703
Phone: (608) 663-5100
Email: sfry@brownhousedesigns.com

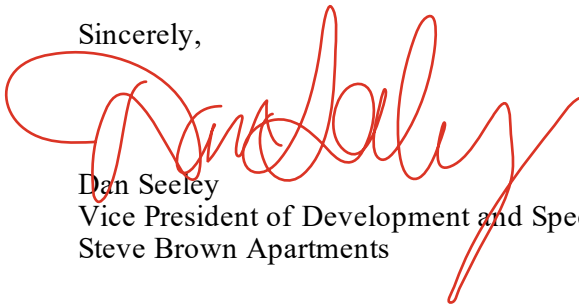
Alteration Overview:

We are pleased to present the included package of materials which provides specific details regarding the proposed alteration. Should you have any questions regarding this application or find the enclosed materials lacking any information, please don't hesitate to contact me directly.

As shown on the included materials, we are proposing to reconfigure the floor plate for the 5th floor of the approved building. We propose to alter the approved 5th floor by maintaining the spatial layout of the four floors below instead of enlarging the four south facing units to absorb the square footage of the two-bedroom apartment on the floors below. Instead, we would maintain the spatial and demising wall layout of the floors below and would convert the square footage of the removed two-bedroom apartment on the floors below into a resident roof terrace at the 5th floor level. This revision would not alter the approved unit or bedroom count and would not significantly alter the exterior appearance of the building from the street level. We believe this is a positive change for the future residents of the building and appreciate the Plan Commission's consideration of our request.

Thank you for your consideration of this application. We look forward to discussing it in more detail at the September 24th Plan Commission Meeting and securing approvals for this alteration.

Sincerely,



Dan Seeley
Vice President of Development and Special Projects
Steve Brown Apartments

FRONT STREET STATION

MOUNT HOREB, WI

MINOR ALTERATION TO APPROVED PLANS

SEPTEMBER 18, 2025

Owner:
Steve Brown Apartments



Dan Seeley
120 W. Gorham St.
Madison, WI 53703
Tel: (608) 255-7100
dseeley@stevebrownapts.com

Architect:
Brownhouse



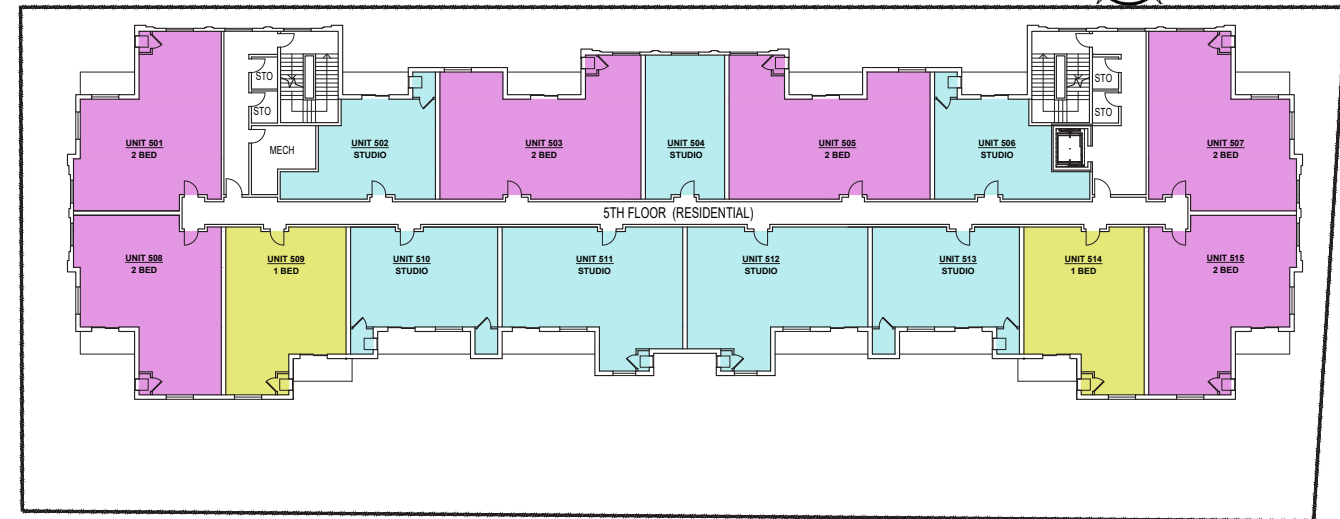
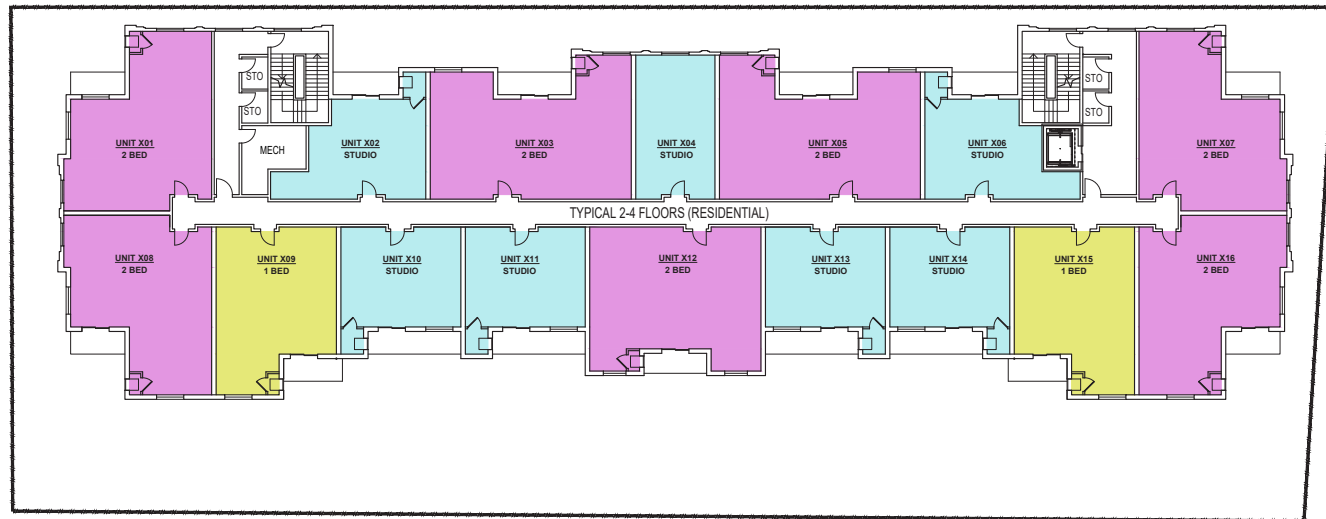
Shane Fry
202 W. Gorham St.
Madison, WI 53703
Tel: (608) 663-5100
sfry@brownhousedesigns.com

Civil Engineering:
Wyser Engineering



Wade Wyse
300 East Front Street
Mount Horeb, WI 53572
Tel: (608) 437-1980
wade.wyse@wyserengineering.com

RESIDENTIAL FLOOR PLANS | APPROVED



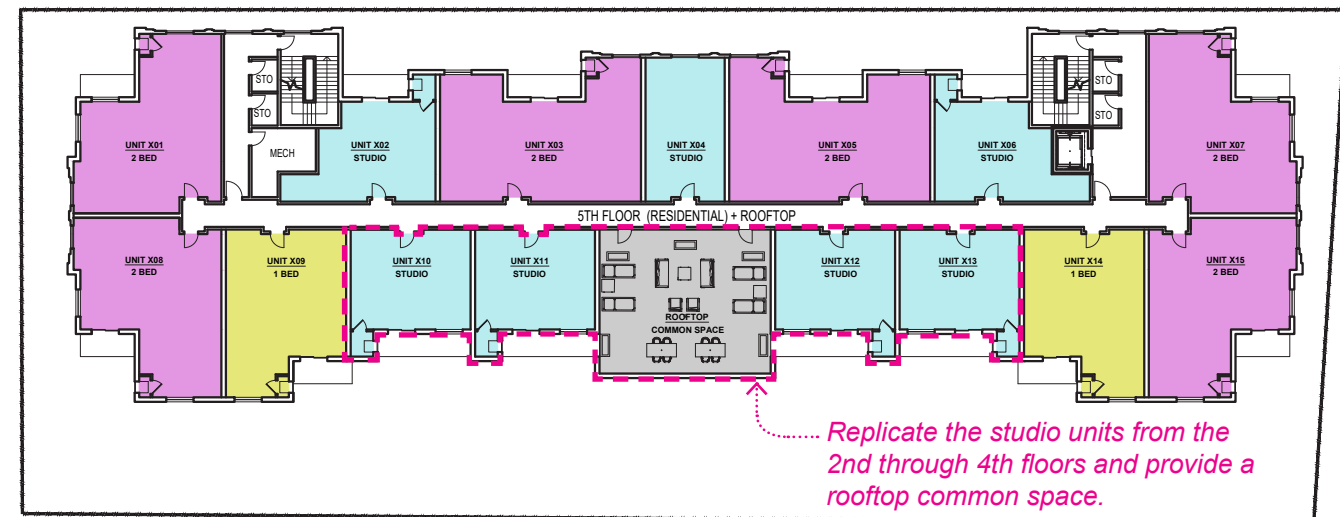
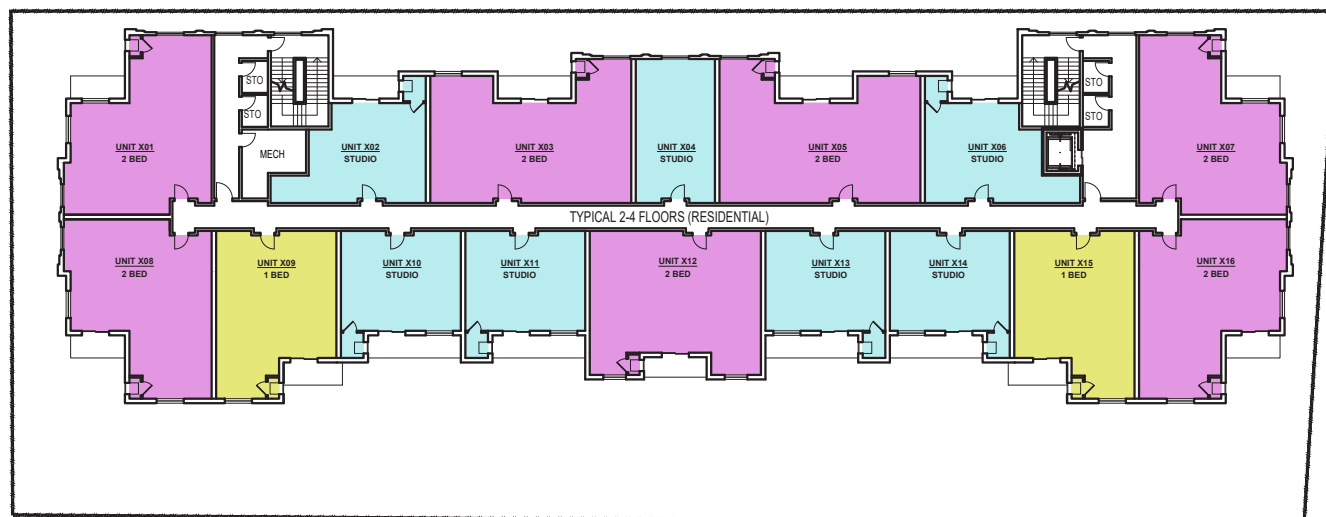
2ND/3RD/4TH

16 UNITS/ FLOOR		TOTAL (3 FLOORS)		REQ PARKING (3FLOORS)	
STUDIO	7	STUDIO	21	STUDIO	21
1BED	2	1BED	6	1BED	9
2BED	7	2BED	21	2BED	42
		TOTAL	48	TOTAL	72

5TH

15 UNITS/ FLOOR		REQ PARKING (5TH FLOOR ONLY)	
STUDIO	7	STUDIO	7
1BED	2	1BED	3
2BED	6	2BED	12
		TOTAL	22

RESIDENTIAL FLOOR PLANS | PROPOSED



2ND/3RD/4TH (NO CHANGES)

16 UNITS/ FLOOR		TOTAL (3 FLOORS)		REQ PARKING (3FLOORS)	
STUDIO	7	STUDIO	21	STUDIO	21
1BED	2	1BED	6	1BED	9
2BED	7	2BED	21	2BED	42
		TOTAL	48	TOTAL	72

5TH (SAME UNIT MIX AND COUNT + ROOFTOP)

15 UNITS/ FLOOR		REQ PARKING (5TH FLOOR ONLY)	
STUDIO	7	STUDIO	7
1BED	2	1BED	3
2BED	6	2BED	12
+ ROOFTOP		TOTAL	22

SOUTH ELEVATION | APPROVED



SOUTH ELEVATION | PROPOSED



brownhouse
ARCHITECTURE • INTERIOR DESIGN
202 W. Gorham St., Madison, WI 53703
Tel: 608-663-5100
www.brownhousedesigns.com

Steve BROWN
APARTMENTS
120 W. Gorham St.
Madison, WI 53703
Tel: 608-255-7100
www.stevebrownapts.com

FRONT STREET STATION
STEVE BROWN APARTMENTS
MT. HOREB, WI

09/18/2025

REV

PAGE 3

SOUTH AERIAL VIEW | APPROVED



SOUTH AERIAL VIEW | PROPOSED



brownhouse
ARCHITECTURE • INTERIOR DESIGN
202 W. Gorham St., Madison, WI 53703
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FRONT STREET STATION
STEVE BROWN APARTMENTS
MT. HOREB, WI

09/18/2025
REV
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VANDEWALLE & ASSOCIATES INC.

MEMORANDUM

To: Village of Mount Horeb Plan Commission
From: Village Planner: Ben Rohr, AICP
Date: September 24, 2025
Re: Amendment to the Approved Specific Implementation Plan (SIP) for the Proposed 5-Story Multi-Family Building at 120 E. Front Street for Steve Brown Apartments.

Introduction

Steve Brown Apartments received approval of a General Development Plan (GDP) and a Specific Implementation Plan (SIP) for 120 E. Front Street in the spring/summer of 2023. In June of 2025, Steve Brown Apartments submitted and received approval for an amendment to the SIP that was previously approved in 2023. The approved 2025 SIP amendment included:

- A total of 63 dwelling units and 94 on-site parking stalls
- A mix of 20 studio units, 24 one-bedroom units, and 19 two-bedroom units
- The removal of the 1-story portion of the rear façade that was planned to accommodate underground parking access and include a Military Trail Ridge-facing mural. Instead, underground parking access is provided in the rear-center of the structure with a reduced-length driveway and increased green space.
- The removal of the second story outdoor patio for residents above the 1-story portion of the rear façade. Instead, an outdoor patio/gathering space is provided in the rear of the building adjacent to accessible green space between the building and the Military Ridge Trail.
- Enhanced landscaping provided along all four facades where the building has been recessed in various areas.
- Reconfigured facades, which include differing recesses and projections, siding in some areas instead of brick, uniform square windows instead of some arched windows, fewer first floor windows along the Front Street façade, a symmetrical front entry with center door and windows on either side verses offset multi-door entries, a similar color scheme outside of less black and increased cream colored siding, and other subtle changes as shown below.

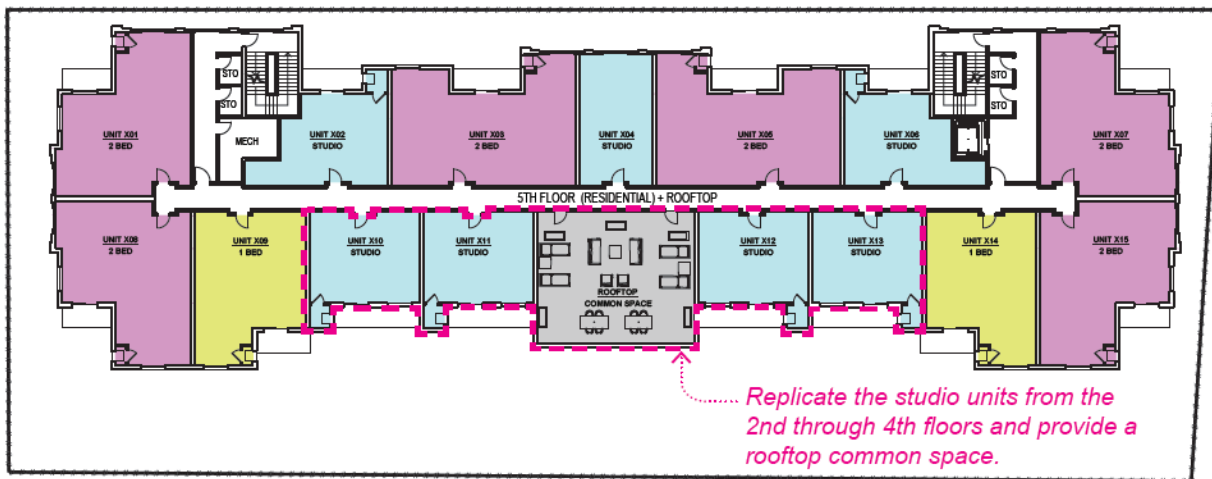
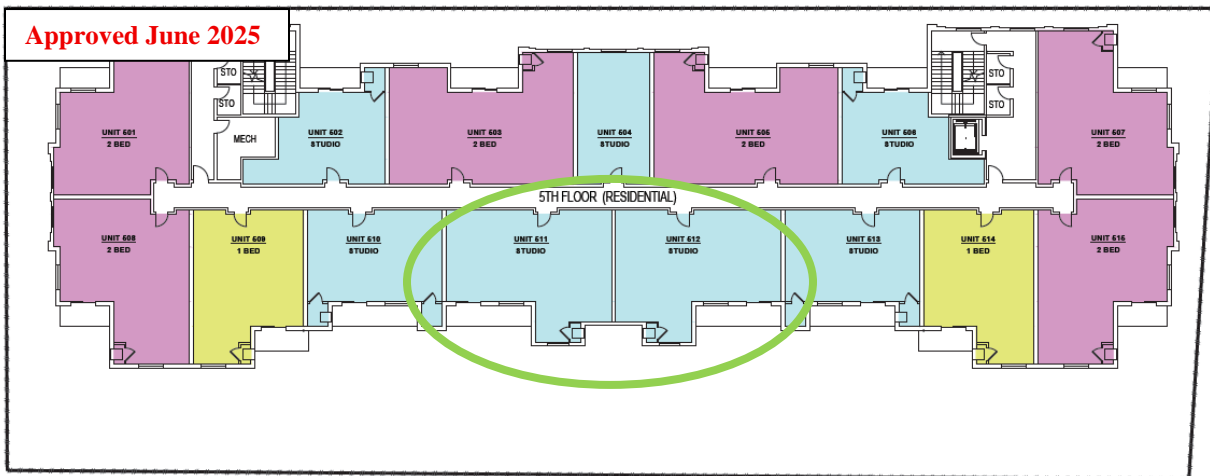
The conditions of approval in June 2025 included:

1. A recommendation to the Village Board that the Amendment to the Specific Implementation Plan for 120 E. Front Street be approved, subject to any and all requirements identified by the Plan Commission under Design Review. **Recommended.**

2. A recommendation to the Village Board that the Site Plan packet be approved, subject to any and all requirements identified by the Plan Commission under Design Review. **Recommended.**
3. Design Review as submitted to the Village, including waivers from the Design Review requirements approved by the Plan Commission, including:
 - a. 9.a.i and ii. for deviation from the Victorian color palette for black portions of the façade, as depicted. **Recommended.**
 - b. 10.a. for the non-decorative garage door on northern façade for the in-building parking entry, as depicted. **Recommended.**
 - c. 11.a. and b. for the proposed translucent film window treatment screening along the first-floor windows facing Front Street and 1st Street, as depicted. **Recommended adding public art images within the translucent film window treatments along the ground floor façade facing each street.**
 - d. 14.b. for the metal awning over the main entryway, as depicted. **Recommended.**
4. Require the full Sign Plan package to be brought back to the Plan Commission for review and approval. **Recommended.**
5. Village staff review and approval of the following that meets all Design Review requirements. If any waivers are requested by the applicant from the Design Review requirements, the proposed plans must be reviewed and approved by the Plan Commission.
 - a. Require the applicant to provide lighting fixture plans and photometrics plans to ensure compliance with the Zoning Ordinance, including landscaping lighting along the southern (rear) façade. **Recommended.**
6. Require approval from the Village Engineer and Public Services Department for any on-street parking reconfiguration proposed, which in 2023 included angled parking stalls along the south side of Front Street and no angled parking stalls along First Street because they were deemed infeasible. **Recommended.**
7. Any additional requirements identified by Village Staff, the Village Engineer, the Plan Commission, or the Village Board.
 - a. **Recommended with two additional conditions added:**
 - i. **Require the applicant to include a mural on the rear façade of the structure near the southeastern corner to be reviewed by the Plan Commission prior to installation and installed by the applicant within 3 years of building occupancy.**
 - ii. **Require the applicant to provide a civil engineering analysis on whether or not a fence or wall is needed for safety purposes between the southern extent of the rear driveway and the property line due to proposed grade changes at the property line. Analysis shall be reviewed by Village staff and, if it is determined to be necessary for safety reasons, Village staff may approve such plan revisions.**

Today, Steve Brown Apartments is proposing a modification to the rear elevation of the structure. This will not change the total dwelling unit or on-site parking count within the structure. Additionally, it will not change any other façade or exterior element of the project outside of the following:

- Reduction in size of two 5th story studio apartment units located in the middle of the floor on the south side of the building to accommodate a proposed new 5th story balcony for resident use.
- Recess the middle of the south facing façade to accommodate a proposed new 5th story balcony for resident use.
- Replacement of the two proposed windows in the middle of the south facing façade with glass doors of the same size and shape to accommodate access to the proposed new 5th story balcony.
- The addition of a black safety railing around the proposed new 5th story balcony that will match the design of the other railings approved on the other individual unit balconies located on that façade.

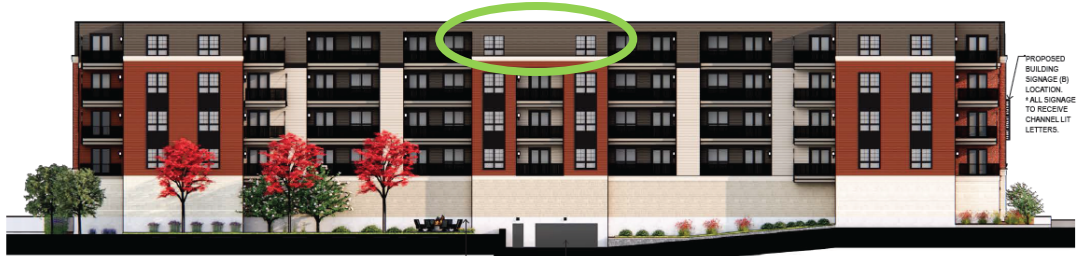


BUILDING ELEVATIONS

Approved June 2025



1 NORTH ELEVATION
SCALE: N.T.S.



2 SOUTH ELEVATION
SCALE: N.T.S.

brownho
ARCHITECTS
100 W. Center St., Madison, WI
Tel: 608-685-5100
www.brownho.com

STEVE BROWN
100 W. Center St.
Tel: 608-250-7100
www.stevebrown.com

FRONT STREET STATION
STEVE BROWN APARTMENTS
MT. HOREB, WI

06/13/2025
PIP
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To receive approval of the SIP Amendment, this project requires reapproval of the SIP and Design Review by the Plan Commission and the Village Board. This report addresses the SIP first, followed by the Design Review.

Specific Implementation Plan Review

Steve Brown Apartments have been working with Village Staff and the Plan Commission to refine their design. At the April 2023 Plan Commission and May 2023 Village Board meeting, the project received General Development Plan approval. The SIP must meet the zoning requirements, inclusive of the zoning flexibilities approved in the GDP.

Specific SIP Flexibilities Consistent with the Approved GDP include:

1. Allowable Land Uses: The GDP approved one by-right principal land uses for the property – Apartments (Multi-Family). The SIP is consistent with the approved GDP.
2. Number of Dwelling Units in Building: The GDP approved a building with up to 63 dwelling units. The SIP is consistent with the approved GDP.
3. Building Setbacks: The GDP approved front (5 feet), side (10 feet), and rear (3 feet) setbacks. The SIP is consistent with the approved GDP.
4. Apartment Land Use Setbacks: The GDP approved minimum setbacks less than 30 feet from all property lines consistent with 3. above. The SIP is consistent with the approved GDP.
5. Building Height: The GDP approved a building of five stories, with structured parking, up to 60 feet in height. The SIP is consistent with the approved GDP.

Planner's Recommendation for the Specific Implementation Plan:

I recommend the Plan Commission recommend the SIP Amendment for 120 E. Front Street for approval by the Village Board, subject to the waivers and requirements addressed at the end of this report, as discussed and approved by the Plan Commission.

Design Review Requirements per Section 17-14:

Design Review by the Plan Commission is required under Section 17.14 of the Zoning Ordinance. Design Review is required for all development projects in the Village, except residential development with three or fewer dwelling units. The Design Review requirements in Section 17.14(4)(b) identify 27 Design Directives. The Plan Commission has the ability to waive any Design Directive or add additional design requirements upon a finding that the additional design requirement would improve the project.

This review is based on the plan set provided by the applicant. This project complies with most Design Review requirements. Any items that do not comply with the Design Directives or requires Plan Commission discussion have been identified with underlined text.

The majority of the design review requirements from the approved June 2024 SIP remain unchanged under the proposed SIP.

1. Site Grading:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

2. Existing Site Vegetation and Other Natural Features:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

3. Site Layout Relation to Abutting Streets:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

4. Building Setbacks:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

5. Building Height:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

6. Building Mass:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

7. Building Facades:

- a. Long building facades shall be visually broken up and variegated with staggers and offsets as determined appropriate by the Plan Commission.
 - This requirement is met by regularly spaced building staggers, changes in building façade materials, patios, a common balcony space, and differentiated widow types along all facades.
- b. All building facades facing streets, drives or parking areas shall provide regularly spaced openings for windows and doors, and regularly spaced decorative elements such as piers and columns. The size and spacing of these features shall be compatible with nearby structures that meet this requirement, as determined by the Plan Commission.
 - This requirement is met. Same as 7.a., above.
- c. All building facades facing streets, drives or parking areas shall provide a pattern of upper story openings that is compatible with the pattern established by the ground floor, as determined by the Plan Commission.
 - This requirement is met with regularly spaced windows on both the ground floor and upper stories of all facades.
- d. Within the downtown zoning district, and particularly along Main Street and the commercially developed portions of intersecting streets, building facades shall employ traditional storefront design by providing pilasters, transom windows, cornices, lintels and related decorative details to highlight transitions between the ground floor and upper stories and between upper stories and the parapet.

- This requirement is met. Although there are no storefronts proposed with the development, the main entry point to the building from Front Street has decorative windows, lighting, a metal canopy overhang, and building material variation.

8. Exterior Building Materials:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

9. Exterior Building Colors:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

10. Exterior Doors:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

11. Windows:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

12. Roofs:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

13. Exterior Building Appurtenances:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

14. Awnings:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

15. Trash Containment Structures:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

16. Freestanding Canopy Structures:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

17. Other Structures:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

18. Exterior Lighting:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

19. Exterior Signage:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

20. Outdoor Display or Storage:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

21. Pavement Materials:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

22. Pedestrian Facilities:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

23. Traffic Circulation:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

24. Parking:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

25. Building Foundation Landscaping:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

26. Street Frontage Landscaping:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

27. Parking Lot Landscaping:

- The proposed changes are not applicable to this standard. Refer to the approved June 2023 staff report.

Village Planner's Recommendations:

I recommend the Plan Commission consider and approve the following requirements for the approval of the Amendment to the Specific Implementation Plan for 120 E. Front Street:

1. A recommendation to the Village Board that the Amendment to the Specific Implementation Plan for 120 E. Front Street be approved, subject to any and all requirements identified by the Plan Commission under Design Review.
2. A recommendation to the Village Board that the Site Plan packet be approved, subject to any and all requirements identified by the Plan Commission under Design Review.
3. All conditions of approval from the June 2025 SIP must be met prior to the issuance of Building Permits.
4. Any additional requirements identified by Village Staff, the Village Engineer, the Plan Commission, or the Village Board.



AGENDA ITEM REPORT

MEETING DATE

September 24, 2025

PREPARED BY

Nicholas Owen, Administrator

AGENDA ITEM # 4.d

Recommendation of Extraterritorial CSM, Bilse Family LLC, Lange Rd, Town of Springdale

BACKGROUND

This is a 4-lot Certified Survey Map in the Town of Springdale. This area is near the edge of our growth area in our Comprehensive plan, but it is already fairly heavily developed with single-family homes and the village has no concerns.

RECOMMENDATION

ATTACHMENTS

1. Bilse CSM Application
2. Bilse_Preliminary_CSM
3. Bilse CSM Location

**APPLICATION
CERTIFIED SURVEY MAP
EXTRATERRITORIAL JURISDICTION**

Date: 8/21/25 Fee: \$500 (see attached)

The undersigned owner/agent of the described property hereby requests approval of a certified survey map described as follows:

Location of property (town name and section) NE and SE 1/4s
SE 1/4 and SE 1/4, NE 1/4, Sec. 17, T6N, R7E,
Town of Springdale

Owner Name: Bilse Family LLC

Address: N2734 Demynck Rd.
Lodi, WI 53555

Email Address: albilse-bilse2@gmail.com

Phone: (608) 235-3572

The survey contains 4 lots and 63.95 acres.

Proposed zoning, if different, will be RR-4, R-M-8, RM-16

SIGNED: Robert A. Talarczyk
(applicant)
Surveyor/Agent
(applicant's interest in the property)

Applicant Name (if different from owner): Robert Talarczyk

Address: 517 2nd Avenue
New Glarus WI 53574

Email Address: bob@talarczyk-surveys.com

Phone: (608) 527-5216

Date of Plan Commission approval: _____

Date of Village Board approval: _____

CERTIFIED SURVEY MAP NO. _____

That part of the Northeast and Southeast 1/4s of the Southeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 17, Town 6 North, Range 7 East, Town of Springdale, Dane County, Wisconsin, bounded and described as follows:

Beginning at the East 1/4 corner of said Section 17; thence S00°05'28"W, 2664.02' to the Southeast corner of Section 17; thence N89°38'29"W along the South line of Section 17, 52.80' to the centerline of Town Hall Road; thence Northwesterly, 328.51' along said centerline and the arc of a curve to the right whose radius is 380.00' and whose chord bears N37°28'38"W, 318.38'; thence N12°42'40"W along said centerline, 567.98'; thence Northwesterly, 505.89' along said centerline and the arc of a curve to the left whose radius is 930.00' and whose chord bears N28°17'14"W, 499.67'; thence N43°52'39"W along said centerline, 244.89'; thence N43°52'47"W along said centerline, 102.63'; thence N47°39'40"W along said centerline, 344.80'; thence Northwesterly, 79.41' along said centerline and the arc of a curve to the right whose radius is 790.00' and whose chord bears N44°46'53"W, 79.38'; thence N28°07'22"E, 678.65'; thence S81°36'31"E, 507.50'; thence N22°03'56"E, 214.42'; thence N87°52'26"W, 292.07'; thence N12°44'17"W, 451.82'; thence N81°02'34"W, 408.75'; thence N00°22'49"E, 972.00' to the North line of the Southeast 1/4 of the Northeast 1/4 of Section 17; thence S89°48'22"E along the North line of the Southeast 1/4 of the Northeast 1/4 of Section 17, 1017.61' to the West right of way line of Lunde Lane; thence S18°24'37"E along said right of way line, 104.46' to the East line of Section 17; thence S00°00'21"W, 1229.89' to the point of beginning; subject to a public road right of way line as shown and to any and all easements of record.

I hereby certify that this survey is in compliance with Section 236.34 of the Wis. Statutes and the subdivision regulations of the Town of Springdale, the Village of Mount Horeb and Dane County; and that under the direction of Ryan Arneson, I have surveyed, monumented, and mapped the lands described hereon; and that this map is a correct representation of all exterior boundaries of the land surveyed in accordance with the information provided.

August 20, 2025

Robert A. Talarczyk, P.L.S.

CURVE	RADIUS	ARC	DELTA	CHORD	CH. BEARING	TAN.BEARING-IN	TAN.BEARING-OUT
C1	380.00'	328.51'	49°31'56"	318.38'	N37°28'38"W	N62°14'36"W	
C2	930.00'	505.89'	31°09'59"	499.67'	N28°17'14"W		
C3	790.00'	79.41'	5°45'34"	79.38'	N44°46'53"W		N41°54'06"W
C4	347.00'	333.88'	55°07'43"	321.14'	N40°16'31.5"W		
C5	963.00'	523.83'	31°09'59"	517.40'	N28°17'14"W		
C6	757.00'	88.13'	6°40'12"	88.08'	N44°19'34"W		N40°59'28"W

LINE	BEARING	DISTANCE
L1	S00°05'28"W	156.27'
L2	N89°38'29"W	52.80'
L3	N43°52'39"W	244.89'
L4	N43°52'47"W	102.63'
L5	N22°03'56"E (N21°38'49"E)	214.42'
L6	N87°52'26"W (N88°17'33"W)	292.07'
L7	N12°44'17"W (N13°08'38"W)	180.70'
L8	S68°41'16"W	31.20'
L9	N80°05'11"W	152.97'

LOT SUMMARY		
LOT	SQ. FT.	ACRES
1	509,731	11.70
2	505,657	11.61
3	294,318	6.76
3	1,475,866	33.88

JOB NO. 25179
POINTS 25179
DRWG. 25179_1
DRAWN BY MST

SHEET 2 OF 4


 LAND SURVEYS LLC
 517 2nd Avenue
 New Glarus, WI 53574
 608-527-5216
 www.talarcyksurveys.com

CERTIFIED SURVEY MAP NO. _____

Part of the Northeast and Southeast 1/4s of the Southeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 17, Town 6 North, Range 7 East, Town of Springdale, Dane County, Wisconsin.

NOTES:

- 1.) Bearings are referenced to the Wisconsin County Coordinate System, Dane County Zone, NAD83 (2011), in which the East line of the Southeast 1/4 of Section 17 bears S00°05'28"W.
- 2.) Recorded data, when different than measured, is shown in parenthesis.
- 3.) Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution.
- 4.) Approximate ordinary high water mark is shown for reference only.
- 5.) All PLSS witness monuments were found and verified.

OWNER'S CERTIFICATE OF DEDICATION:

Bilse Family, LLC, a Wisconsin limited liability company, as owner, does hereby certify that said company caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented hereon. Bilse Family, LLC does further certify that this map is required by s.236.10 or s.236.12 Wisconsin Statutes and S.75.17(1)(a) Dane County Code of Ordinances to be submitted to the following for approval or objection: Town of Springdale; Village of Mount Horeb; Dane County Zoning & Land Regulation Committee.

WITNESS the hand and seal of said owner this _____ day of _____, 20_____.
In the presence of:

Alan Bilse, Member
Bilse Family, LLC

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20_____, the above named Alan Bilse, member of the above named limited liability company, to me known to be the same person who executed the foregoing instrument and acknowledged the same.

My commission expires _____.

PREPARED FOR:
Ryan Arneson
First Weber Realtors
207 N. 8th Street
Mt. Horeb, WI 53572
(608) 712-2408

JOB NO. 25179
POINTS 25179
DRWG. 25179_1
DRAWN BY MST



TALARCZYK
LAND SURVEYS LLC
517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyk-surveys.com

CERTIFIED SURVEY MAP NO. _____

Part of the Northeast and Southeast 1/4s of the Southeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 17, Town 6 North, Range 7 East, Town of Springdale, Dane County, Wisconsin.

TOWN APPROVAL: This Certified Survey Map and the public dedication shown hereon is approved for recording this _____ day of _____, 20____ by the Town of Springdale.

Town Clerk

VILLAGE APPROVAL: Approved for recording this _____ day of _____, 20____ by the Village of Mt. Horeb.

Village Clerk

COUNTY APPROVAL: Approved for recording per Dane County Zoning and Land Regulation Committee action of _____ by _____.

Authorized Representative

REGISTER OF DEEDS CERTIFICATE: Received for record this _____ day of _____, 20____ at _____ o'clock _____M., and recorded in Vol. _____ of Certified Survey Maps of Dane Co., on Pages _____.

Kristi Chlebowski, Register of Deeds

LEGEND:



Cast aluminum monument found



1-1/2" iron pipe found



1" iron pipe found



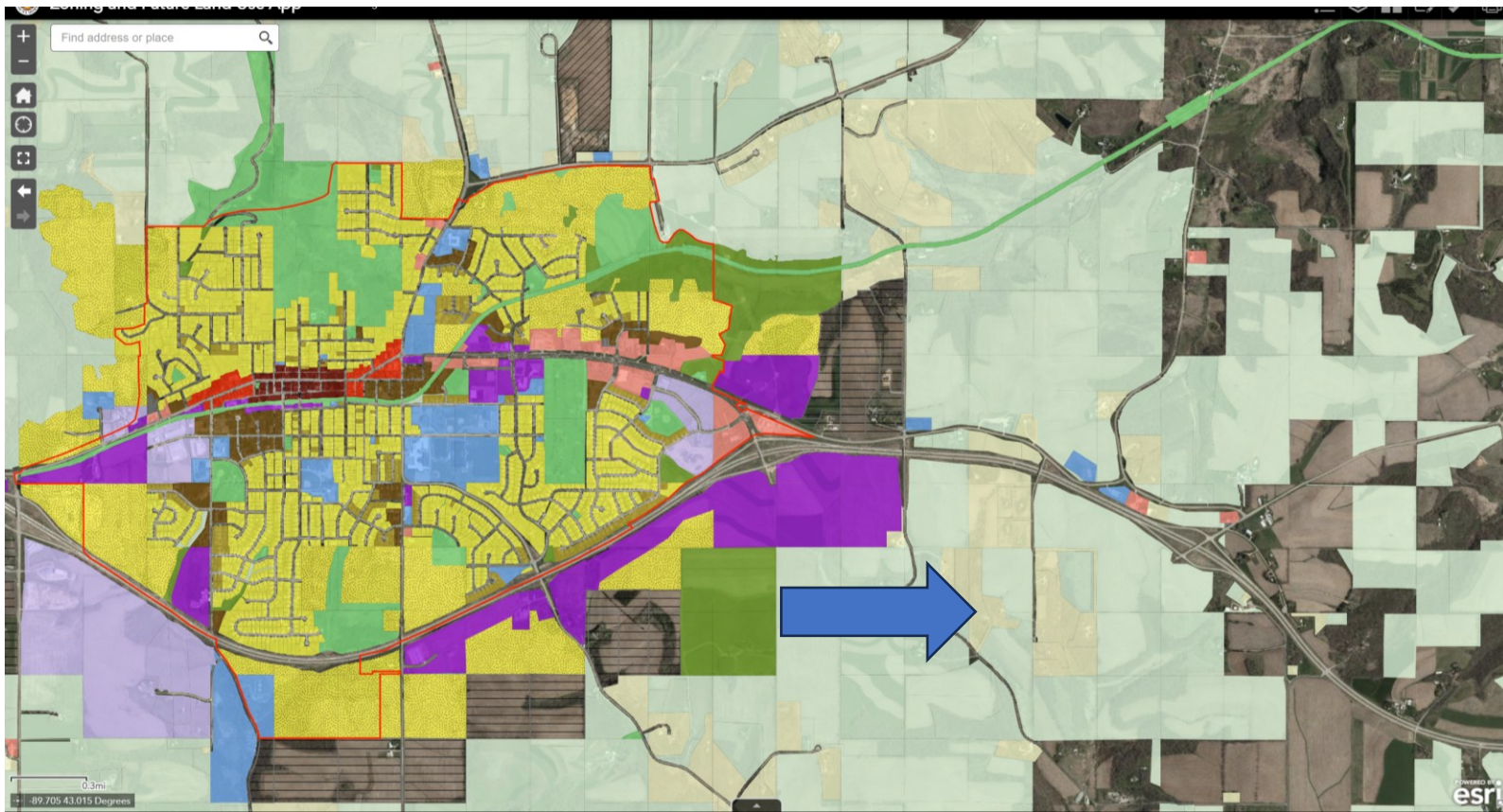
3/4" solid round iron rod found

- ⊙ 1" iron pipe found
- 3/4" solid round iron rod found
- 3/4" x 24" solid round iron rod set, weighing 1.50 lbs per lineal foot

JOB NO. 25179
POINTS 25179
DRWG. 25179_1
DRAWN BY MST

SHEET 4 OF 4

 **TALARCZYK**
LAND SURVEYS LLC
517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyksurveys.com





HERITAGE
COMMUNITY
OPPORTUNITY

VILLAGE OF MOUNT HOREB

E. Main Street
Mount Horeb, WI 53572
Phone: (608) 437-6884 Fax: (608) 437-3190
Email: mhinfo@mounthorebwi.info Web: mounthorebwi.info

August Building Inspector Report

July Permits

- 2 new single-family Residential (*both are in the Windflower 55+ development*)
- 2 commercial permit to start - Surplus Suds and 1881 Springdale Apartments
- 23 Misc Residential permits
- 4 Misc commercial permits

August Permits

- 4 new single-family Residential (*2 are in the Windflower 55+ development*)
- 18 Misc Residential permits
- 6 Misc commercial permits

Commercial Project Progress Updates

- Surplus Suds: Early start for footing and foundation. The footing and foundation are completed.
- 1881 Springdale Apartments: Early start for footing and foundation. Footings are done while still working on the foundation walls.