



VILLAGE OF MOUNT HOREB

E. Main Street

Mount Horeb, WI 53572

Phone: (608) 437-6884 Fax: (608) 437-3190

Email: mhinfo@mounthorebwi.info Web: mounthorebwi.info

PLAN COMMISSION AGENDA **Wednesday, March 25, 2026 at 7:00 PM**

Municipal Building Board Room
138 E. Main Street
Mount Horeb, WI

- 1) Call to order
- 2) Roll call
- 3) Public Comments on Non-Agenda Items*
- 4) Agenda Items
 - a. Consideration of February 25, 2026 Meeting Minutes
 - b. Recommendation on Certified Survey Map Land Division Town of Vermont -Sherven
 - c. Concept Review for Multi-Family Development; 1348 Field Court, Nick Olday
 - d. Discussion on Public Art Ordinance
- 5) Committee Reports:
 - a. Plan Commission Chair Report
 - b. Village Planner Report
 - c. Building Inspector Report
- 6) Meeting adjournment.

***Public Comment Policy**

Members of the public are invited to speak at meetings of all Mount Horeb Public Bodies. To comment, please complete a Public Comment Form at the Meeting Room entrance and submit it to staff before the meeting begins. Comments are limited to **three minutes**, must be made from the podium, and the speaker must return to the audience after speaking.

- **Non-agenda item comments** are heard at the start of the meeting. Public Body members and staff will not engage in discussion during public comment but may consider topics for future agendas.
- **Agenda item comments** are heard during the relevant item, after the proposers or staff present the item and before Public Body discussion. All public comments on the item will be heard before any discussion by the Public Body.

Members of the public will only be allowed to speak outside these public comment times if they are invited by the meeting chair to share additional information requested by the Public Body. If so invited to speak, the member of the public must do so from the podium.

Written comments are also welcome. Written comments shall include the name and address of the submitter and should be submitted to the Deputy Treasurer/Governance Coordinator by email at niki.erickson@mounthorebwi.info (subject line:

Public Comment Request-Name of Public Body) or delivered by to the Village at: 138 E Main Street, Mount Horeb WI, 53572, ATTN *Public Comment Request-Name of Public Body*.

UPON REASONABLE NOTICE, EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS AND SERVICES. FOR INFORMATION OR TO REQUEST THIS SERVICE, CONTACT ALYSSA GAFFNEY, CLERK, AT 138 E MAIN STREET, MOUNT HOREB, WI (608) 437-9404.

PLAN COMMISSION AGENDA
Wednesday, February 25, 2026 at 7:00 PM

DRAFT MEETING MINUTES

1) Call to order

Chair Ryan Czyzewski called the meeting to order at 7:05 pm in the Board Room of the Municipal Building, 138 East Main Street, Mount Horeb, WI.

2) Roll call

Members Present: Sarah Best, Andrew Kidd, Jill Remmert-Willis, Ben Vondra, Destinee Udelhoven, Peggy Zalucha

Members Absent: None

Others Present: Village Administrator Nic Owen, Village Planner Ben Rohr, Assistant Clerk Jean Culberson

3) Public Comments on Non-Agenda Items

Phil Leavenworth at 230 N Grove Street spoke on the downtown parking for visitors and future events.

4) Agenda Items

a. Consideration of January 28, 2026 Meeting Minutes

Best Motioned to approve the minutes of the January 28, 2026 meeting with the correction of the spelling of Vondra in item 4. Vondra seconded and Motion carried by unanimous voice vote.

b. Conditional Use Permit (CUP) for Cultivation of Fruit Trees in R-1 - Single Family Residential Zoning District

Owen spoke on the CUP request for a small-scale fruit tree orchard on the vacant parcel. No commercial equipment will be used for harvesting. The DOT requested an access permit from the applicant.

1. Public Hearing on CUP Application for Cultivation in the R-1 Single-Family Residential Zoning District

Hearing opened at 7:10pm and closed at 7:11pm. No one spoke.

2. Consideration of Resolution 2026-04 Approving CUP for Nicolas Kamas Allowing Cultivation in the R-1 Single Family Zoning District

Udelhoven Motioned to approve the consideration of Resolution 2026-04 CUP. Zalucha seconded and Motion carried by unanimous voice vote.

c. Zoning Code Rewrite and Zoning Code Map Adoption

1. Public Hearing on Rewrite of Section 17 Zoning Code of the Village of Mount Horeb Code of Ordinances and Official Zoning Map

Rohr gave a brief recap of the code and map.

Hearing opened at 7:17pm

Aaron Thomas at 500 Brian Street spoke on the downtown area density and height. Michelle Kelley at 109 S Fourth Street spoke in general support but questioned no protection for the downtown area. She requested limitations to prevent a rezone from Downtown Mixed Use to Planned Unit Development. Ellen

Myers at 203 N Second Street spoke and registered in opposition and to vote no on the zoning code rewrite.

Hearing closed at 7:25pm

Czyzewski informed of public emails received. Planner Rohr advised on addressing the public hearing concerns during the Items discussions.

The Commission proceeded with discussing the Discussion Items listed in the packet starting on page 59:

1. Downtown Building Height (on Main Street)

Best Motioned to approve option B of 40'/3 stories removing the required stepback after second floor and articulation every 40' along the street façade. The standards are to apply to the Downtown Mixed Use zoned properties abutting Main Street and north of Main Street. Vondra seconded.

Additional discussion took place on the 40' articulation and interpretation.

Best Motioned to amendment of the motion to include options for façade articulation and for Plan Commission to interpret the standards. Vondra seconded and Motion carried by unanimous voice vote.

2. Downtown Building Height (off Main Street)

Udelhoven Motioned to keep it as written in the draft at 50'/4 stories and the stepback after third floor. Zalucha seconded and Motion failed by voice vote of 2 to 3.

Kidd Motioned to 50' or 4 stories and remove the stepback provision. Udelhoven seconded and Motion carried by unanimous voice vote.

3. Downtown Parking Minimums

Zalucha Motioned to accept C 1.2/unit for buildings with 6+ units and Best seconded. Motion carried by voice vote with exception to Kidd and Remmert-Willis who voted no.

4. Downtown Side/Rear Setback

Zalucha Motioned to accept B. Minimum 0' - Maximum 10' and Maximum 24' if midblock parcel needs access to parking behind the building. Best seconded and Motion carried by unanimous voice vote.

5. Downtown Mixed-Use Standards

Udelhoven Motioned 30' or 40 percent Vondra seconded and motion carried by unanimous voice vote. The Commission questioned and a discussion took place. Motion retracted by Udelhoven.

Vondra Motioned minimum 30' ground floor nonresidential or 40% of the lot depth from all right-of-way, whichever is greater, and corner/double frontage = only 1 street facing side required. Zalucha seconded and motion carried by unanimous voice vote.

6. Residential Accessory Alley Setback

Udelhoven Motioned to accept B. Minimum 10' from alley and Zalucha seconded. Vondra questioned it and Motion retracted by Udelhoven.

Best Motioned to accept 5' from alley unless Village Utilities requires a greater distance. Zalucha seconded and motion carried by unanimous voice vote.

7. 301 N Second Street Zoning

Owen explained the current use is two-family. Zalucha Motioned to accept the draft adjustment from SF-1 to TF-1. Kidd seconded and motion carried by unanimous voice vote.

8. 410 N Fourth Street Zoning

Owen explained that the owner would like to retain the existing zoning due to location and future outbuildings. Best Motioned to accept the draft adjustment from SF-1 to AG. Udelhoven seconded and motion carried by unanimous voice vote.

9. 130 S First Street (3 parcels)

Owen explained the current draft LI zoning and existing I-1. Udelhoven Motioned to retain the existing draft zoning LI and Remment-Willis seconded. Motion carried by unanimous voice vote.

Additional Items discussed:

- Residential table on Minimum Rear Yard Setback and footnote 3. Rohr explained the new modernized standards and the 5' setback. Keep setback as drafted.
- The Downtown design standards - Historic Preservation Commission (HPC) proposed:
 - The Sherwin Williams Historic Exterior Collection palettes unless the owner is using the existing structure color. Best Motioned to the proposed Sherwin Williams palettes. Zalucha seconded and motion carried by unanimous voice vote.
 - Remove the word vinyl on draft page 167. Zalucha Motioned to remove vinyl and add in the wording "other appropriate high-quality materials may be considered". Best seconded and motion carried by unanimous voice vote.
 - HPC to review and provide consolidation of lots. Rohr advised striking and addressing the matter in Chapter 18.
- Sustainable & Natural Resource committee recommended additional items on native plantings. Czyzewski recommended an amendment later in the year.

Rohr addressed the public hearing comments:

- Request on limitations to prevent a rezone from Downtown Mixed Use to Planned Unit Development. Udelhoven Motioned to allow planned unit development but not to height and parking requirements. Czyzewski seconded and Motion carried by unanimous voice vote with exception to Vondra who objected.
- Suggestion on limiting density and height. The Commission felt the previously discussed Code Items were in place for any concerns.
- Defining Zoning Administrator to be added in Chapter 1 at the Village Board meeting.

Continuation of Additional Items discussed:

- Page 168 - Code regarding sand blasting and power washing. Discussion only on enforcing and no motion.
- Page 168 - Code prohibiting metal canopy. Vondra Motioned to strike the wording prohibit and Best seconded. Motion carried by unanimous voice vote.
- Page 1 - Purpose Statement has no reference to protect and enhance natural resources. Udelhoven Motioned to add the wording protect and enhance natural, cultural, and historic resources. Zalucha seconded. Motion carried by unanimous voice vote.
- Page 218 - Review and approval of Bodies/Processes Table and no reference to HPC. Udelhoven Motioned to add HPC and their duties to the table. Zalucha seconded and motion carried by unanimous voice vote.

- Clarification of recreation space includes the Downtown Mixed Used. No motion discussion only.

2. **Recommendation of Ordinance 2026-05 Adoption of Rewrite of Section 17 Zoning Code**

Commission discussed the request to table the approval of the Draft code until the new Administrator and Village Board is in place. Kidd Motioned to recommendation of the draft zoning ordinance to include the changes discussed in the meeting. Vondra seconded and motion carried by unanimous voice vote.

Recommendation of the Draft Zoning Code Map

Zalucha Motioned to recommendation of the Draft Zoning Code Map. Best seconded to include the changes discussed in the meeting. Motion carried by unanimous voice vote.

5) **Committee Reports:**

a. **Plan Commission Chair Report**

Czyzewski recommended the Commission look at Euclidean Zoning. The Commission thanked Administrator Owen for his service.

b. **Village Planner Report**

Rohr informed of colleague Sonja Kruesel stepping in to help.

c. **Building Inspector Report**

Owen presented a modified report.

6) **Meeting adjournment.**

Kidd Motioned to adjournment at 10:51pm. Best seconded and Motion carried by unanimous voice vote.

Minutes by Assistant Clerk Jean Culberson



AGENDA ITEM REPORT

MEETING DATE

March 25, 2026

PREPARED BY

AGENDA ITEM # 4.b

Recommendation on Certified Survey Map Land Division Town of Vermont -Sherven

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. LETTER TO PLAN COMMISSION
2. Plan Commission Application 02.16
3. PARENT PARCEL MAP
4. Sherven - Mlsna CSM (2-16-2026)
5. Sherven-Mlsna Building Envelope & Driveway Site Plan (2-16-2026)

LETTER TO PLAN COMMISSION

Dear Village of Mount Horeb,

Mark Sherven has accepted an offer to purchase all of his land south of the highway being 101.03 acres of land along with 2 of his allowed splits to build new homes. The Mlsna's are looking to building on the larger parcel (Lot 4) in the next 5-8 years and they wanted to proposed Lot 3 building site in case one of there children wanted to build there in the future. Mark also has 1 more split allowed on his farm and he would like to divide the land on the north side of the highway to allow for him to build a new home in the northwesterly corner of the property. This new home would be located on proposed Lot 2 and the existing home and buildings will remain on the proposed Lot 1 site.

We are working through the rezone and CSM process with the town and county currently. This CSM falls within the Village ETJ area, so we ask that the Plan Commission consider review and approval of the CSM at this time.

Thanks,

Chris Adams

Williamson Surveying and Assoc. LLC

Member & Professional Land Surveyor

104 A W. Main St

Waunakee, WI 53597

608-255-5705



VILLAGE OF MOUNT HOREB
Zoning Administrator 608-437-9409
138 East Main Street
Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: Sherven/Mlsna CSM

Project Address 5304 County Hwy J Parcel Number: 0706-362-9000-9+

[Access Dane Link](#)

Zoning Map

Current Zoning FP-35 Future Land Use Zoning: RR-8, RR-4, RR-2

[\(select zoning layer in map\)](#)

[\(select future land use layer in map\)](#)

APPLICANT: <u>Mark Sherven</u>	
ADDRESS: <u>5304 County Hwy J, Mount Horeb 53572</u>	
PHONE: <u>608-438-4466</u>	EMAIL: <u>msherven@mhtc.net</u>

OWNER: <u>same</u>	
ADDRESS:	
PHONE:	EMAIL:

PROJECT DESCRIPTION: Mark is looking to create a new building site for himself to build on
and he is selling all the land to the south of the highway and they would like to create the 2 additional building locations that are allowed
on his farm. we are proposing a 4 lot csm that will designate those locations along with the existing home site

OWNER/APPLICANT SIGNATURE: _____ DATE: _____

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-	Developer Deposit:
☐ Certificate of Appropriateness (for Central Business Zoning)	No Fee		An escrow deposit is required in accordance with the Development Application Agreement. Total Fee Paid: _____ Date: _____ Fee Waived By: _____
☐ Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule		
☒ Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule		
☐ Comprehensive Plan Amendment	\$150.00	Class One	
☐ Conditional Use Permit (changes in USE of property)	\$150.00	Class Two	
☐ Conditional Use Permit (planned development district)	\$200.00	Class Two	
☐ Design Review	\$100.00		
☐ General Development Plan (GDP)	\$200.00		
☐ Specific Improvement Plan (SIP)	\$300.00		
☐ Zoning Amendment (changes in zoning)	\$150.00	Class Two	
☐ Zoning Amendment (planned development district)	\$200.00	Class Two	

The Village of Mount Horeb Plan Commission meets the fourth Wednesday of the month, unless noted on calendar. A schedule of deadlines can be found on the Zoning page of the Village website: [Plan Commission Calendar](#). **Consultation with the Village Administrator is highly encouraged to discuss procedure and necessary forms prior to any submittal.**

Note: applications requiring a public hearing will be scheduled for a hearing according to the publication deadline, with action considered at the scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Village Administrator for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Class One = Published in newspaper for one week / Class Two = Published in newspaper for two weeks

Application submittals should include:

- 1) Fully executed **Plan Commission Application**
- 2) Fully executed **Development Application Agreement** (attached)
 - A development agreement is a voluntary contract between a local jurisdiction and a person who owns or controls property within the jurisdiction, detailing the obligations of both parties and specifying the standards and conditions that will govern development.
- 3) Full payment for all associated fees
- 4) Written narrative of the proposed project
- 5) One electronic copy of **full submittal**
 - emailed to (2 parties) Nic.Owen@mounthorebwi.info and mhbuildinginspector@mounthorebwi.info,
 - or provided to our offices on a USB device or submitted via downloaded file

All **submittals** must contain the following to be considered complete:

- 1) Written narrative must include:
 - a. Owner and/or developer names and addresses
 - b. Where applicable; architect and/or engineer names and addresses
 - c. Description of proposed uses
 - d. Calculation indicating total site size, building floor area, number of parking stalls, amount of impervious surface, and amount of non-impervious green space
- 2) A scaled site plan which must include:
 - a. Name of project and date of plan preparation
 - b. Scale of drawing and north arrow
 - c. Property boundaries
 - d. Where applicable; both the one hundred (100) year recurrence interval floodplain and the floodway delineations
 - e. Where applicable; wetlands as delineated in the WDNR Wetland Inventory and 75' setback line from such wetlands
 - f. Existing and proposed easements on the subject property
 - g. Adjoining public street rights-of-way, street pavements, and sidewalk locations; existing and proposed driveways and curb cuts; and parking and loading areas
 - h. Location of existing and proposed building footprints with building and yard setback lines indicated
 - i. Location and size of any existing or proposed signs and fencing
 - j. Location and type of all outdoor lighting proposed to illuminate the site; including a photometrics plan of the site ([See Village Code Chapter 17.14 \(4\)](#))

- 3) Building Plans which must include:
 - a. Elevation drawing of each new or remodeled building façade, indicating height, materials and building dimensions
 - b. Colored renderings of all façades of the principal building showing the proposed colors
 - c. Building materials samples (upon request)
- 4) Grading and Stormwater Management Plan, including:
 - a. Existing and proposed topography shown at a contour interval of not less than two (2) feet at National Geodetic Vertical Datum
 - b. Location and dimension of Stormwater retention or detention basins and/or stormwater conveyances
- 5) Landscape Plan that meets all landscaping standards ([See Village Code Chapter 17.14\(25-27\)](#))
- 6) Parking Calculations
- 7) Escrow fees as outlined in the Development Application Agreement
- 8) Erosion Control and Stormwater Management Application and fees. *No person may begin a land disturbing construction activity or land developing activity subject to this division until the person has paid the Erosion Control Review and Inspection fee.
- 9) Erosion Control Plan
- 10) Signage Plan ([Village Code Chapter 17.171](#))
- 11) Design Review guideline ([See Village Code Chapter 17.14](#))
- 12) Refer to [Mount Horeb Village Code Chapter 17-Zoning Code](#) for all supporting details of required documentation.

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the “Agreement”) is made and entered into this ____ day of _____, _____, by and between the Village of Mount Horeb, a Wisconsin municipal corporation (the “Village”), and Mark Sherven (the “Applicant”).

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village’s jurisdiction: site plan / conditional use permit / rezone / variance / other development (hereinafter referred to as the “Development”).
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village’s discretion and that the Applicant’s compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (*e.g.*, engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

- 1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
- 2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village’s review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (*e.g.*, engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as “Review Costs.” Village staff time shall be charged at current rates.

3. *Deposit Required to Fund Reimbursement Account.*

- a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the “Deposit”). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions (<2,500 sf) shall require a \$1,500 Deposit.
- (2) Small-sized projects (<5,000 sf) shall require a \$3,500 Deposit.
- (3) Medium-sized projects (<10,000 sf) shall require a \$5,500 Deposit.
- (4) Large-sized projects (>10,000 sf) shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier’s check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non-interest-bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the “Reimbursement Account”).

4. *Village Withdrawals from the Reimbursement Account.*
- a. After complying with the notification requirements of paragraph 4.b. below, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
 - b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
 - c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
 - d. Any amounts remaining in the Reimbursement Account after the Village has taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.
5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.
6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Mount Horeb
Village Administrator
138 East Main Street
Mount Horeb, WI 53572
Email: Nic.Owen@mounthorebwi.info

To Applicant: Mark Sherven
5304 County Hwy J
Mount Horeb, WI 53572

Email: msherven@mhtc.net

7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

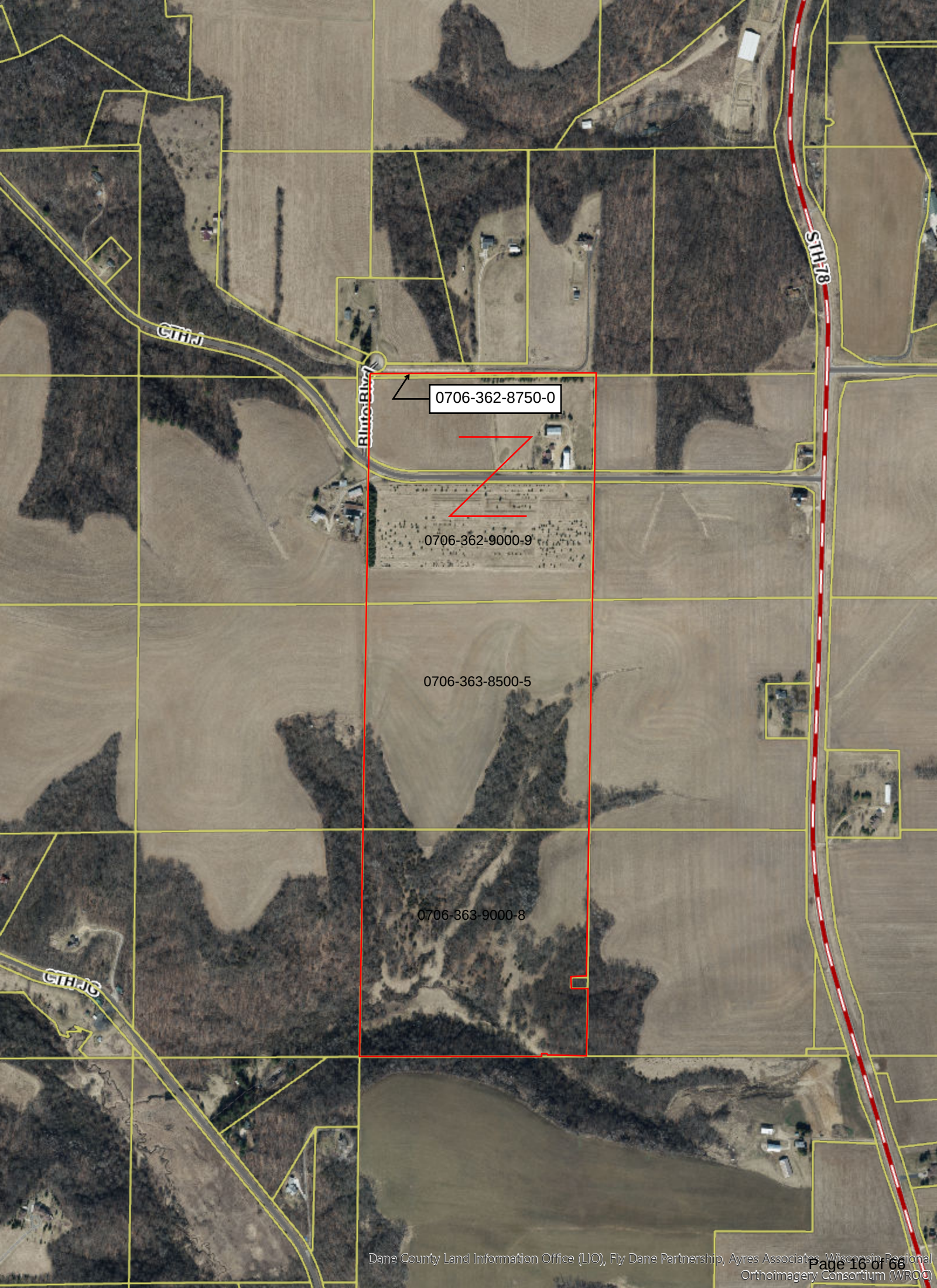
IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

VILLAGE OF MOUNT HOREB

By: _____
Nicholas W Owen
Administrator

APPLICANT

By: _____
Print name: Mark Sheven
Title: Owner



0706-362-8750-0

0706-362-9000-9

0706-363-8500-5

0706-363-9000-8



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW & NW 1/4's of the SW 1/4 and in the SW & NW 1/4's of the NW 1/4, all in Section 36, T7N, R6E, Town of Vermont, Dane County, Wisconsin

CURVE	RADIUS	LONG CHORD	DELTA	ARC	TANGENT
C1	510.50	S 73°41'31" E 286.70	32°36'58"	290.61	S 57°23'02" E

SCALE 1" = 500'



0' 250' 500' 1000' 1500'



W.C.S.-DANE ZONE (NAD83-2012)
BEARINGS ARE REFERENCED TO THE
WEST LINE OF THE NW 1/4 OF SECTION 36
LINE TO BEAR N 01°08'59" E

NOTES:

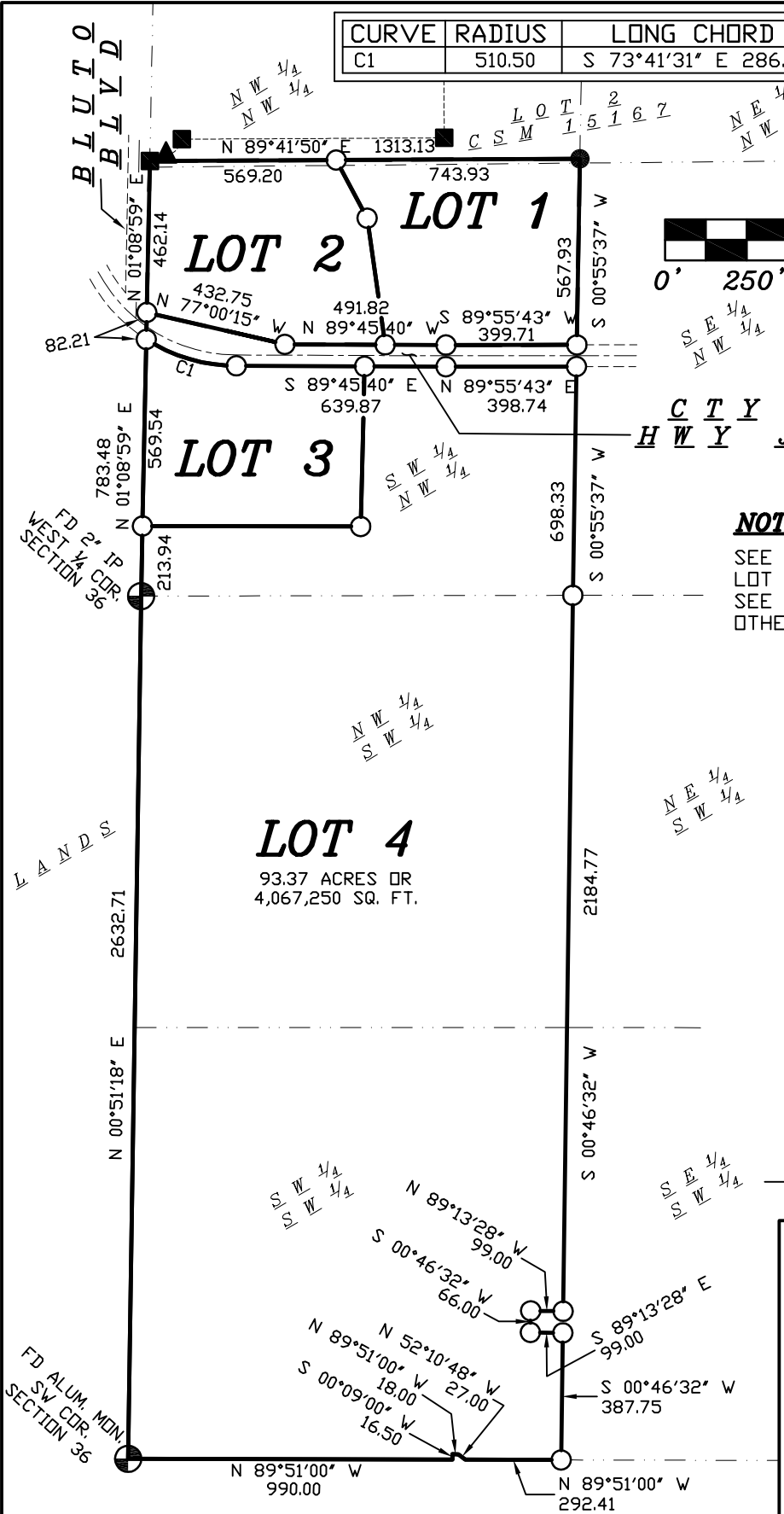
SEE SHEET 2 & 3 FOR
LOT DETAILS
SEE SHEET 5 FOR ALL
OTHER NOTES

LEGEND

- = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
- = FOUND 3/4" REBAR
- = FOUND 1" PIPE
- ▲ = FOUND RAILROAD SPIKE
- ⊙ = FOUND SECTION CORNER
- (##) = RECORDED AS
- ⊙ = WELL
- ⊙ = SEPTIC TANK
- X-X- = FENCE

SURVEYORS SEAL

REV. DATE: 2-16-2026 26W-06



DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW & NW ¼'s of the SW ¼ and in the SW & NW ¼'s of the NW ¼, all in Section 36, T7N, R6E, Town of Vermont, Dane County, Wisconsin

SCALE 1" = 200'



0' 100' 200' 400' 600'

NW ¼
NW ¼

LOT 1
15167

N 89°41'50" E 1313.13

569.20

743.93

LOT 1

8.33 ACRES OR
362,937 SQ. FT.

LOT 2

8.20 ACRES OR
357,280 SQ. FT.

PAVED CL IS
5'± EAST
OF R/W CL

B L U T O B L V D

33' N 01°08'59" E 462.14

432.75
N 77°00'15" W

R/W VARIES
PER DOC. 3165572

NEW DRIVEWAY
EASEMENT PER
OTHER DOCUMENT

N 89°45'40" W

306.28

C T Y

391.53
S 89°45'40" E

248.34
639.88

N 89°55'43" E 398.74

LOT 3

7.66 ACRES OR
333,656 SQ. FT.

N 01°08'59" E 783.48

569.54

S 89°52'04" E 666.20

N 01°23'48" E

488.98

LOT 4

93.37 ACRES OR
4,067,250 SQ. FT.

W.C.S.-DANE ZONE (NAD83-2012)
BEARINGS ARE REFERENCED TO THE
WEST LINE OF THE NW ¼ OF SECTION 36
LINE TO BEAR N 01°08'59" E

FENCE IS 4.6'
EAST OF LINE

698.33
S 00°55'37" W

LEGEND

- = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
- = FOUND 3/4" REBAR
- = FOUND 1" PIPE
- ▲ = FOUND RAILROAD SPIKE
- ⊙ = FOUND SECTION CORNER
- (##) = RECORDED AS
- ⊙ = WELL
- ⊙ = SEPTIC TANK
- = FENCE

CORNER FALLS
ON FENCE

FD 2" IP
WEST ¼ CDR.
SECTION 36

NW ¼
SW ¼

SURVEYORS SEAL

Sheet 2 of 5

26W-06



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW & NW ¼'s of the SW ¼ and in the SW & NW ¼'s of the NW ¼, all in Section 36, T7N, R6E, Town of Vermont, Dane County, Wisconsin

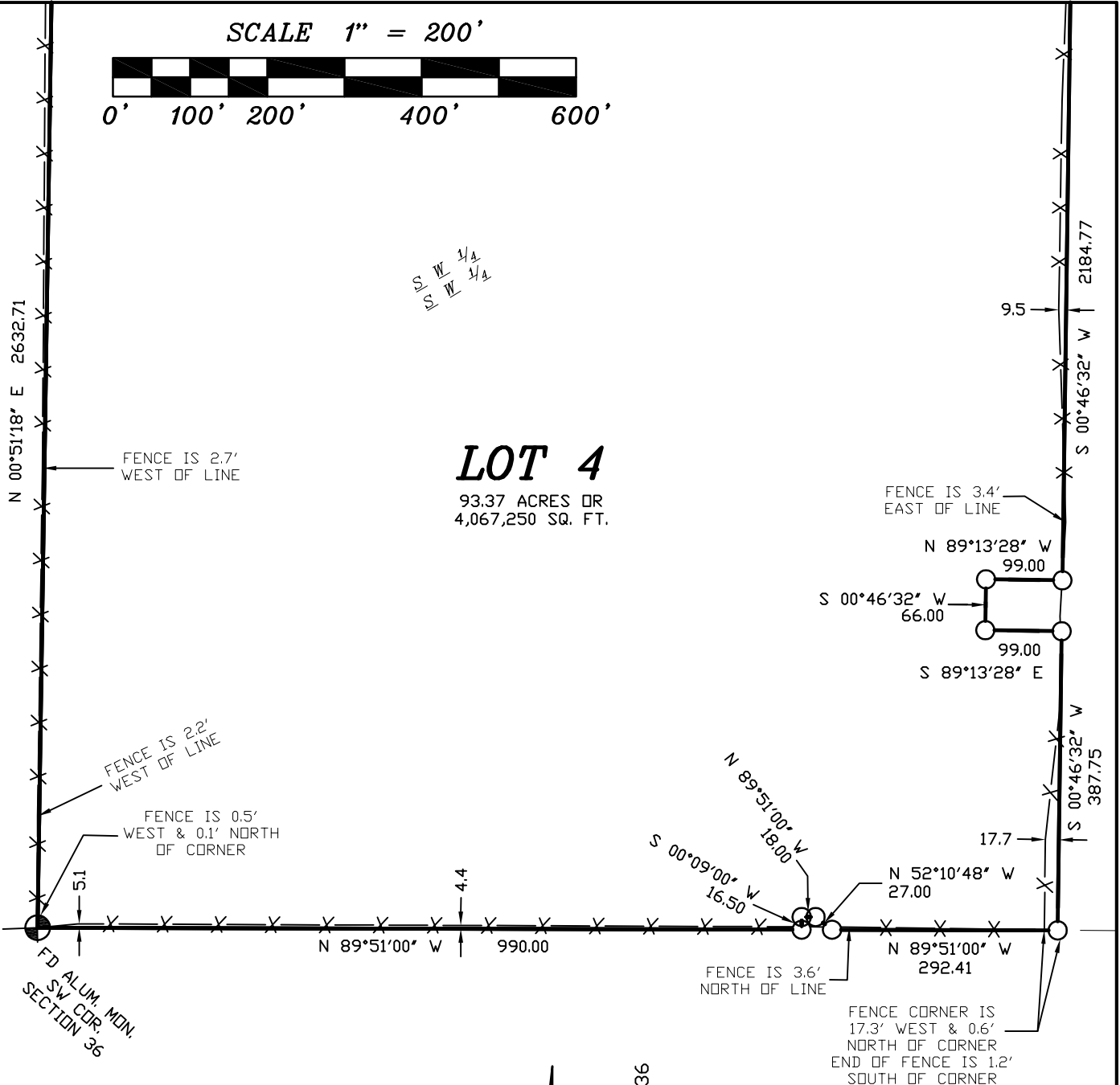
SCALE 1" = 200'



SW ¼
SW ¼

LOT 4

93.37 ACRES OR
4,067,250 SQ. FT.



LEGEND

- = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
- = FOUND 3/4" REBAR
- = FOUND 1" PIPE
- ▲ = FOUND RAILROAD SPIKE
- ⊙ = FOUND SECTION CORNER
- (##) = RECORDED AS
- ⊗ = WELL
- Ⓢ = SEPTIC TANK
- = FENCE

W.C.S.-DANE ZONE (NAD83-2012)
BEARINGS ARE REFERENCED TO THE
WEST LINE OF THE NW ¼ OF SECTION 36
LINE TO BEAR N 01°08'59" E

SURVEYORS SEAL

Sheet 3 of 5

26W-06



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104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW & NW ¼'s of the SW ¼ and in the SW & NW ¼'s of the NW ¼, all in Section 36, T7N, R6E, Town of Vermont, Dane County, Wisconsin

SURVEYOR'S CERTIFICATE

I, Chris W. Adams, Professional Land Surveyor hereby certify that this survey is correct to the best of the professional surveyor's knowledge and belief and is in full compliance with the provisions of Chapter A-E 7 and Chapter 236.34 Wisconsin Statutes, the subdivision regulations of Dane County, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the SW & NW ¼'s of the SW ¼, and part of the SW & NW ¼'s of the NW ¼, all in Section 36, T7N, R6E, in the Town of Vermont, Dane County, Wisconsin more particularly described as follows:

Beginning at the West ¼ corner of said Section 36; thence N 01°08'59" E, 783.48 feet to the southerly right of way of County Highway J; thence continue N 01°08'59" E, 82.21 feet to the northerly right of way of County Highway J & the easterly right of way of Bluto Blvd.; thence continue N 01°08'59" E along said easterly right of way, 462.14 feet to the south line of Lot 2, Certified Survey Map No. 15167; thence N 89°41'50" E along said south line, 1313.13 feet to the east line of the NE ¼ of the NW ¼ and the northerly extension of the east line of the SE ¼ of the NW ¼ of said Section 36; thence S 00°55'37" W along said easterly lines, 567.93 feet to the northerly right of way of County Highway J; thence along said northerly right of way for the next 3 courses; S 89°55'43" W, 399.71 feet; thence N 89°45'40" W, 491.82 feet; thence N 77°00'15" W, 432.75 feet to the easterly line of Bluto Blvd.; thence S 01°08'59" W, 82.21 feet to the southerly right of way of County Highway J; thence along said southerly right of way for the next 3 courses; along a curve concaved northeasterly have a radius of 510.50 feet and a long chord bearing S 73°41'31" E, a distance of 286.70 feet; thence S 89°45'40" E, 639.87 feet; thence N 89°55'43" E, 398.74 feet to the easterly line of said SW ¼ of the NW ¼; thence S 00°55'37" W along said east line, 698.33 feet to the NE corner of said NW ¼ of the SW ¼; thence S 00°46'32" W along the east line of said NW & SW ¼'s of the SW ¼, 2184.77 feet; thence N 89°13'28" W, 99.00 feet; thence S 00°46'32" W, 66.00 feet; thence S 89°13'28" E, 99.00 feet to the east line of said SW ¼ of the SW ¼; thence S 00°46'32" W along said east line, 387.75 feet to the south line of said SW ¼ of Section 36; thence N 89°51'00" W along said south line, 292.41 feet; thence N 52°10'48" W, 27.00 feet; thence N 89°51'00" W, 18.00 feet; thence S 00°09'00" W, 16.50 feet to the south line of said SW ¼ of Section 36; thence N 89°51'00" W along said south line, 990.00 feet to the Southwest corner of said Section 36; thence N 00°51'18" E along the west line of said SW ¼ of Section 36, 2632.71 feet to the West ¼ corner of said Section 36 and the point of beginning.

This description contains 117.56 acres or 5,121,114 sq. ft.

Williamson Surveying and Associates, LLC
by Chris W. Adams

Date _____

Chris W. Adams S-2748

Professional Land Surveyor

OWNERS' CERTIFICATE:

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. I also certify that this certified survey map is required by sec. 75.17(1)(a), Dane County Code of Ordinances, to be submitted to the Dane County Zoning and Land Regulation Committee for approval.

WITNESS the hand seal of said owners this _____ day of _____, 20____.

STATE OF WISCONSIN
DANE COUNTY)

Mark A Sherven Revocable Trust dated December 8, 2022
Mark A Sherven - Trustee

Personally came before me this _____ day of _____, 20____ the above named Mark A. Sherven to me known to be the person who executed the foregoing instrument and acknowledge the same.

_____ County, Wisconsin.

My commission expires _____

Notary Public

Print Name

Sheet 4 of 5

SURVEYORS SEAL

26W-06



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SW & NW $\frac{1}{4}$'s of the SW $\frac{1}{4}$ and in the SW & NW $\frac{1}{4}$'s of the NW $\frac{1}{4}$, all in Section 36, T7N, R6E, Town of Vermont, Dane County, Wisconsin

NOTES:

1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.

2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.

3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

TOWN BOARD RESOLUTION

Resolved that this certified survey map is hereby acknowledged and approved by the Town of Vermont on this _____ day of _____, 20____.

Katie Zelle
Town Clerk

VILLAGE OF MT HOREB

Resolved that this certified survey map in the Town of Vermont is hereby acknowledged and approved by the Village of Mt Horeb on this _____ day of _____, 20____.

Alyssa Gaffney
Village Clerk

DANE COUNTY APPROVAL:

Approved for recording per Dane County Zoning and Land Regulation Committee action on _____.

Daniel Everson
Assistant Zoning Administrator

REGISTER OF DEEDS:

Received for recording this ___ day of _____, 20___ at ___ o'clock ___.M.
and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski
Register of Deeds

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

Sheet 5 of 5

SURVEYORS SEAL

26W-06

LOT 2

AREA = 7.66 ACRES
OR 333,646 SQ. FT.

SCALE 1" = 100'



0' 50' 100' 200' 300'

CTY HWY J

S 73°41'31" E
286.70
RAD. 510.50
ARC 290.61

S 89°45'40" E
391.53

470741.78
726669.35

470691.74
726680.13

470641.76
726678.91

470591.77
726677.69

470541.79
726676.48

470491.80
726675.26

470441.81
726674.04

470391.83
726672.82

470341.84
726671.60

470291.86
726670.38

470241.87
726669.16

LOT 3

AREA = 7.66 ACRES
OR 333,646 SQ. FT.

CENTERLINE OF
PROPOSED FUTURE
DRIVEWAY

470457.97
726196.81

470407.99
726206.74

470357.99
726216.67

470307.99
726226.60

470257.99
726236.53

470207.99
726246.46

470157.99
726256.39

470107.99
726266.32

470057.99
726276.25

470007.99
726286.18

469957.99
726296.11

469907.99
726306.04

469857.99
726315.97

469807.99
726325.90

469757.99
726335.83

469707.99
726345.76

469657.99
726355.69

469607.99
726365.62

469557.99
726375.55

469507.99
726385.48

469457.99
726395.41

469407.99
726405.34

469357.99
726415.27

469307.99
726425.20

469257.99
726435.13

469207.99
726445.06

469157.99
726454.99

469107.99
726464.92

469057.99
726474.85

469007.99
726484.78

468957.99
726494.71

468907.99
726504.64

468857.99
726514.57

468807.99
726524.50

468757.99
726534.43

468707.99
726544.36

468657.99
726554.29

468607.99
726564.22

468557.99
726574.15

468507.99
726584.08

468457.99
726594.01

468407.99
726603.94

468357.99
726613.87

468307.99
726623.80

468257.99
726633.73

468207.99
726643.66

W.C.S.-DANE ZONE (NAD83-2012)
BEARINGS ARE REFERENCED TO THE
WEST LINE OF THE NW 1/4 OF SECTION 36
LINE TO BEAR N 01°08'59" E



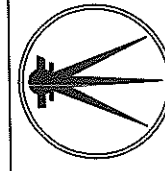
1/4
N
1/4
S

REMAINING FP-35 LAND
AREA = 90.85 ACRES OR
3,957,590 SQ. FT.

SITE PLAN

Located in the SW & NW 1/4's of the SW 1/4 and in the SW 1/4 of the NW 1/4, all in Section 36, T7N, R6E,
Town of Vermont, Dane County, Wisconsin

DATE	FEBRUARY 16, 2026	REVISION DATE	CHECK BY	N.T.P.
SCALE	1" = 100'		DRAWING NO.	26V-06
DRAWN BY	CHRIS ADAMS		SHEET	1 OF 2



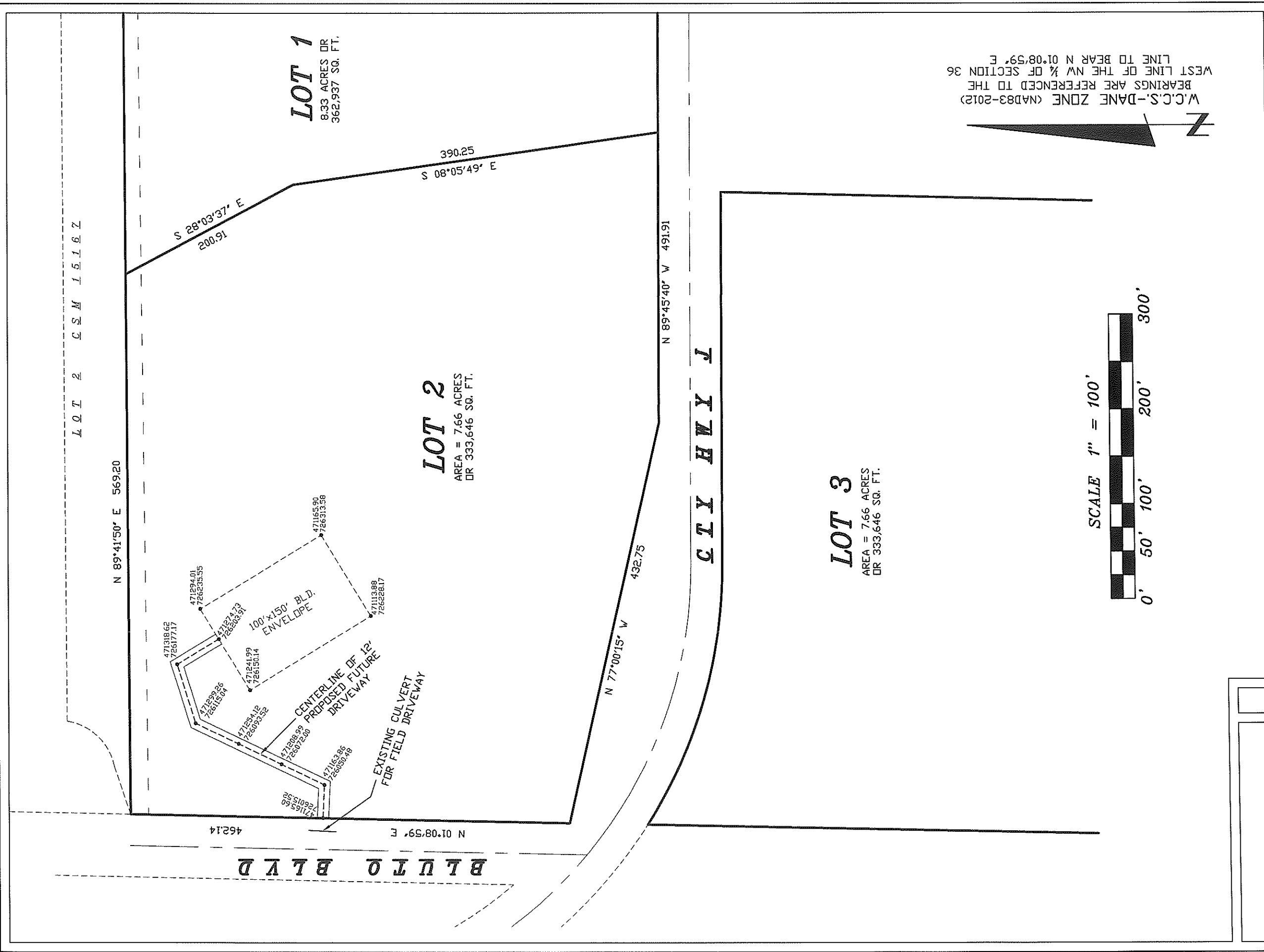
SURVEYORS SEAL

WILLIAMSON SURVEYING & ASSOCIATES, LLC

104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ

PROFESSIONAL LAND SURVEYORS
PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM



SITE PLAN

Located in the SW & NW ¼'s of the SW ¼ and in the SW ¼ of the NW ¼, all in Section 36, T7N, R6E,
Town of Vermont, Dane County, Wisconsin

DATE	FEBRUARY 16, 2026	REVISION DATE:		CHECK BY	N.T.P.
SCALE:	1" = 100'			DRAWING NO.	26V-06
DRAWN BY	CHRIS ADAMS			SHEET	2 OF 2

WILLIAMSON SURVEYING & ASSOCIATES, LLC
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597.
NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ
PROFESSIONAL LAND SURVEYORS
PHONE: 608-255-5705 FAX: 608-849-9760 WEB: WILLIAMSONSURVEYING.COM

SURVEYORS SEAL

WISCONSIN
CHRIS ADAMS
S-2748
WAUNAKEE
WI
2-17-26
LAND SURVEYOR



AGENDA ITEM REPORT

MEETING DATE

March 25, 2026

PREPARED BY

AGENDA ITEM # 4.c

Concept Review for Multi-Family Development; 1348 Field Court, Nick Olday

BACKGROUND

Excerpt from Nic Owen email, 3/16/26: "If the Plan commission is favorable he can be on the April agenda for consideration of the Site Plan and Design review, which I think will be one application and it does not need to go to Board for approval. There will be no public hearing or notice requirements to neighbors. With the new code the Plan Commission can require a neighborhood meeting, but since this project fits the neighborhood, I don't see them asking for that.

Ben will be providing a review for the meeting and that should dictate any issues that would prevent him from getting on the April agenda or if he would have to wait for May."

RECOMMENDATION

ATTACHMENTS

1. Field Court - preliminary survey map
2. Field Court - Site & floor plan
3. 1348 Field Court Concept Review 3.25.26
4. 1348-1354 Field Ct CSM (10-23-2025)
5. 25058-250205-Olday - Prelim budget Set



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

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104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Lot 30, Field Addition, Located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

SURVEYOR'S CERTIFICATE

I, Chris W. Adams, Professional Land Surveyor hereby certify that this survey is correct to the best of the professional surveyor's knowledge and belief and is in full compliance with the provisions of Chapter A-E 7 and Chapter 236.34 Wisconsin Statutes, the subdivision regulations of the Village of Mt Horeb, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being Lot 30, Field Addition, Located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 12, T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

Williamson Surveying and Associates, LLC
by Chris W. Adams

Date _____

Chris W. Adams S-2748

Professional Land Surveyor

OWNERS' CERTIFICATE:

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. I also certify that this certified survey map is required to be submitted to the Village of Mt Horeb for approval.

WITNESS the hand seal of said owners this _____ day of _____, 20____.

Known Prime Properties LLC

Nick Olday

STATE OF WISCONSIN)
DANE COUNTY)

Personally came before me this _____ day of _____, 20____ the above named Nick Olday to me known to be the person who executed the foregoing instrument and acknowledge the same.

_____ County, Wisconsin.

My commission expires _____

Notary Public

Print Name

Sheet 2 of 3

SURVEYORS SEAL

25W-148



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Lot 30, Field Addition, Located in the SE ¼ of the NE ¼ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

NOTES:

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- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

VILLAGE OF MT HOREB APPROVAL

Resolved that this certified survey map is hereby acknowledged and approved by the Village of Mt Horeb on this ____ day of _____, 20__.

Village Clerk

REGISTER OF DEEDS:

Received for recording this ___ day of _____, 20__ at ___ o'clock ___.M. and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski
Register of Deeds

SURVEYORS SEAL

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

Sheet 3 of 3

25W-148

[illegible][illegible]

Known Prime Properties LLC

for

Two duplexes (4 units)

Drawing Index

- T1.1 Title Page
- SW1.1 Site plan - Concept 3
- S1.1 Footing & Foundation Plan
- S1.2 Foundation Details
- A2.1 Ground Floor Plan
- A2.2 First Floor Plan
- A2.3 Second Floor Plan
- A2.4 Roof Plan
- A3.1 Exterior Elevations
- A3.2 Exterior Elevations
- A4.1 Building Sections, wall and partition schedules
- A5.1 Wall Sections

Project Summary

governing building code
Wisconsin Uniform Dwelling Code

governing jurisdiction, setbacks & restrictions
City, of Mount Horeb
Zoning District: MSB
Maximum Height: N/A
Street (Front) Yard: - 20 feet
Side Yards: - 8 feet
Rear Yard: - 20 feet
Lot area = 12,397 sq ft
Max. impervious surface = 90%

The design represented by these drawings is federal copyright protected & is the sole property of Bouril Design Associates, LLC. These drawings or digital files may not be reproduced without the written consent of Bouril Design Associates, LLC. Madison, Wisconsin.

**Preliminary
Budget Set
Not for Construction**

Bouril Design Associates, LLC

579 D'Onofrio Drive, Suite 16
Madison, Wisconsin 53719
608-333-3400 www.bourlidesi.com

KNOWN Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin,

[illegible]

project: 25058
date: 2/5/2026
drawn by: jlm

T1.1



1 Site plan - Concept 3B

SCALE: 1" = 10'-0" (22"x34" - Full size)
1" = 20'-0" (11"x17" - Half size)

General Notes - Site Plan

- 1 See other title sheets for specifications, Material
- 2 identification, symbol legend, and abbreviations.
- 3 Contractor to field verify conditions and locations of
- 4 existing utilities prior to start of construction. Notify
- 5 the owner and owner of all relevant discrepancies that
- 6 would affect and impact the design & construction of
- 7 new structures
- 8 New or relocated utilities not shown. Coordinate with
- 9 MEP contractors.
- 10 Data and electrical lines for adjacent 4 unit to be
- 11 relocated outside of new building perimeter. See
- 12 MEP contractor drawings.
- 13 Provide erosion control devices and fences around
- 14 perimeter of the construction site downhill from
- 15 excavations and earthmoving. Erosion control devices
- 16 shall comply with all applicable regulations (the city, county,
- 17 and state. Field verify and maintain positive
- 18 drainage from structures. See site plan for proposed
- 19 locations
- 20 Grades shown are preliminary, iv existing grades.
- 21 Verify and coordinate grades with wall & building
- 22 sections.
- 23 Survey information shown has been obtained from
- 24 Williamson Surveying and Associates, 104 A West
- 25 Main Street, Kaukaune, Wisconsin 53571
- 26 (phone 608-295-5940). Please verify all information
- 27 minimum drainage slope 1:50
- 28 Trees if shown are approximate, field verify.
- 29 House/garage floor elevations shown on site plan are
- 30 only tied to elevations on the site plan and do not
- 31 correspond to floor elevations on the architectural
- 32 drawings. Compare architectural elevations on site
- 33 plan with ground floor and first floor elevation on
- 34 architectural drawings. Contact architect if in question

Key Notes - site plan

#	Text
1	condensing unit and pad
2	Concrete apron to street to conform to City of Mount Horeb standards
3	concrete patio slab, slope min 1/8" per ft
4	subsurface drainage system outlet (outflow), coordinate with grades.
5	subsurface drainage system (sized by pc)
6	Yard drain to subsurface drainage system
7	Asphalt driveway over compacted granular fill
8	Asphalt driveway parking stall over compacted granular fill
9	concrete stoop
10	6'-0" high privacy fence as selected by owner
11	conc entry stoop

**Preliminary
Budget Set
Not for Construction**

Bouril Design Associates, LLC

579 D'Onofrio Drive, Suite 16
Madison, Wisconsin 53719
608-833-3400 www.bourlidesign.com

Two duplexes (4 units)
KKnown Prime Properties LLC
Lot 2, 1304-1354 Field Court, Mt. Horeb, Wisconsin,

[illegible]

project: 25058
date: 2/5/2026
drawn by: jlm

SW1.1

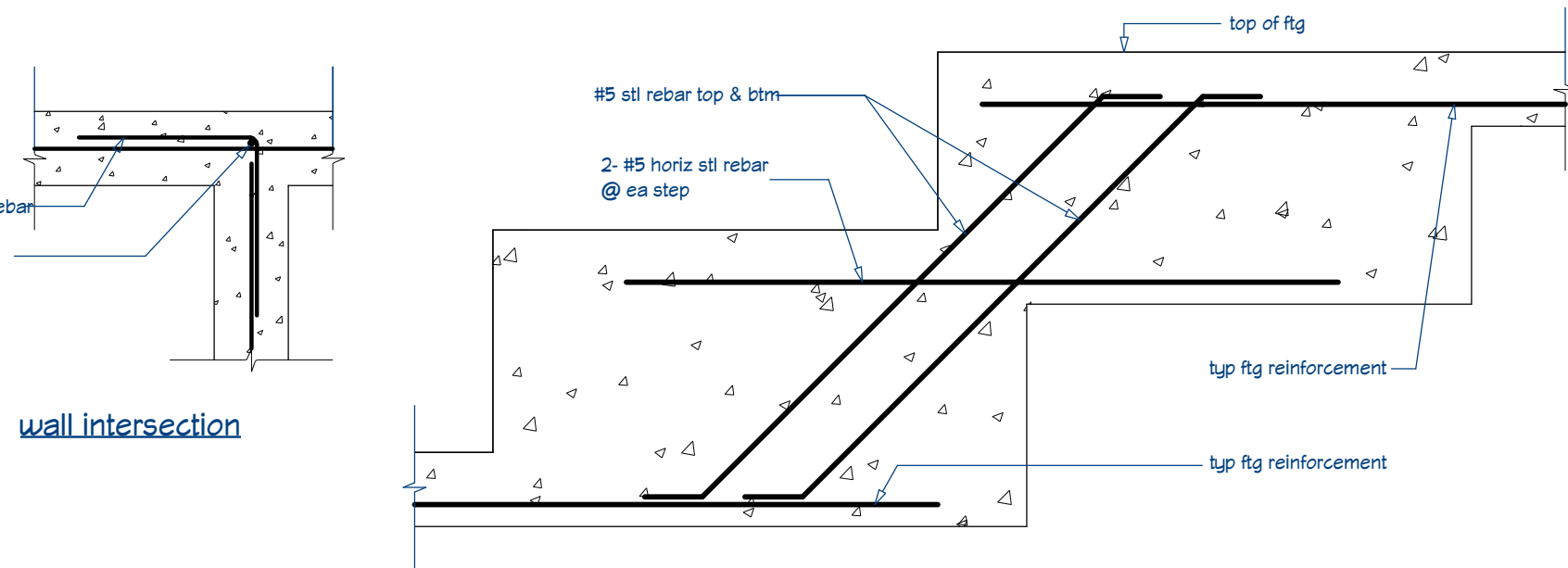


other vert reinf is not shown for clarity
extend horiz wall reinf w/std 90 deg hook in lieu of additional corner reinf
no vert construction joints within 4' of wall corners

A

fdn corner details

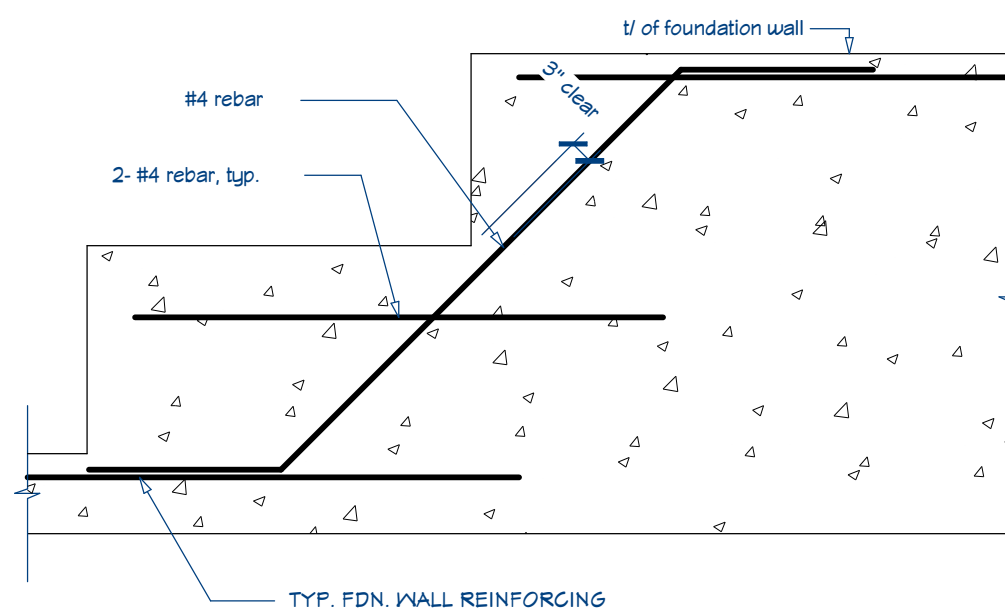
SCALE: 1/2" = 1'-0" (22"x36" - Full size)
1/4" = 1'-0" (11"x17" - Half size)



B

fdn wall step detail

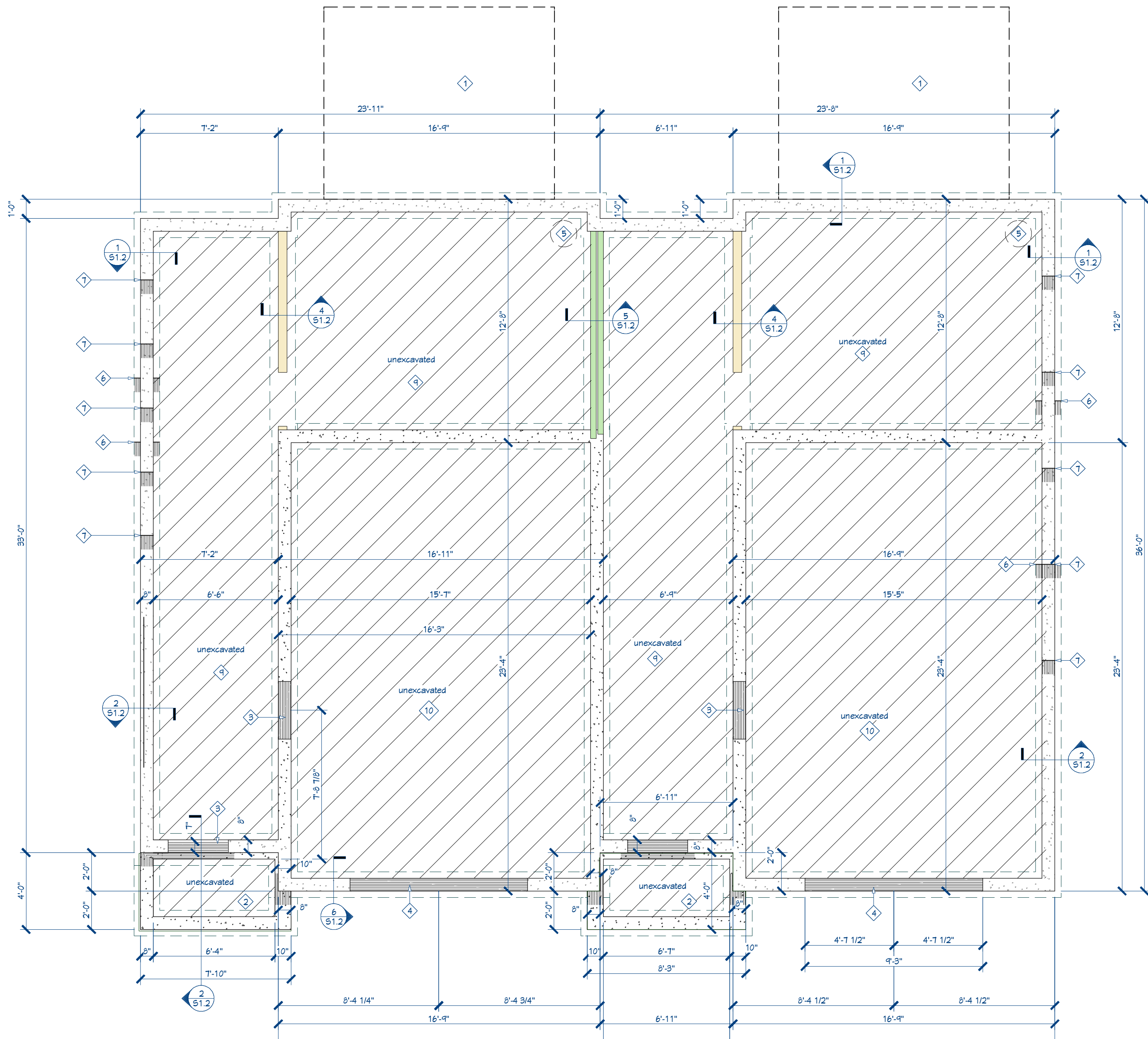
SCALE: 1/2" = 1'-0" (22"x36" - Full size)
1/4" = 1'-0" (11"x17" - Half size)



C

Foundation Step footing detail

SCALE: 1/2" = 1'-0" (22"x36" - Full size)
1/4" = 1'-0" (11"x17" - Half size)



1

Footing & Foundation Plan

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

Key Notes - Foundation Plan	
#	Text
1	4" thk. conc patio; slope 1/8" min. per ft for drainage
2	5" thk reinforced porch conc slab w/ thickened edge, see details
3	Over-pour interior slab at foundation wall cut-out.
4	Over-pour interior slab at foundation wall cut-out.
5	1/2" wall to drop 5" below conc garage slab
6	Proposed location of block-out for sump crotch.
7	Step in footing
8	Step in foundation wall
9	new 3 1/2" thk conc slab
10	new 4" conc garage slab

DIVISION 03 - Concrete

- Dimensions are to face of concrete, face of load-bearing masonry, or the centerline of a framing member column, & beams, etc.
- Footings and foundations are designed assuming a minimum soil-bearing capacity of 2000 psf and a weight of 150 pcf. Pier footings to be min 12" deep. Spread footings to be min 10" deep.
- Foundations shall be placed on natural undisturbed non-organic mineral soils or engineered compacted fill. If necessary, extend depth & height of foundation walls as required to reach proper soil conditions. Contact geotechnical engineers for soils testing & recommendations when in doubt.
- All concrete shall conform to the concrete design mix schedule.
- Bottom of footings to be a minimum of 4' below finished grade. Adjust depth if required.
- Refer to the building sections for locations of below-grade foundation and slab insulation, barrier membranes, engineered fill, etc.
- Slope concrete floors to floor & trench drains at a slope between 1/8" per foot & 1/4" per foot. At garages, slope floor to garage door when no floor drains are indicated.
- Provide beam pockets in width, depth & location as required for beam bearing. See Framing Plans for reference.
- All site-cast concrete including footings, pads, walls, & slabs shall be formed. All forms shall be plumb, true, level & braced to prevent deformation or dislocation during construction. Proprietary integral form & subsurface drainage systems are acceptable.
- All reinforcement steel shall be positioned and secured in place with bar supports and wire ties to ensure minimum concrete cover is maintained prior to and during pours.
- Interior slabs to be placed on 10 mil VR.
- Foundation to sill plate Anchor Bolts: ASTM A307 or better at 12" OC maximum and within 18" of wall corners with a minimum embedment of 7" into the foundation wall. Unless noted otherwise on shear wall schedules, see framing plans.
- Reinforcing Steel: ASTM A615 Grade 60. Wire bar supports shall be Class 1 or Class 2 where concrete is exposed to view; Class 3 is acceptable in all other areas. Tie wire shall be 16-1/2 gauge or heavier, black annealed.
- Drawings show approximate location & height of foundation wall steps. Prior to forming walls, coordinate wall steps in relation to finish grades & retaining walls with GC & landscape contractor.
- All interior concrete mixes for horizontal slab applications shall receive a synthetic fiber reinforcement (Propex Fibermesh 150, Grace Microfiber, or equivalent) at a quantity as recommended by manufacturer.
- Exterior slabs, walkways, driveways & aprons, shall receive 6x6 W1.4/ W1.4 WNF equidistant between the top & bottom faces of slab.
- Concrete slab control joints shall be formed with preformed plastic inserts. Placement of control joints shall not exceed 8' for 4" thick slabs & 12' for 6" thick slabs. Walkway contraction joints shall be spaced to create squares. Isolation joints shall be formed with a closed-cell neoprene joint filler recessed 3/4" from the slab surface & sealed with a grey polyurethane sealant. Slab edges & joints shall receive a 1/8" bullnose radius.
- Exterior walks shall receive textured surface with troweled picture-frame edges.
- Driveways & aprons to be 4,000 psi concrete mix & all other concrete shall be 3,000 psi concrete mix.

DIVISION 03 - Concrete

Concrete Design Mix Schedule

*Concrete compressive strength (F_c) shall be measured at 28 days.

Type	F _c (min)	Slump	Aggregate	Cement	Cement (min)	Notes
driveways & aprons	4000 psi	4 inches	3/4 inch	type 1A, air 6%	611 lbs / cu yd	1, 2, 3
exterior slabs, steps & walkways	3000 psi	5 inches	3/4 inch	type 1A, air 6%	517 lbs / cu yd	1, 2, 3
foundation walls & footings	3000 psi	5 inches	3/4 inch	type 1A, air 6%	517 lbs / cu yd	1, 2, 3
interior slabs & steps	3000 psi	5 inches	3/4 inch	type 1A	517 lbs / cu yd	1, 3

- All concrete mixes for horizontal slab applications shall receive a low-denier synthetic fiber reinforcement (Propex Fibermesh 150, Grace Microfiber, or equivalent) dosed at 1.0 lbs /cu yd.
- Exterior slabs, walkways, driveways and aprons, shall receive 6x6 W1.4/ W1.4 WNF equidistant between the top and bottom faces of the slab.

General Notes - Foundation Plan

- See specs if provided
- All concrete shall conform to the concrete design mix schedule. All load-bearing masonry shall be standard weight.
- See typical foundation details for steps in wall, footings and wall corners.
- All dimensions reference the face of concrete, face of load-bearing masonry, or the centerline of a framing member column, beam, joist, etc.
- Footings and foundations are designed assuming a minimum soil-bearing capacity of 2000 psf and a weight of 150 pcf.
- All site-cast concrete including footings, pads, walls, & slabs shall be formed. All forms shall be plumb, true, level & braced to prevent deformation or dislocation during construction.
- Provide beam pockets in width, depth & location as required for beam bearing. See Framing Plans for reference.
- All wall horizontal reinforcement shall be laid equidistant between the inner and outer faces of the wall.
- Foundation to sill plate Anchor Bolts: ASTM A307 or better at 12" OC maximum and within 18" of wall corners with a minimum embedment of 7" into the foundation wall, uno on shear wall schedule.
- Provide sill Sealer 1/4" thick corrugated polyethylene foam gasket below exterior wall 2x wd base plates
- Refer to the building sections for locations of below-grade foundation and slab insulation, barrier membranes, engineered fill, etc.
- All reinforcement steel shall be positioned and secured in place with bar supports and wire ties to ensure minimum concrete cover is maintained prior to and during pours. Reinforcing Steel: ASTM A615 Grade 60. Wire bar supports shall be Class 1 or Class 2 where concrete is exposed to view; Class 3 is acceptable in all other areas. Tie wire shall be 16-1/2 gauge or heavier, black annealed.
- Provide bleeders through footings for drain tile @ 5'-0" oc max.
- Form-A-Drain concrete forming & drainage system. See wall sections for subsurface drainage system notes.
- Interior slabs/ garage slabs shall be placed on 10 mil VR, uno.
- At continuous strip footing beneath a load-bearing wall. Continuous reinforcement shall be laid horizontally. Dowels are to tie the footing to the foundation wall and will be laid vertically with an embedment of 6" (min) into the footing and 18" (min) into the foundation wall; the bend shall be a 90-degree hook with a 3" bent leg length.

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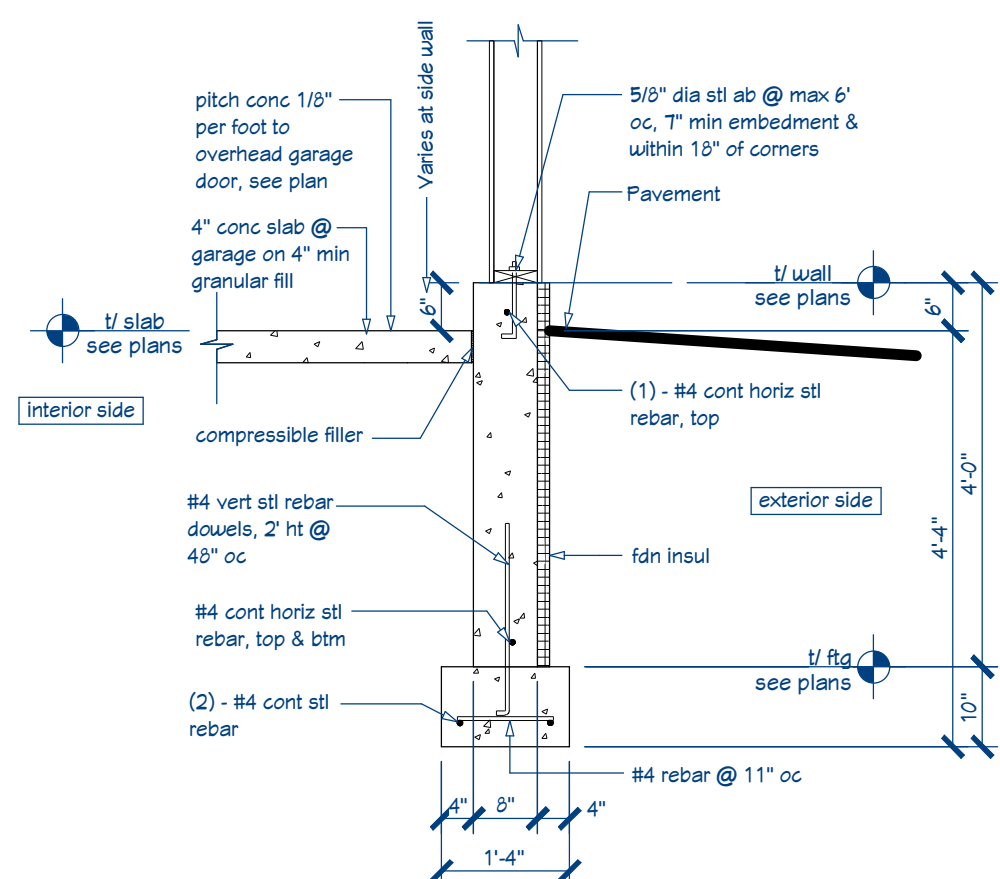
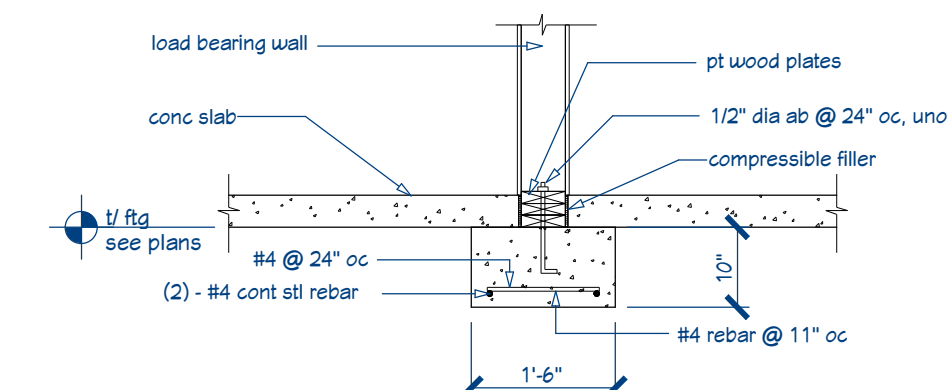
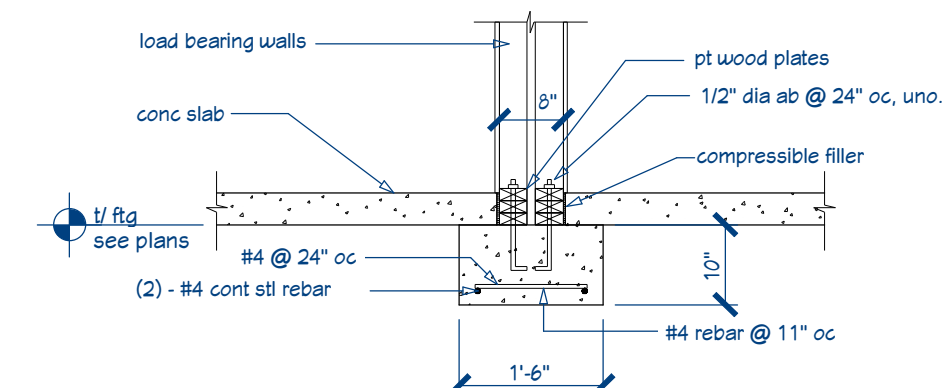
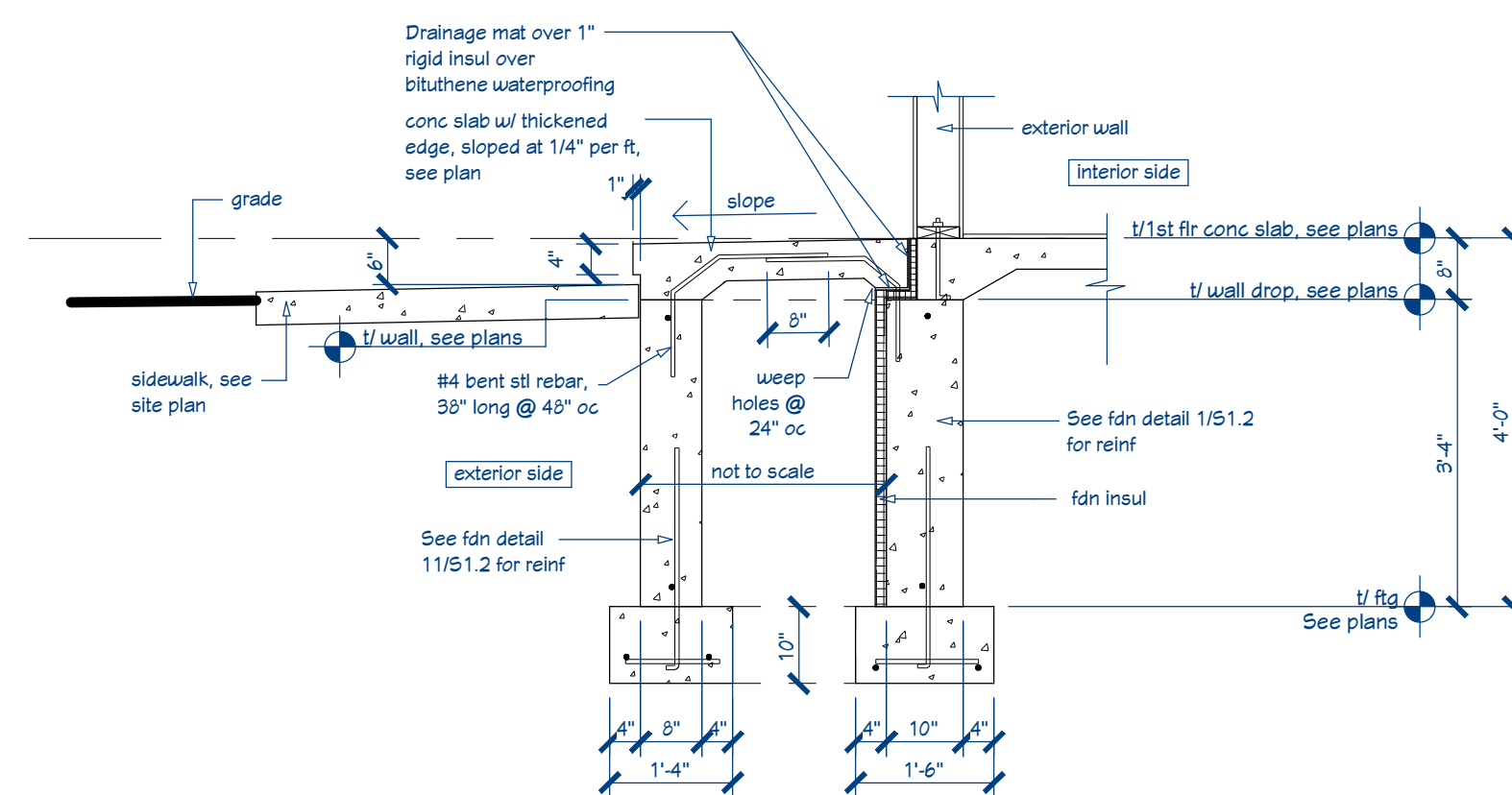
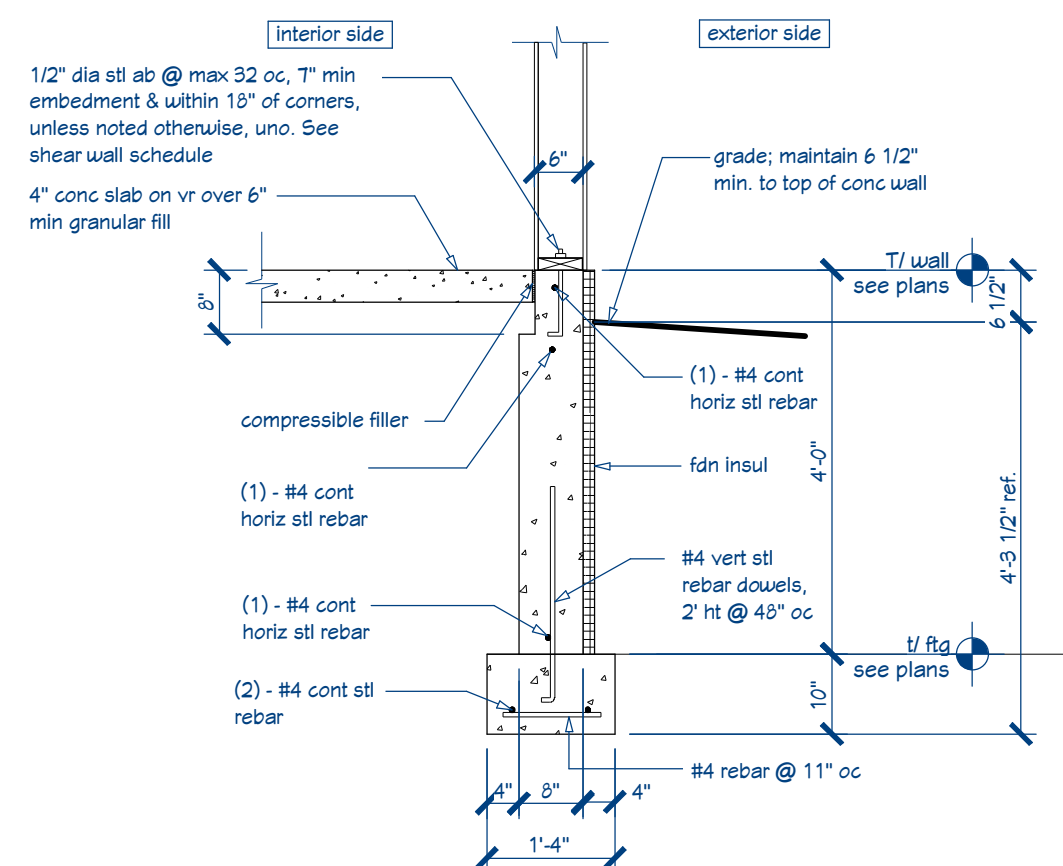
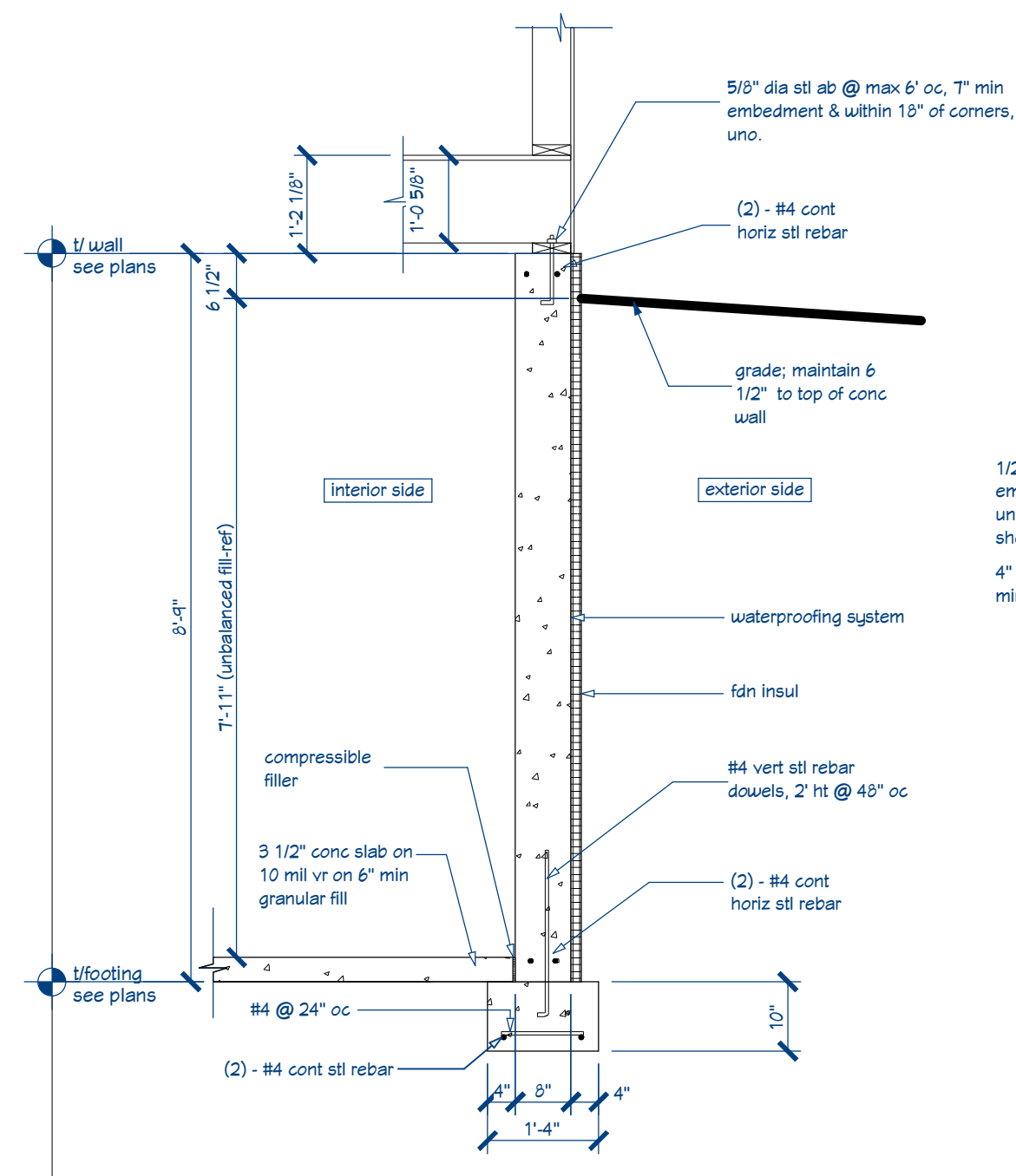
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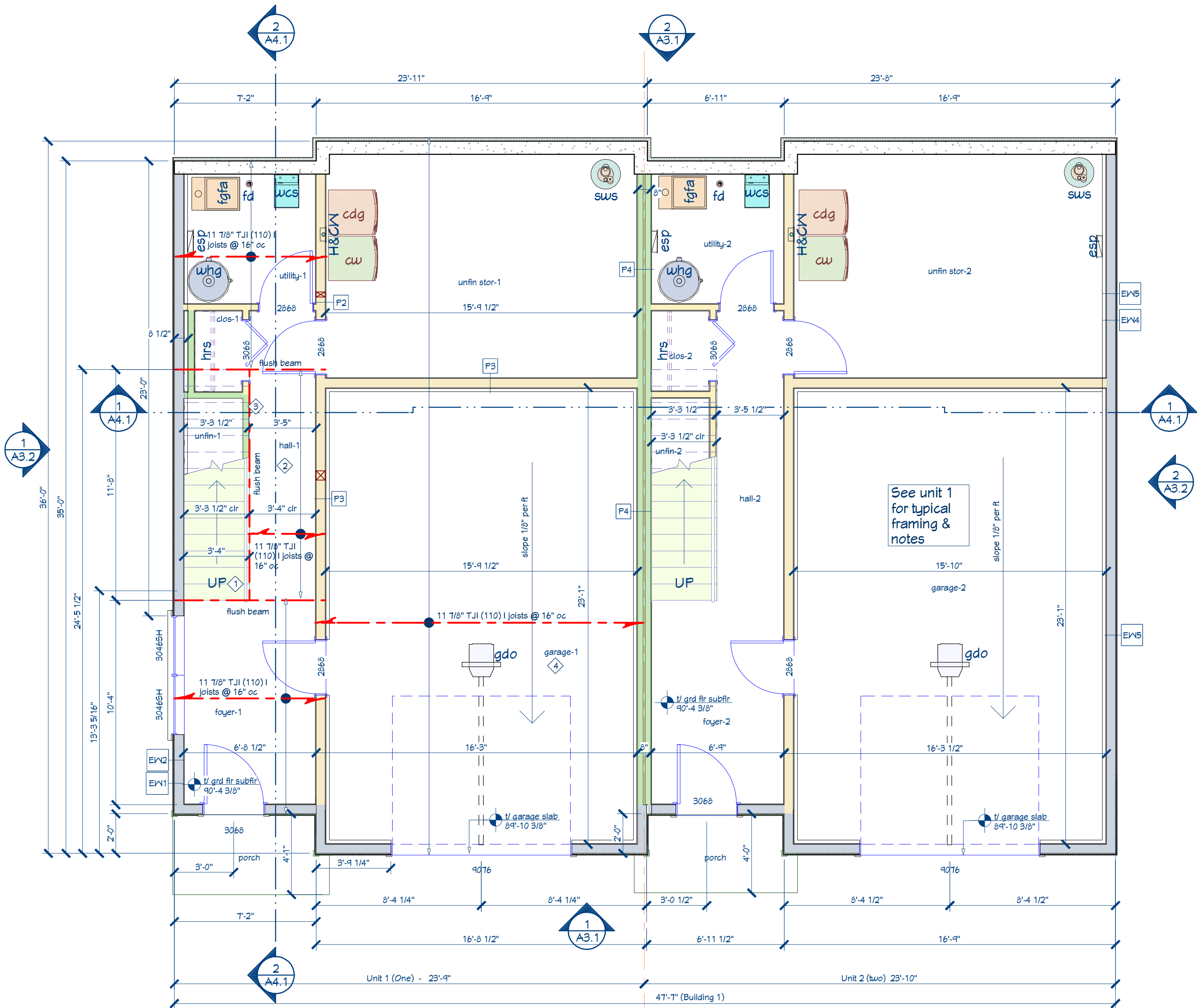
KNOW Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

S1.1





1

Ground Floor Plan

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x11" - Half size)

General Notes - Ground Floor Plan

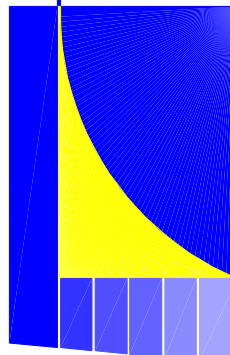
1. See title sheet T1 for abbreviations, and symbols.
2. See other title sheets for specifications if provided.
3. See wall sections / plans for exterior wall types.
4. All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
5. All materials to be installed per manufacturers current printed instructions.
6. All wood in contact with concrete to be pressure treated.
7. Garage ceiling to be 5/8" gub, type "X". All columns and
- 8.

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KNown Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index

#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

A2.1

General Notes - Ground Floor Plan

1. See title sheet T1 for abbreviations, and symbols.
2. See other title sheets for specifications if provided.
3. See wall sections / plans for exterior wall types.
4. All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
5. All materials to be installed per manufacturers current printed instructions.
6. All wood in contact with concrete to be pressure treated.
7. Garage ceiling to be 5/8" gub, type "X". All columns and beams supporting roof or second floor structure to be turned out and wrapped with 5/8" gub, type "X".
8. Provide control joints in concrete slabs per ACI Standards.
9. All doors and frames between house and garage to be 20 minute fire rated.
- 10.

Key Notes - Ground Floor Plan

- | # | Text |
|---|---|
| 1 | 34" high stair rail above stair nosing w/ newel posts @ 48" oc and balusters @ 5" oc, coordinate type w/ owner |
| 2 | dropped duct chase, see building sections |
| 3 | wall extend to underside of stairs |
| 4 | Garage ceiling to be 5/8" type x gub over 1 1/2" rigid insulation. 2nd floor joists above garage to have R36 Batt Insul |

Ground Floor - Floor Finish Schedule

Room Name	Floor Finish	Area, Interior	Dimensions
foyer-1	tile	10	6'-7"x10'-7"
hall-1	engineered hdu	46	3'-4"x14'-4"
clo-1	engineered hdu	10	2'-4"x6'-1"
unfin-1	conc	24	2'-11"x8'-11"
unfin stor-1	conc	171	15'-4"x11'-3"
utility-1	conc	42	6'-3"x6'-6"
garage-1	conc	383	15'-7"x22'-5"
foyer-2	tile	71	6'-3"x10'-7"
hall-2	engineered hdu	48	3'-4"x14'-4"
clo-2	engineered hdu	12	2'-11"x4'
unfin-2	conc	24	2'-11"x8'-11"
unfin stor-2	conc	176	15'-7"x11'-3"
utility-2	conc	44	6'-3"x6'-6"
garage-2	conc	349	15'-5"x22'-5"
Totals:		1458	

Unit One (1)

Heated Living Area Summary (gross sq ft)

ground floor unfinished area	0,202.52 sq ft
ground floor finished area	0,256.06 sq ft
total ground floor heated area	0,448.58 sq ft
first floor finished area	0,842.60 sq ft
second floor finished area	0,842.60 sq ft

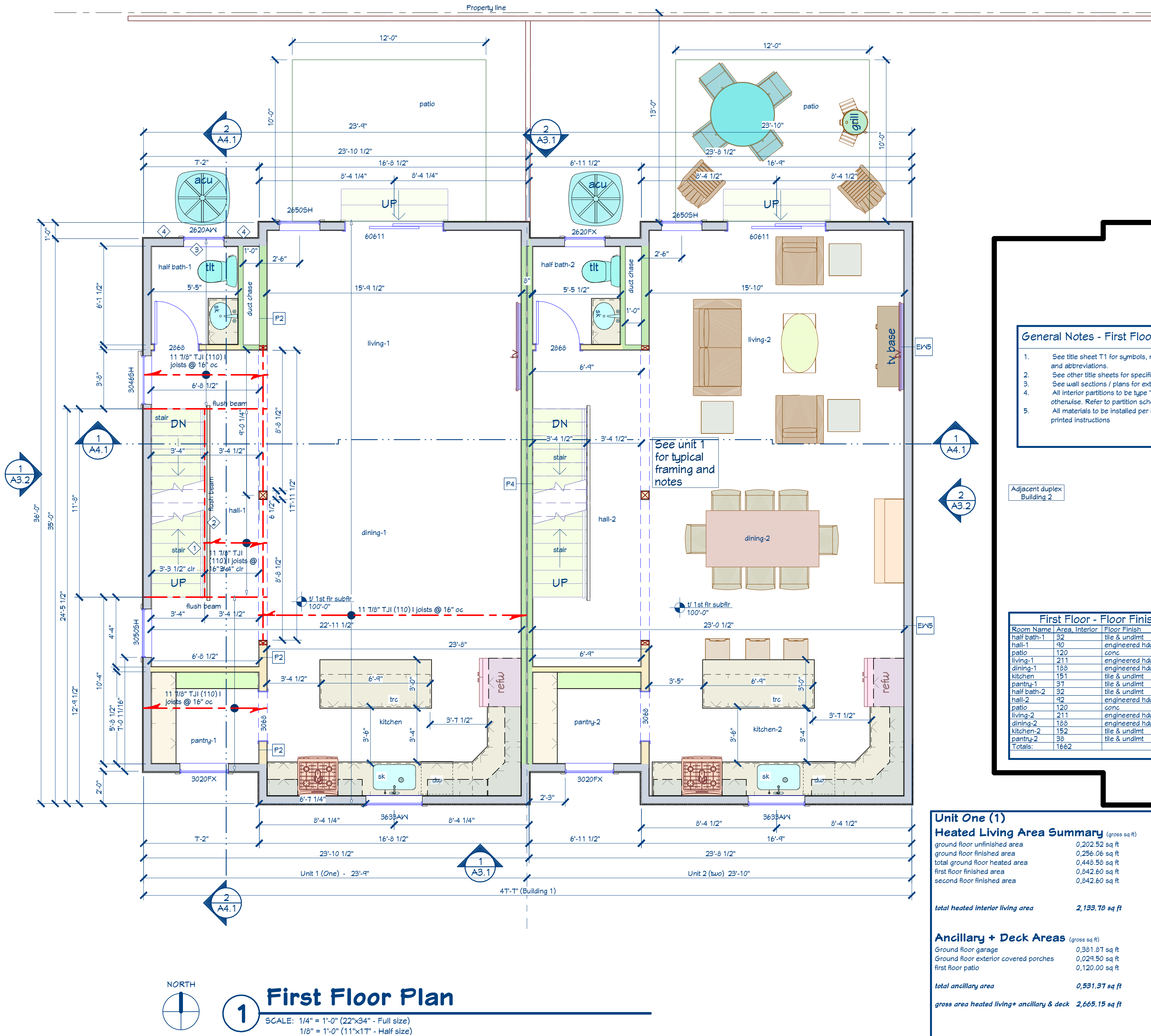
total heated interior living area 2,133.78 sq ft

Ancillary + Deck Areas (gross sq ft)

Ground floor garage	0,381.87 sq ft
Ground floor exterior covered porches	0,024.50 sq ft
first floor patio	0,120.00 sq ft

total ancillary area 0,531.37 sq ft

gross area heated living+ ancillary + deck 2,665.15 sq ft



- General Notes - First Floor Plan
- See title sheet T1 for symbols, material identification and abbreviations.
 - See other title sheets for specifications if provided.
 - See wall sections / plans for exterior wall types.
 - All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
 - All materials to be installed per manufacturers current printed instructions.

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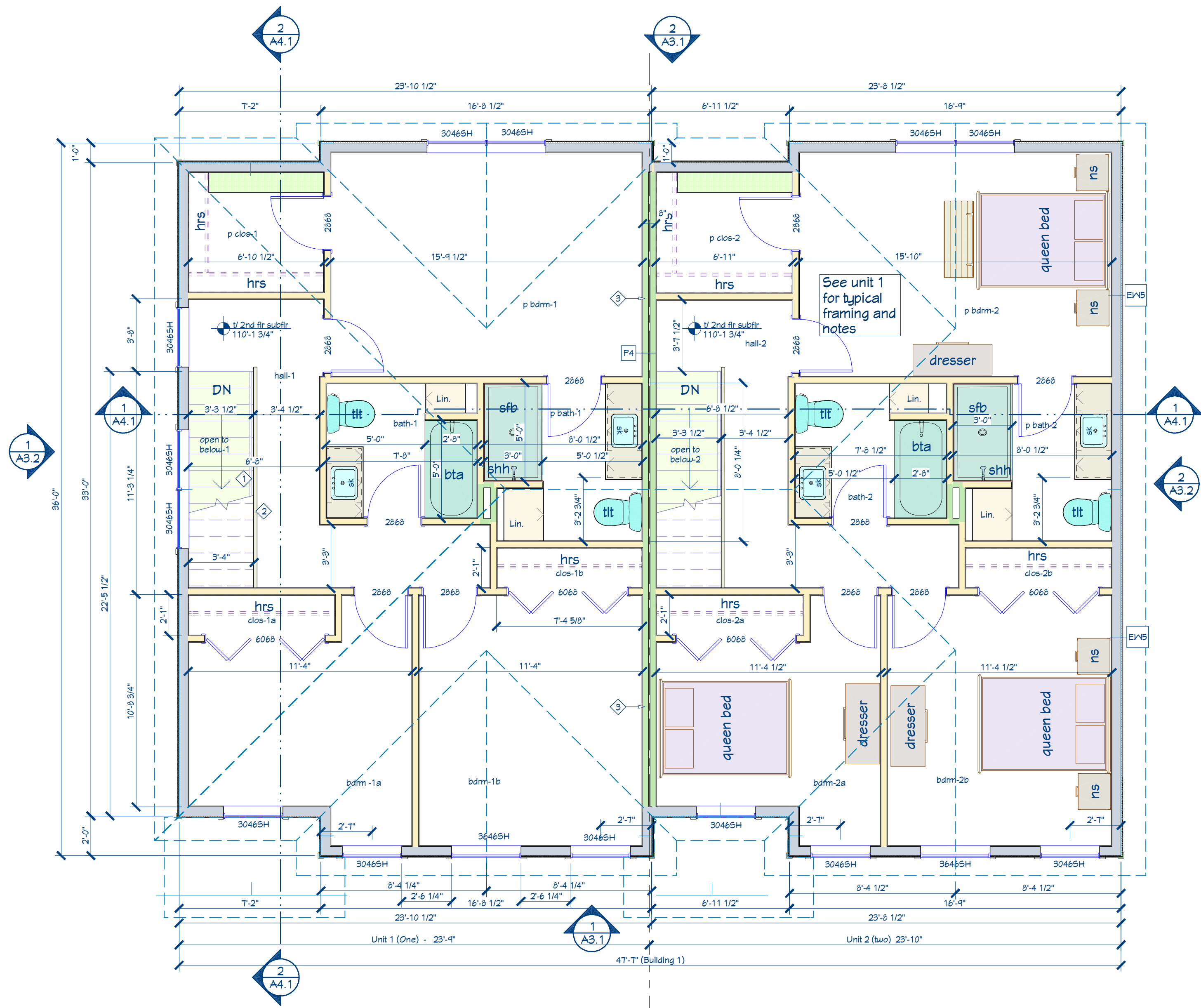
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KNOWN Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

A2.2



1 Second Floor Plan

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

General Notes - Second Floor Plan

- See title sheet T1 for abbreviations, and symbols.
- See other title sheets for specifications if provided.
- See wall sections / plans for exterior wall types.
- All interior partitions to be type "F1" unless noted otherwise. Refer to partition schedule.
- All materials to be installed per manufacturers current printed instructions.

Key Notes - Second Floor plan

#	Text
1	34" high stair rail above stair nosing w/ newel posts @ 48" oc and ballusters @ 5" oc, coordinate type w/ owner
2	36" high aff guard rail w/ newel posts @ 48" oc and ballusters @ 5" oc, coordinate type w/ owner
3	Draftstopping in attic: Above and in line the unit separation wall provide truss with 1/2" gap on one side from ceiling to underside of roof deck.

Second Floor - Floor Finish Schedule

Room Name	Area, Interior (sq ft)	Floor Finish	Dimensions
open to below-1	36		3'-3"x10'-11"
hall-1	88	engineered hduhd	6'-4"x14'-7"
p bdrm-1	117	cpt & pad	15'-4"x11'-3"
p bath-1	60	tile & undlmt	7'-11"x7'-11"
p clos-1	41	cpt & pad	6'-4"x6'
bath-1	50	tile & undlmt	7'-7"x6'-4"
bdrm-1a	110	cpt & pad	11'-3"x9'-3"
clos-1a	15	cpt & pad	7'-4"x2'
bdrm-1b	142	cpt & pad	11'-3"x12'-8"
clos-1b	15	cpt & pad	7'-4"x2'
open to below-2	36		3'-3"x10'-11"
hall-2	84	engineered hduhd	6'-10"x14'-6"
p bdrm-2	118	cpt & pad	15'-4"x11'-3"
p bath-2	60	tile & undlmt	7'-11"x7'-11"
p clos-2	42	cpt & pad	6'-10"x6'-11"
bath-2	51	tile & undlmt	7'-6"x6'-4"
bdrm-2a	110	cpt & pad	11'-4"x9'-3"
clos-2a	15	cpt & pad	7'-5"x2'
bdrm-2b	143	cpt & pad	11'-3"x12'-8"
clos-2b	15	cpt & pad	7'-4"x2'
Totals:	1473		

Unit One (1)

Heated Living Area Summary (gross sq ft)

ground floor unfinished area	0.202.52 sq ft
ground floor finished area	0.256.06 sq ft
total ground floor heated area	0.448.58 sq ft
first floor finished area	0.842.60 sq ft
second floor finished area	0.842.60 sq ft

total heated interior living area 2,133.78 sq ft

Ancillary + Deck Areas (gross sq ft)

Ground floor garage	0.381.87 sq ft
Ground floor exterior covered porches	0.024.50 sq ft
first floor patio	0.120.00 sq ft

total ancillary area 0.531.37 sq ft

gross area heated living+ ancillary + deck 2,665.15 sq ft

KNown Prime Properties LLC

Two duplexes (4 units)

Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index

#	date	reference

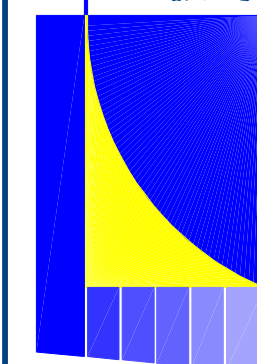
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date: 2/5/2026
drawn by: jlm

A2.3

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Budget Set
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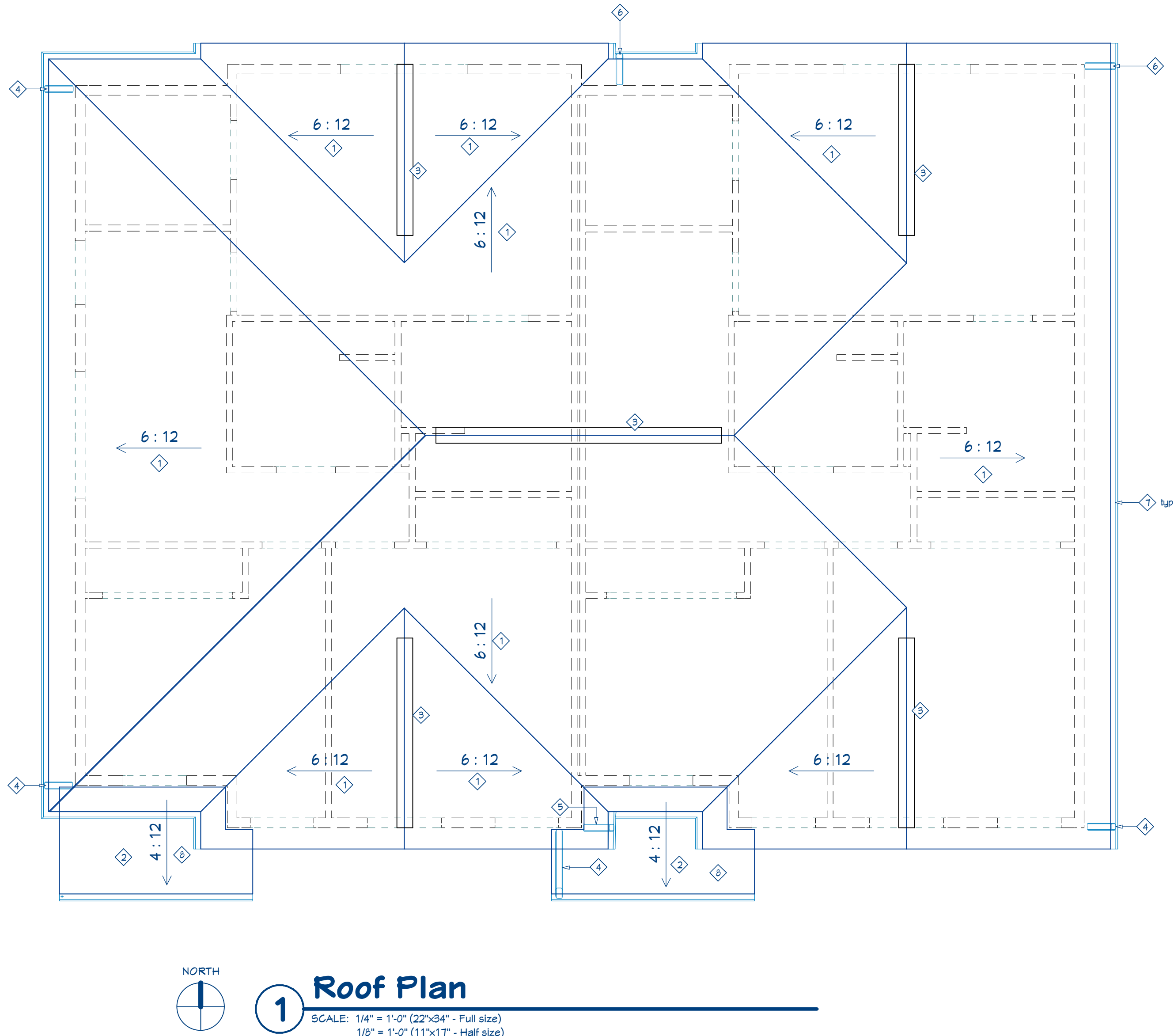
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- General Notes - Roof Plan**
- All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
 - Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
 - Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents & stacks, along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch & other vertical surfaces, over the entire surface of any roof, crickets, or over-build with a slope 4:12 or less. All areas not covered by waterproof membrane will be covered with synthetic roof underlayment applied horizontally from eave to ridge.
 - Install synthetic waterproof membrane below metal roofs
 - Install hip & ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof overbuild areas should not be \ sheathed beneath the overbuild framing to maintain free air flow throughout the attic volume. Roofing contractor shall be responsible for meeting off roof venting per code.
 - Gutters, downspouts, and leaders shall be roll-formed from 0.032" aluminum coil stock in a color to match the eave fascia. Gutter lengths shall be seamless; K Style profile & shall provide 20sq in (min) of net cross-sectional area and shall have a depth to width ratio of not less than 1:25 (eg a 4" deep x 5" high U-shaped gutter satisfies this requirement). All gutters shall receive a fully covered leaf guard system. Downspouts & leaders shall be a 4"x3" rectangular profile. Downspouts which discharge to a leader at grade shall be provided with a decorative aggregate concrete splash block at the leader termination. Downspouts which discharge to a drain receptor shall terminate into a 4"x4" PVC offset downspout tile adaptor mated to a buried 4" SDR35 drain pipe receiver. Buried drain pipe shall slope at 1/4":12 and drain to daylight; all pipe fittings shall be permanently welded or use gaskets; all bends shall be 45 degrees or less.

Key notes - Roof plan	
#	Text
1	Asphalt roof shingles
2	Prefinished standing seam metal roof.
3	Prefinished ridge vent
4	Prefinished metal Downspout - discharge to grade
5	Prefinished metal Downspout - discharge to lower roof
6	Prefinished metal Downspout - discharge to drain receptor
7	Prefinished metal roof gutters
8	Lower porch roof

KNown Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

A2.4

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1 Exterior East Elevation
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)



2 Exterior West Elevation
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

- General Notes - Exterior Elevation**
1. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
 2. All final material selections, colors, finishes, and other options to be coordinated with the Owner.
 3. New windows are Essential by Marvin, color: white (both sides - Confirm with owner)
 4. New sliding patio door is Signature Collection, Ultimate by Marvin, color to match new windows (confirm with owner)
 5. New stone veneer is thin veneer application, selected by owner. (field verify new thickness of owner selection)
 6. All new L.P. engineered wood members (trim boards, or siding) shall be prefinished
 7. Downspouts are aluminum material matching siding, min. size: 4"x 6". Sizing by roof contractor.
 8. Final downspout locations shall be confirmed with owner

#	Text
1	Prefinished metal standing seam roof
2	Asphalt shingles
3	Prefinished composite wd fascia
4	Prefinished composite wd shadow board (Gables only)
5	Prefinished metal gutter
6	Prefinished metal downspout, match siding
7	Thin stone Veneer
8	Cut limestone cap stone
9	Cut limestone window sill
10	Vinyl lap siding. Color 1 as selected by owner.
11	Vinyl shake siding. Color as selected by owner. Optional bid: Vinyl lap siding, Color 2 as selected by owner.
12	Vinyl corner trim, match adjacent siding (lap or shake)
13	Prefinished 4" Composite window trim
14	Prefinished 4" composite door trim
15	Cedar wood structural bracket
16	wood beam wrapped with Prefinished composite wd trim
17	Rain chain for entry roof

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KNOW Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

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#	date	reference

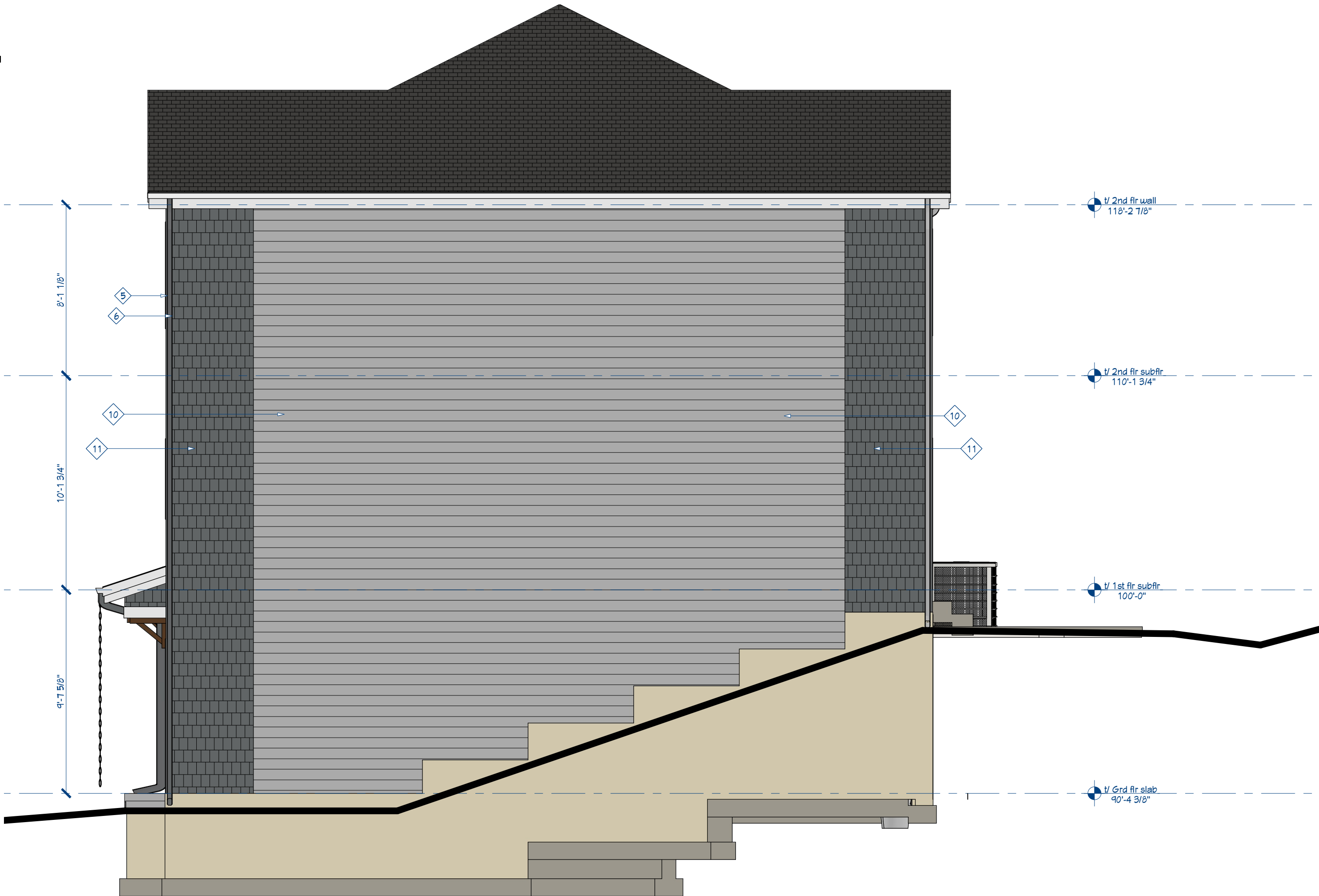
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date: 2/5/2026
drawn by: jlm

A3.1

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1 Exterior South Elevation
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)



2 Exterior North Elevation
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

- General Notes - Exterior Elevation**
1. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
 2. All final material selections, colors, finishes, and other options to be coordinated with the Owner.
 3. New windows are Essential by Marvin, color: white (both sides - Confirm with owner)
 4. New sliding patio door is Signature Collection, Ultimate by Marvin, color to match new windows (confirm with owner)
 5. New stone veneer is thin veneer application, selected by owner. (field verify new thickness of owner selection)
 6. All new LP engineered wood members (trim boards, or siding) shall be prefinished
 7. Downspouts are aluminum material matching siding, min. size: 4"x6". Sizing by roof contractor.
 8. Final downspout locations shall be confirmed with owner

Key Notes - Exterior Elevations	
#	Text
1	Prefinished metal standing seam roof
2	Asphalt shingles
3	Prefinished composite w/ fascia
4	Prefinished composite w/ shadow board (Gables only)
5	Prefinished metal gutter
6	Prefinished metal downspout, match siding
7	Thin stone Veneer
8	Cut limestone cap stone
9	Cut limestone window sill
10	Vinyl lap siding, Color 1 as selected by owner.
11	Vinyl shake siding, Color as selected by owner. Optional bid: Vinyl lap siding, Color 2 as selected by owner.
12	Vinyl corner trim, match adjacent siding (lap or shake)
13	Prefinished 4" Composite window trim
14	Prefinished 4" composite door trim
15	Cedar wood structural bracket
16	wood beam wrapped with Prefinished composite w/ trim
17	Rain chain for entry roof

**Preliminary
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KNown Prime Properties LLC
Two duplexes (4 units)
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A3.2

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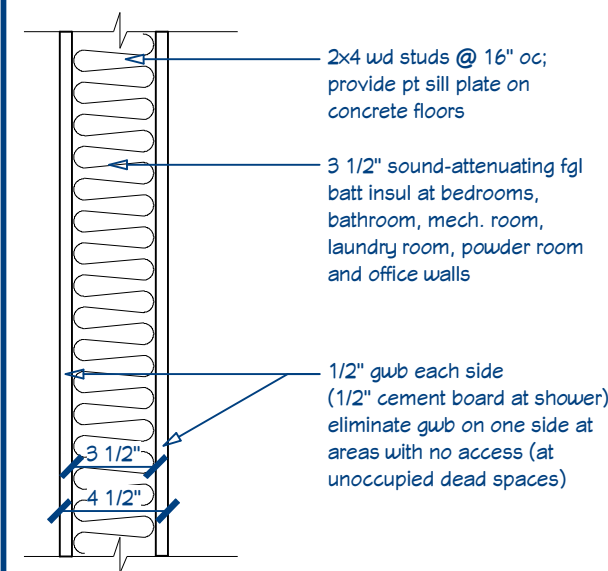


1 Building Section
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Interior partition types:

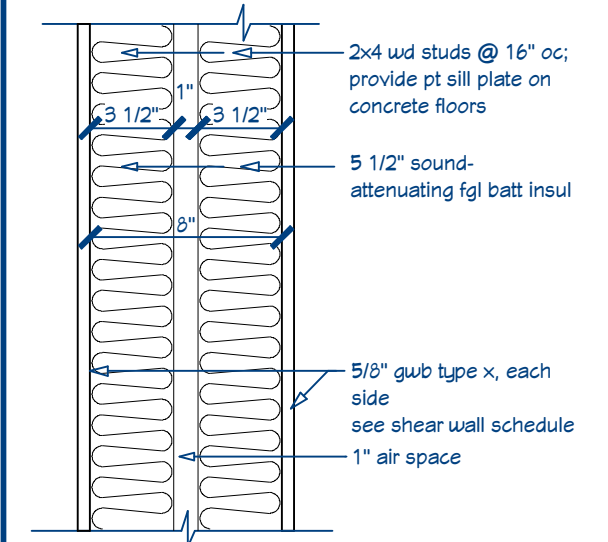
interior partition P1

2x4 framed walls, all interior partitions are P1 unless noted otherwise



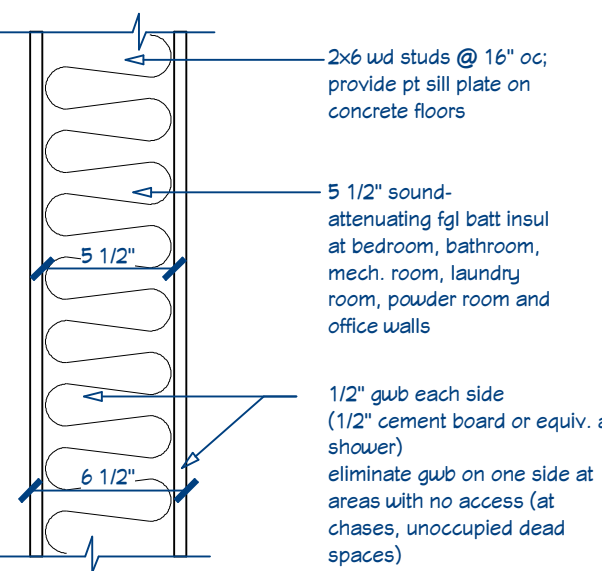
interior partition P4

Double 2x4 stud wood framed walls between units, see floor plans for locations. see framing plans and wall bracing schedule.



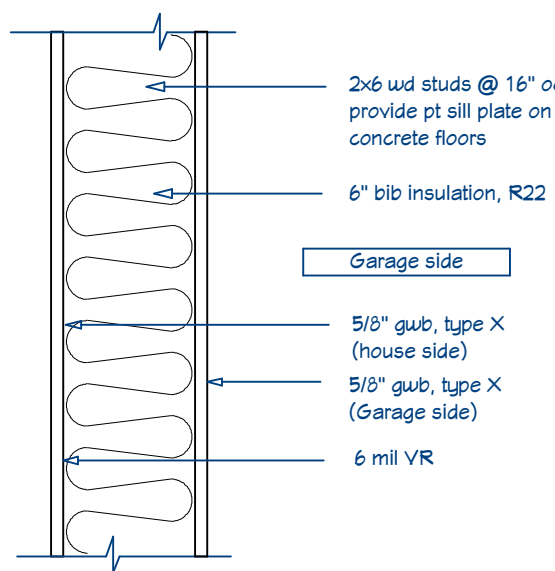
interior partition P2

2x6 wood framed walls, see floor plans for locations



interior partition P3

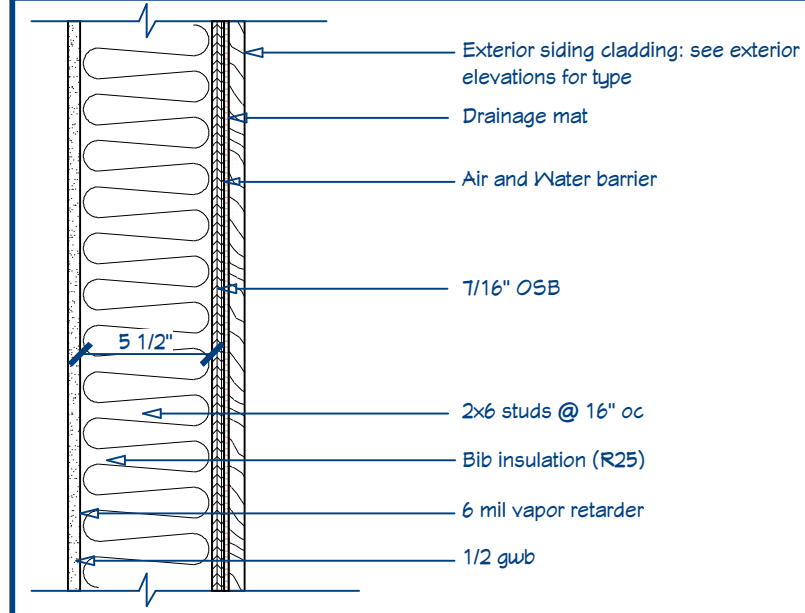
2x6 framed walls, between garage and residential unit
30 minute hour fire rating per IBC table 722.6.2(1)



exterior wall types: (EW#)

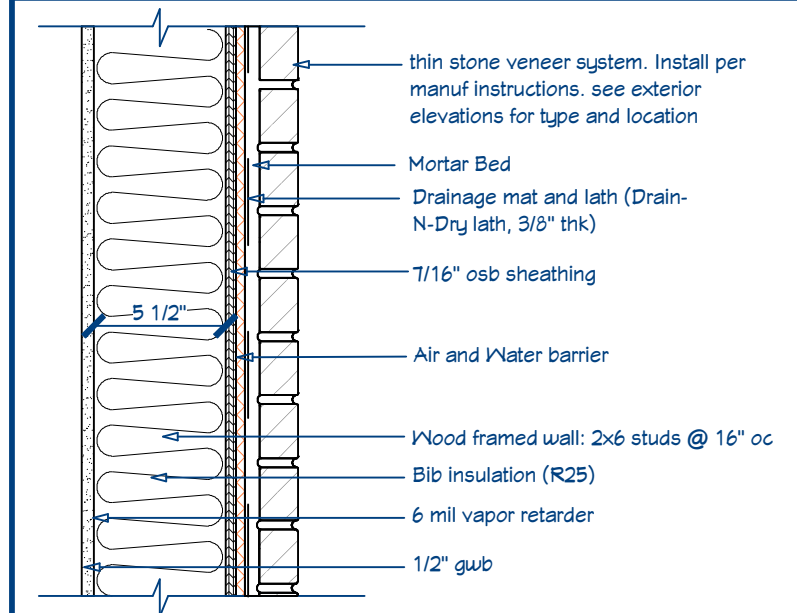
exterior wall type EW1

2x6 wood framed wall siding.
See wall sections and floor plans for locations.



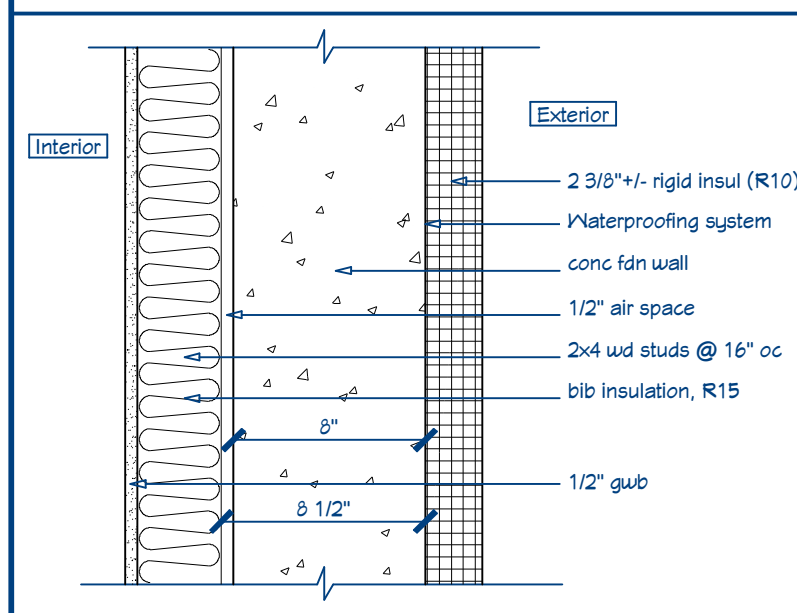
exterior wall type EW2

2x6 wood framed wall w/ thin stone veneer.
See wall sections and floor plans for locations.



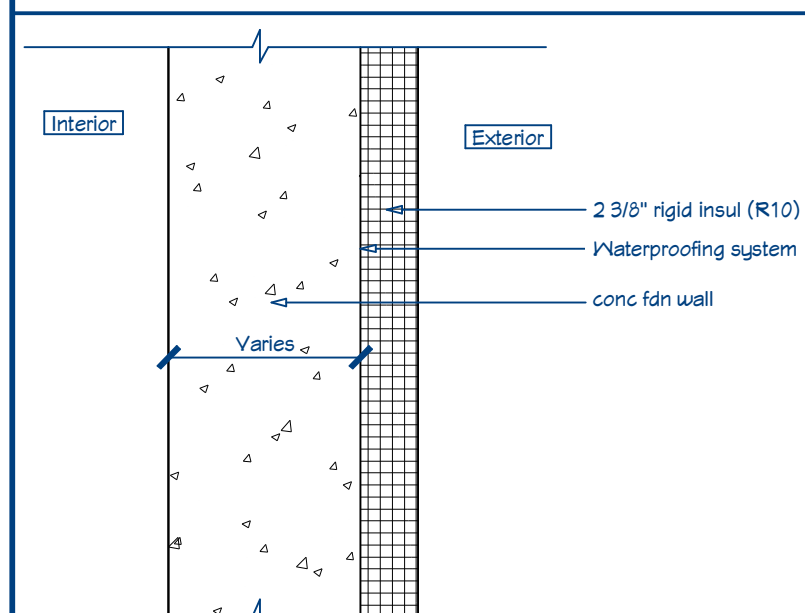
exterior wall type EW3

New concrete foundation wall w/ 2x4 furred wall.
See wall sections and floor plans for locations.



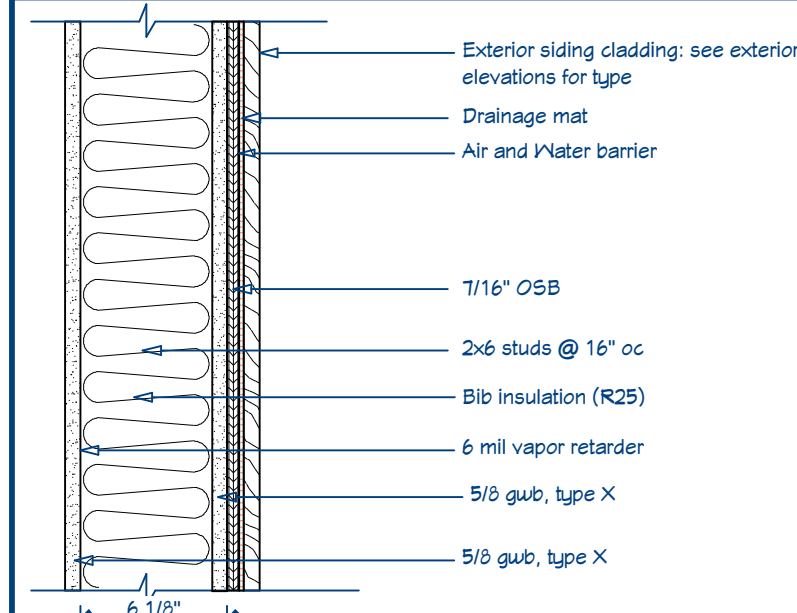
exterior wall type EW4

Concrete foundation wall.
See wall sections and floor plans for locations.



exterior wall type EW5

2x6 wood framed wall siding. Fire rated separation wall. Building 1 north wall.
See wall sections and floor plans for locations.



2 Building Section
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

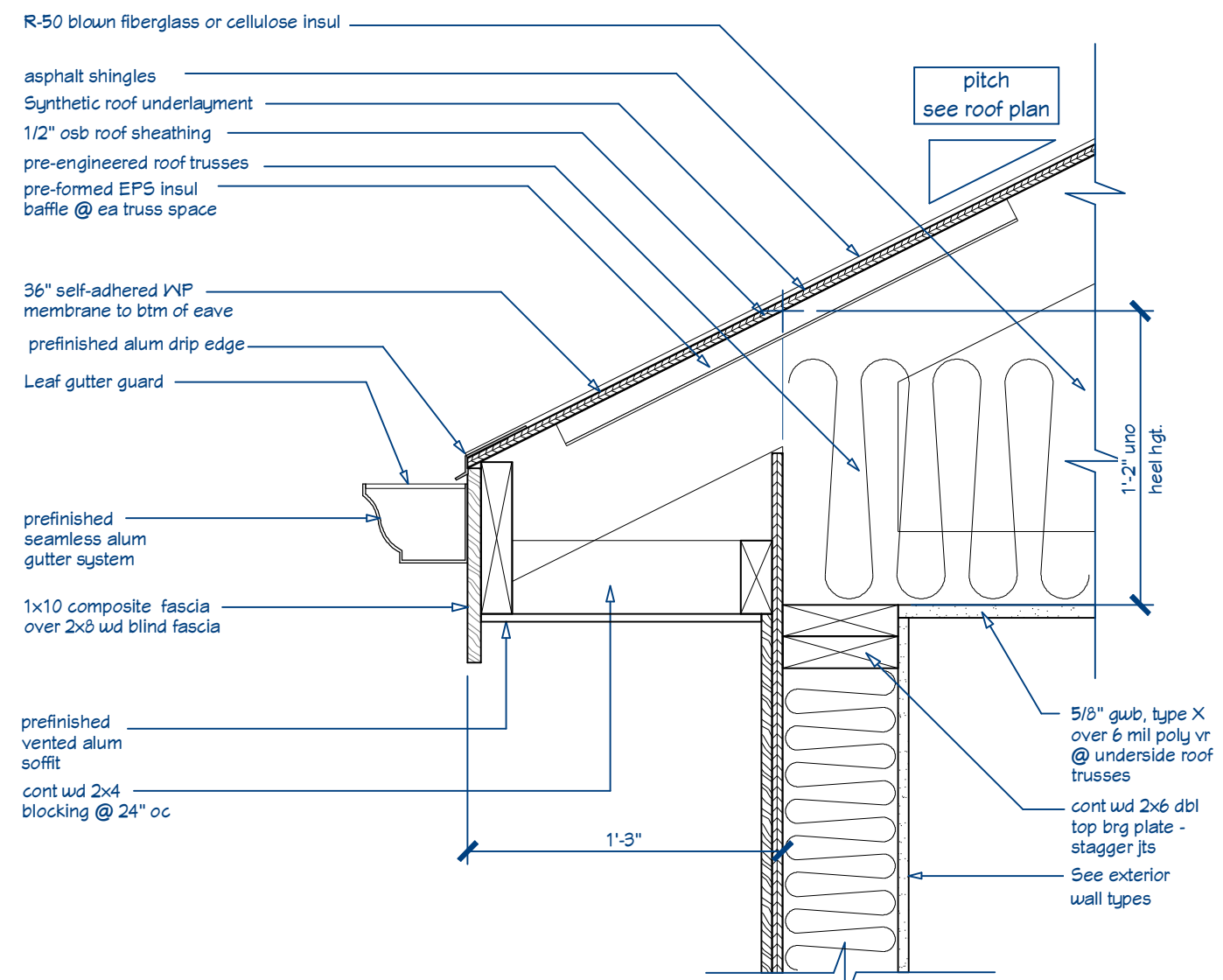
Bouril Design Associates, LLC
514 D'Onofrio Drive, Suite 16
Madison, Wisconsin 53711
608-553-3400 www.bourildesign.com

KNOW Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

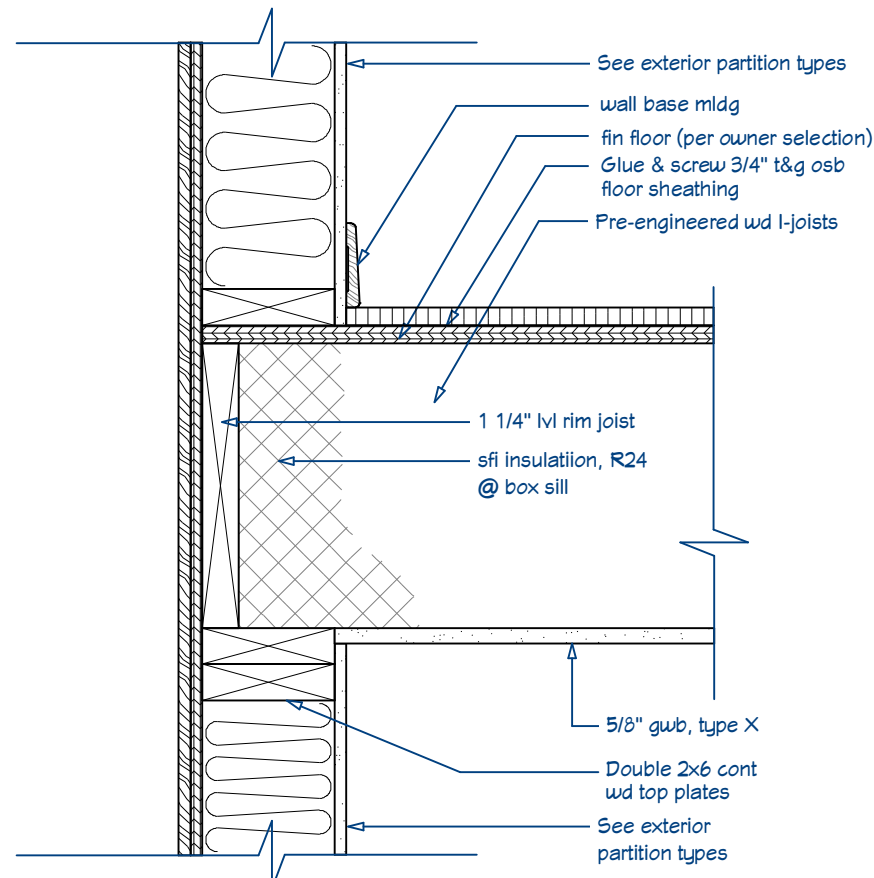
project: 25058
date: 2/5/2026
drawn by: jlm

A4.1



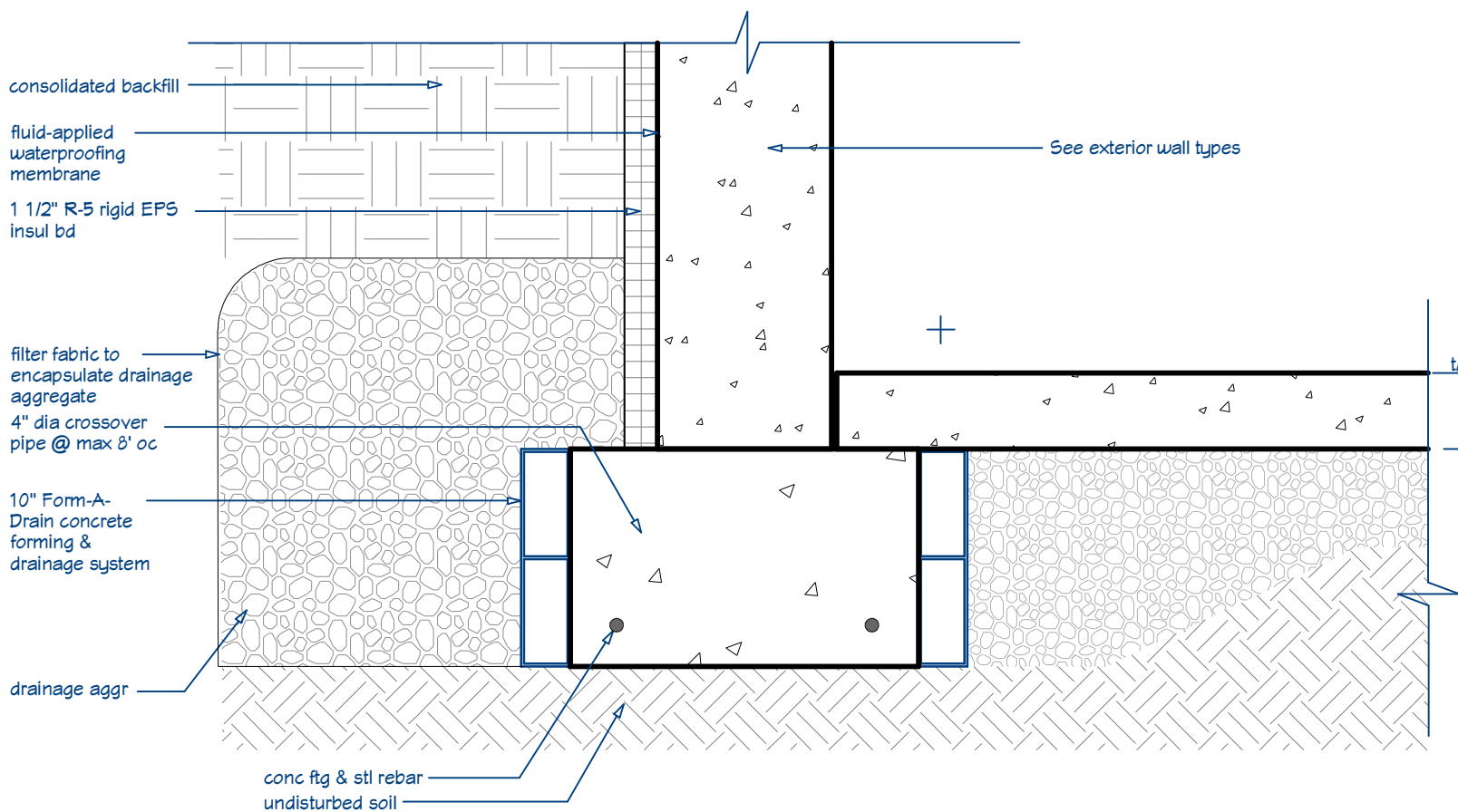
1 6/12 Roof Eave Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



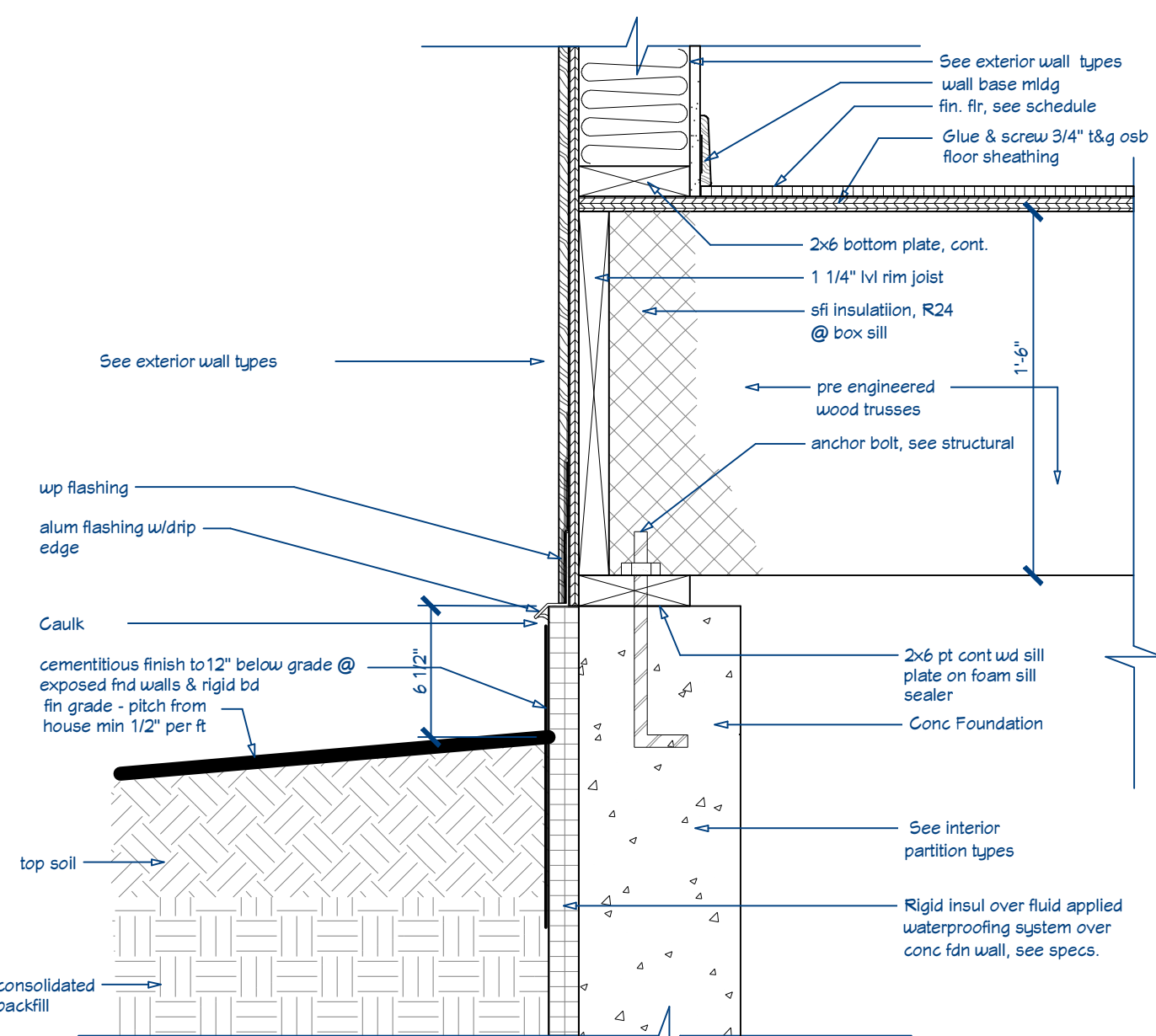
2 t/ Wall/ Floor Intersection Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



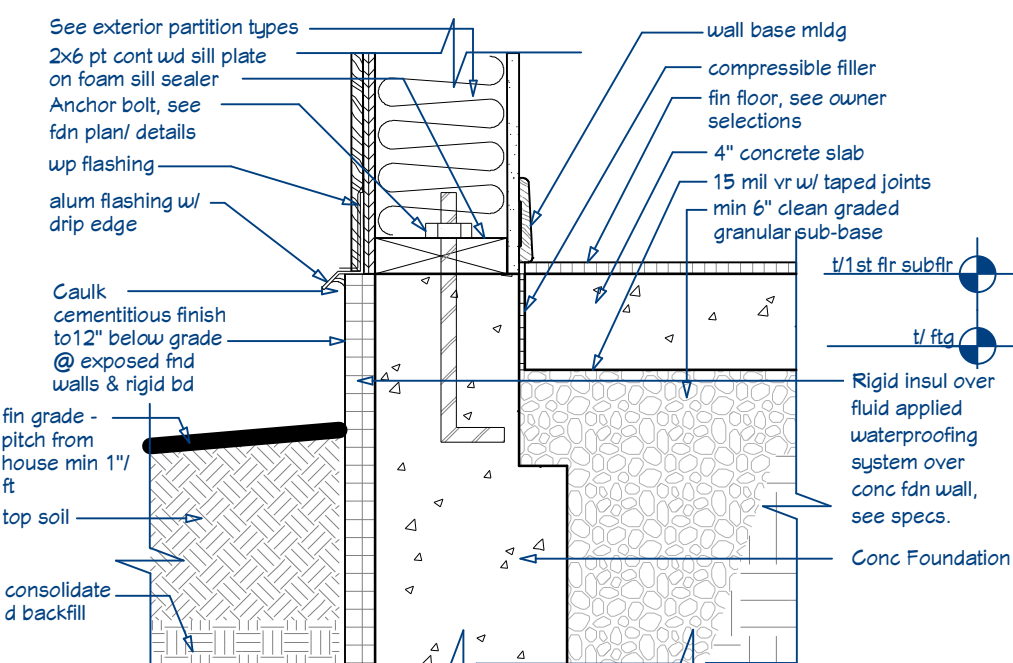
3 t/ Fdn Wall/ slab/ftg Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



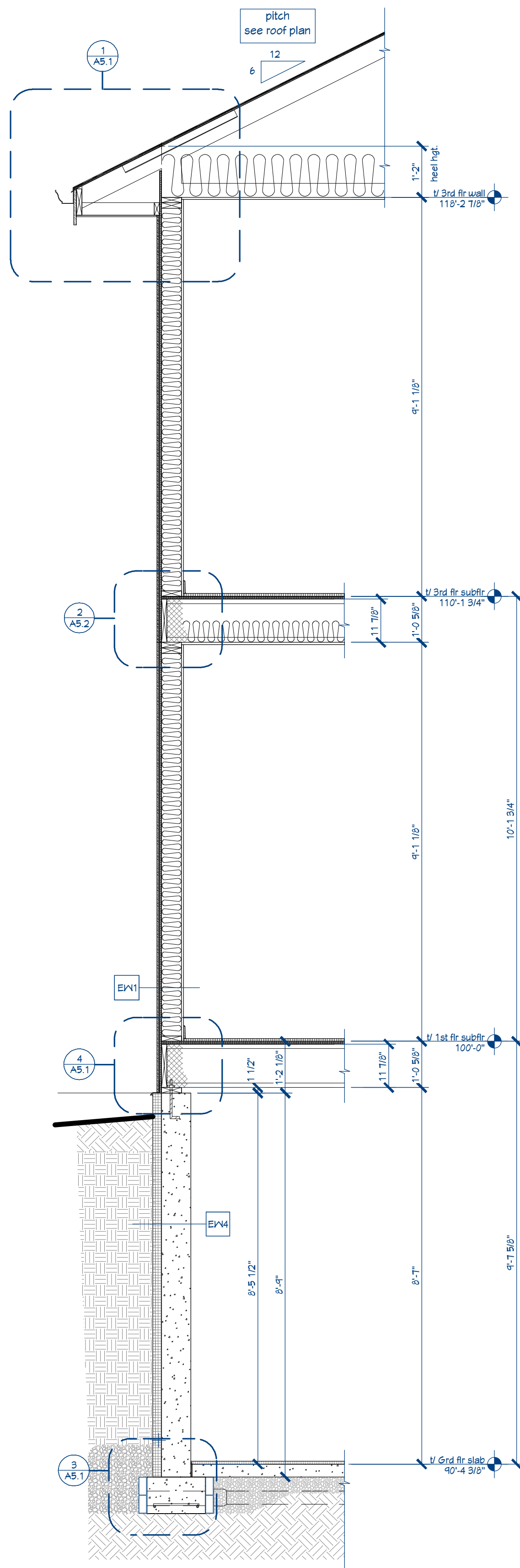
4 t/ Fdn Wall/ stud wall Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



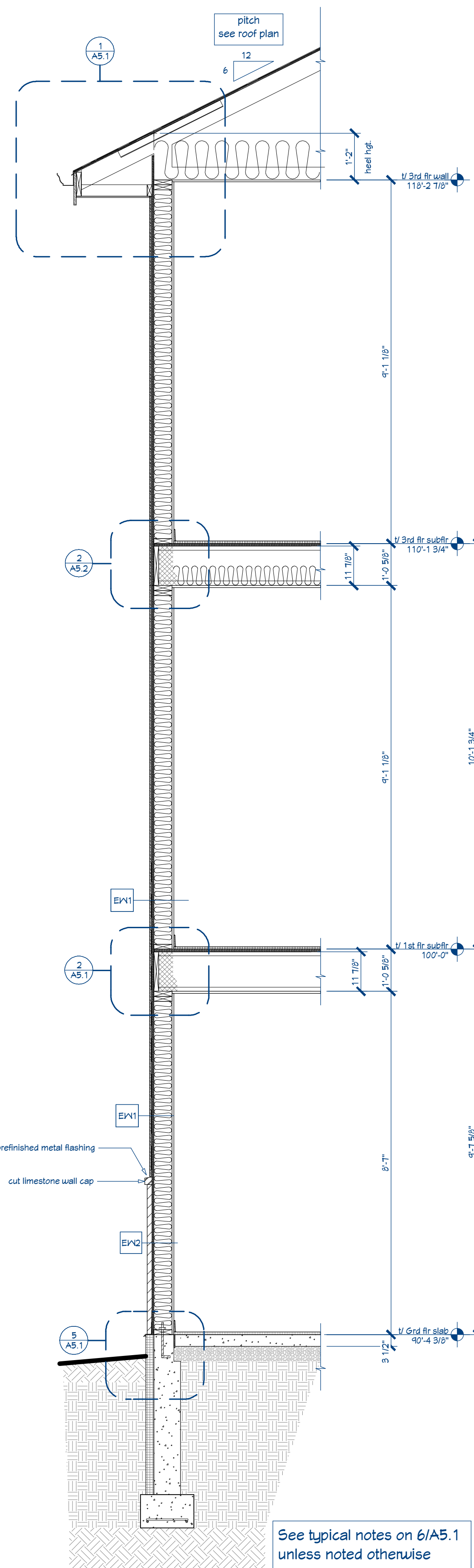
5 t/ grd flr Fdn Wall Detail

SCALE: 1 1/2" = 1'-0"



6 Wall Section

SCALE: 1/2" = 1'-0" (24"x36" - Full size)
1/4" = 1'-0" (12"x18" - Half size)



7 Wall Section

SCALE: 1/2" = 1'-0" (24"x36" - Full size)
1/4" = 1'-0" (12"x18" - Half size)



VANDEWALLE & ASSOCIATES INC.

To: Village of Mount Horeb Plan Commission

From: Village Planner: Ben Rohr, AICP

Date: March 25, 2026

Re: Concept Review - Proposed CSM to Split an Existing Lot into Two New Lots and Site Plan Review for Two 2-Unit Duplexes at 1348 Field Court for Nick Olday.

Project Overview

Nick Olday is proposing to split an existing 28,514 square foot parcel into two lots to accommodate a new residential development on the existing vacant portion of the lot. The CSM would create two new lots:

- Lot 1: 16,150 sf to accommodate the existing 4-unit apartment building, driveway, and parking area
- Lot 2: 12,297 sf to accommodate two new proposed duplex buildings, driveway, and parking area



Following adoption of the new Zoning Ordinance, the existing parcel is now zoned MF-1 Multi-Family Residential. This district permits duplexes, townhomes, and apartments by-right. Additionally, within the new ordinance, multiple principal buildings are permitted on a single lot within the MF-1 zoning district, so long as all Building Code separation requirements are met.

Based on a review of the concept plan (CSM and Site Plan), the majority of the Zoning Ordinance standards are met:

- Lot size, width, and frontage: All met for both Lots 1 and 2
- Building setbacks: All met for both Lots 1 and 2
- Impervious surface and density maximums: All met for both Lots 1 and 2
- Pavement setbacks:
 - Met for Lot 1 (the existing shared driveway crosses the property line and is not proposed to change)
 - Not met for Lot 2:
 - The rear patio pavement along the western property will need to be reduced to meet the 5' minimum side yard setback for pavement.
 - The front driveway/parking area in the southeast corner of the property will need to be reduced to meet the 10' minimum front yard setback for pavement.
- Parking: A total of four 3-bedroom units are proposed, which would require 1.5 on-site parking spaces per unit or 6 total parking spaces. The one-car garages for each unit will accommodate four on-site parking spaces and there looks to be adequate space within the driveway/parking area to accommodate the additional two parking spaces required.
- Building Design: The proposed use of materials (siding, stone veneer, glass, and asphalt shingles) looks to meet the minimum requirements for material types and façade articulation along each façade.
- Trash: There is no trash enclosure shown on the plan set, so it is assumed that each unit will have individual trash bins that are stored within each garage. If that's not the case, then a screened enclosure will be required.
- An Exterior Lighting Plan and Landscaping Plan will be required as part of the formal Site Plan package.

Project Impressions

I believe this project works well within the context of the existing neighborhood and surrounding development patterns. I also think it illustrates how important the new Zoning Ordinance standards are because this project would have otherwise required several flexibilities under a Planned Development within the old code.

With a few minor tweaks to the pavement setbacks and additional details provided regarding the parking layout, trash approach, landscaping, and lighting, I don't see any issues with this project in respect to meeting the standards of the ordinance and reflecting the Village's goals of enabling diverse opportunities for new housing development.

It is anticipated that this project will come before the Plan Commission in April seeking approval of both the CSM and Site Plan.



Lot 30, Field Addition, Located in the SE ¼ of the NE ¼ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

Diagram illustrating the layout of the 150' long rectangular area, divided into 15 segments of 10' each. The segments are numbered 1 to 15 from left to right. Segments 1, 3, 5, 7, 9, 11, 13, and 15 are shaded black. Segments 2, 4, 6, 8, 10, 12, 14, and 15 are white.

SEE SHEET 3
FOR ALL NOTES.

KNOWN PRIME PROPERTIES LLC
1138 CTY HWY JG
MT HOREB, WI 53572

SITE ADDRESS:
1348-1354 FIELD CT
MT HOREB, WI 53572

W.C.C.S. - DANE ZONE
BEARINGS ARE REFERENCED TO THE
EAST/WEST LINE OF SECTION 12
LINE TO BEAR N 89°38'26" W



3824.53

TOTAL SECTION LINE =
N 89°38'26" W 5332.19

EAST ¼ CORNER
FOUND 1¼" REBAR
ALL TIES VERIFIED PER
TIE SHEET ON RECORD.

○ = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
● = FOUND 3/4" REBAR
■ = FOUND 1" PIPE (UNLESS NOTED)
△ = SET MAGNETIC SURVEY SPIKE
⊕ = FOUND SECTION CORNER
> = RECORDED AS

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

Sheet 1 of 3

SURVEYORS SEAL

REVISION: 10-23-2025) 25W-148



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Lot 30, Field Addition, Located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

SURVEYOR'S CERTIFICATE

I, Chris W. Adams, Professional Land Surveyor hereby certify that this survey is correct to the best of the professional surveyor's knowledge and belief and is in full compliance with the provisions of Chapter A-E 7 and Chapter 236.34 Wisconsin Statutes, the subdivision regulations of the Village of Mt Horeb, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being Lot 30, Field Addition, Located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 12, T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

Williamson Surveying and Associates, LLC
by Chris W. Adams

Date _____

Chris W. Adams S-2748

Professional Land Surveyor

OWNERS' CERTIFICATE:

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. I also certify that this certified survey map is required to be submitted to the Village of Mt Horeb for approval.

WITNESS the hand seal of said owners this _____ day of _____, 20____.

Known Prime Properties LLC

Nick Olday

STATE OF WISCONSIN)
DANE COUNTY)

Personally came before me this _____ day of _____, 20____ the above named Nick Olday to me known to be the person who executed the foregoing instrument and acknowledge the same.

_____ County, Wisconsin.

My commission expires _____

Notary Public

Print Name

Sheet 2 of 3

SURVEYORS SEAL

25W-148



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Lot 30, Field Addition, Located in the SE ¼ of the NE ¼ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

VILLAGE OF MT HOREB APPROVAL

Resolved that this certified survey map is hereby acknowledged and approved by the Village of Mt Horeb on this ____ day of _____, 20__.

Village Clerk

REGISTER OF DEEDS:

Received for recording this ____ day of _____, 20__ at ____ o'clock ____.M. and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski
Register of Deeds

SURVEYORS SEAL

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

Sheet 3 of 3

25W-148

[illegible]

material key

These patterns may be used in plan or section to indicate material types. The same pattern may be used for different materials. These material identifications must be made within the context of the drawing. If there is a discrepancy between a text description of a material and a pattern as described in this key, the text description will prevail.



brick



concrete



grout or mortar



concrete masonry units



natural or manufactured stone veneer



stone aggregate or granular fill



compacted or engineered fill



earth



sand or fine stone aggregate



wood, trim, siding or fiber composites



nominal lumber (board, stud or timber)



wood blocking (cut, planed or trimmed)



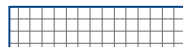
metal



rigid insulation board



spray foam insulation



blanket/batt/bloose fill insulation



plywood or osb sub-floor, roof deck & sheathing

symbol key

Reference marks, symbols & drafting conventions are used throughout the documents.

detail reference



detail number
sheet number

section reference



section number
sheet number

exterior elevation reference



elevation number
sheet number

interior elevation reference



elevation number
sheet number

structural grid line



grid line coordinate

match line



key note reference



note number

exterior wall type reference



exterior wall type, see schedule

interior wall partition reference



interior partition type see schedule

level line datum



reference level
reference elevation

point datum



reference point
reference elevation

door identification



schedule number
width x height (ft & inches)
2860 = 2'-0" wide x 6'-0" high

window identification



schedule number
width x height (ft & inches)
3360 = 3'-0" wide x 6'-0" high

elevation datum reference



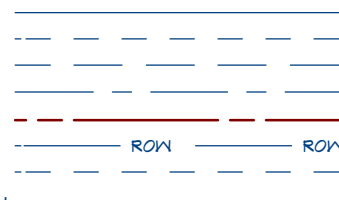
blue line = 90'-6" reference & elevation

room reference

kitchen
121

room name
room number

construction line



hidden construction line



overhead construction line



center line



property or boundary line



right-of-way center line



setback or build-to line



easement or other boundary



electric line



telephone line



cable line



natural gas line



sanitary sewer line



storm sewer line



physical barrier fence line



existing grade contour



new grade contour



hinged door



sliding door



pocket door



bifold door



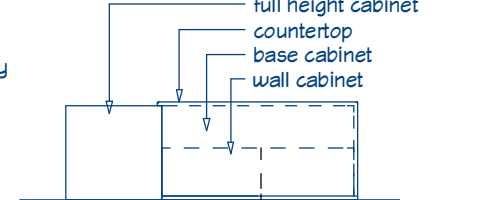
casied opening



window



cabinetry



Known Prime Properties LLC

for

Two duplexes (4 units)

Drawing Index

- T1.1 Title Page
- SW1.1 Site plan - Concept 3
- S1.1 Footing & Foundation Plan
- S1.2 Foundation Details
- A2.1 Ground Floor Plan
- A2.2 First Floor Plan
- A2.3 Second Floor Plan
- A2.4 Roof Plan
- A3.1 Exterior Elevations
- A3.2 Exterior Elevations
- A4.1 Building Sections, wall and partition schedules
- A5.1 Wall Sections

Project Summary

governing building code
Wisconsin Uniform Dwelling Code

governing jurisdiction, setbacks & restrictions
City, of Mount Horeb
Zoning District: MSB
Maximum Height: N/A
Street (Front) Yard: - 20 feet
Side Yards: - 8 feet
Rear Yard: - 20 feet
Lot area = 12,397 sq ft
Max. impervious surface = 90%

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**Preliminary
Budget Set
Not for Construction**

Bouril Design Associates, LLC

579 D'Onofrio Drive, Suite 16
Madison, Wisconsin 53719
608-833-3400 www.bourlides.com

Two duplexes (4 units)

[illegible]

project: 25058
date: 2/5/2026
drawn by: jlm

T1.1

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1

Site plan - Concept 3B

SCALE: 1" = 10'-0" (22"x34" - Full size)
1" = 20'-0" (11"x17" - Half size)



General Notes - Site Plan

- See other title sheets for specifications, Material identification, symbol legend, and abbreviations.
- Contractor to field verify conditions and locations of existing utilities prior to start of construction. Notify architect and owner of all relevant discrepancies that would affect and impact the design & construction of new structures.
- New or relocated utilities not shown. Coordinate with MEP contractors.
- Data and electrical lines for adjacent 4 unit to be relocated outside of new building perimeter. See MEP contractor drawings.
- Provide erosion control devices and fences around perimeter of the construction site downhill from excavations and earthmoving. Erosion control devices shall comply with all applicable regulations of the city, county, and state. Field verify and maintain positive drainage from structures. see site plan for proposed locations.
- Grades shown are preliminary, iv existing grades. Verify and coordinate grades with wall & building sections.
- Survey information shown has been obtained from Williamson Surveying and Associates, 104 A West Main Street, Kaukaune, Wisconsin 53547 (phone: 608-255-5705). Field verify all information.
- Maximum driveway slope 1:10.
- Trees if shown are approximate, field verify.
- Housel garage floor elevations shown on site plan are only tied to elevations on the site plan and do not correspond to floor elevations on the architectural drawing. Compare first floor elevation shown on site plan with ground floor and first floor elevation on architectural drawings. Contact architect if in question.

Key Notes - site plan

#	Text
1	condensing unit and pad
2	Concrete apron to street to conform to City of Mount Horeb standards
3	concrete patio slab, slope min 1/8" per ft
4	subsurface drainage system outlet (outflow), coordinate with grades.
5	subsurface drainage system (sized by pc)
6	Yard drain to subsurface drainage system
7	Asphalt driveway over compacted granular fill
8	Asphalt driveway parking stall over compacted granular fill
9	concrete stoop
10	6'-0" high privacy fence as selected by owner
11	conc entry stoop

KNOW Prime Properties LLC

Two duplexes (4 units)

Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

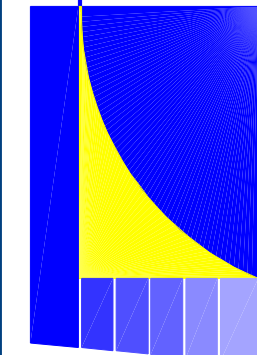
revision index		
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project: 25058
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drawn by: jlm

SW1.1

Bouril Design Associates, LLC

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Budget Set
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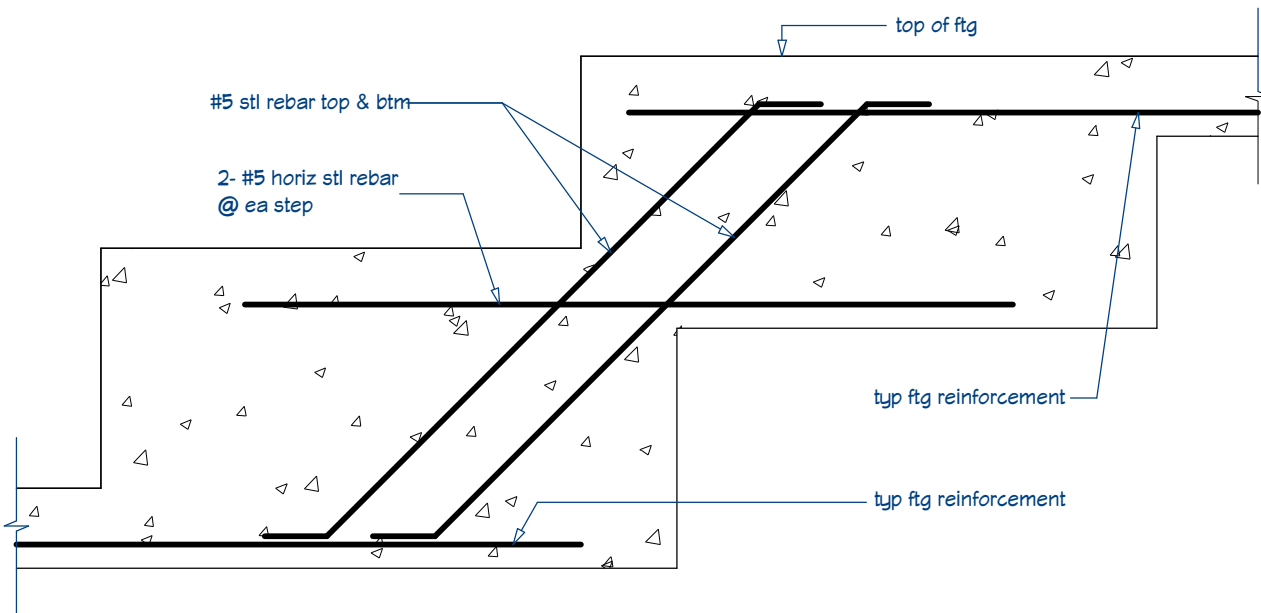
C:\Users\jdh\OneDrive - Bouril Design Studio LLC\OneDrive\25055 Olds\5 Technical\25055-Olds - Duplexes - Concept 5 layout 250226 - 6/13/24.dwg



other vert reinf is not shown for clarity
extend horiz wall reinf w/std 90 deg hook in lieu of additional corner reinf
no vert construction joints within 4' of wall corners

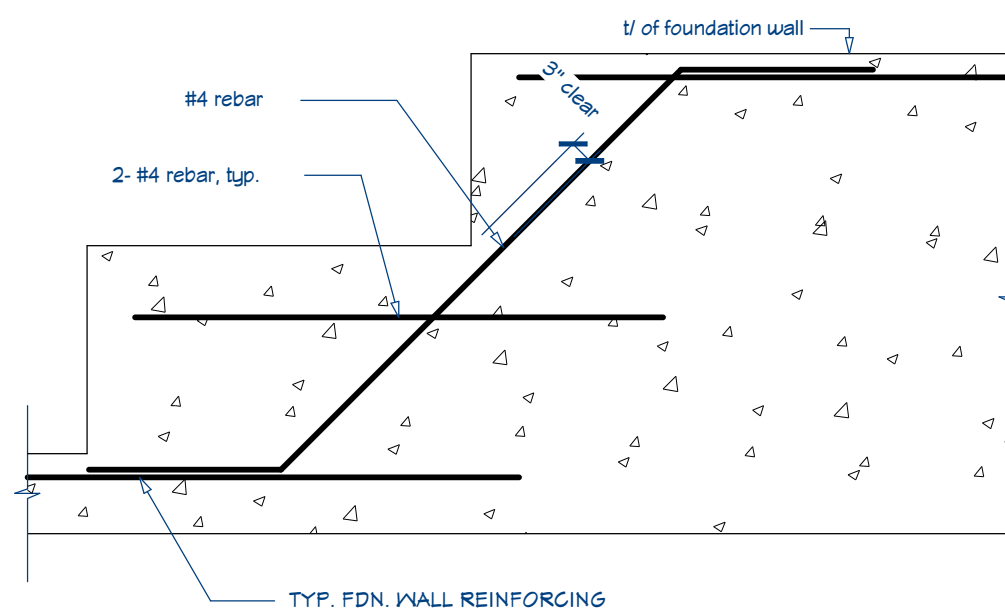
A **fdn corner details**

SCALE: 1/2" = 1'-0" (22"x36" - Full size)
1/4" = 1'-0" (11"x17" - Half size)



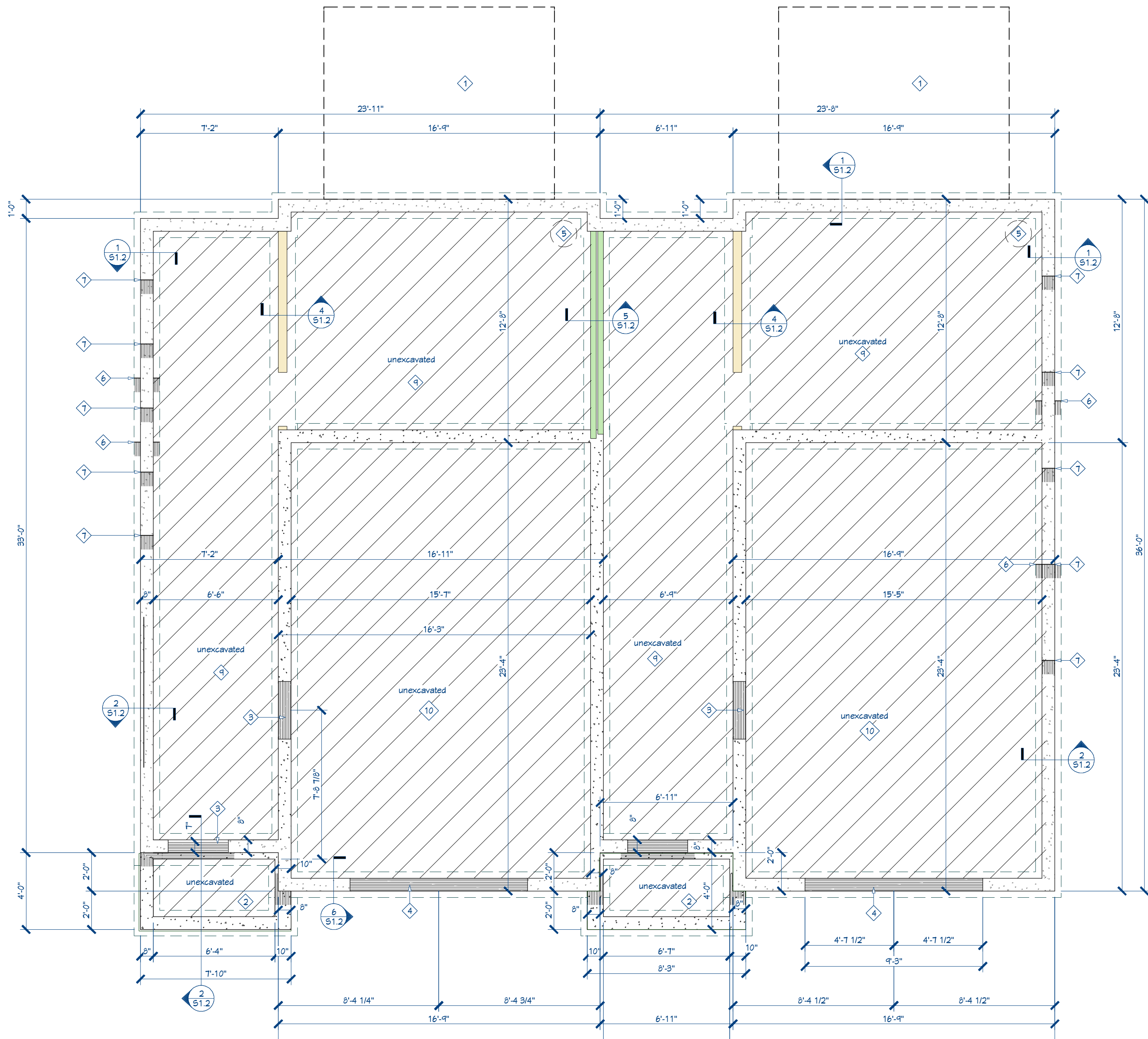
B **fdn wall step detail**

SCALE: 1/2" = 1'-0" (22"x36" - Full size)
1/4" = 1'-0" (11"x17" - Half size)



C **Foundation Step footing detail**

SCALE: 1/2" = 1'-0" (22"x36" - Full size)
1/4" = 1'-0" (11"x17" - Half size)



1 **Footing & Foundation Plan**

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

Key Notes - Foundation Plan	
#	Text
1	4" thk. conc patio; slope 1/8" min. per ft for drainage
2	5" thk reinforced porch conc slab w/ thickened edge, see details
3	Over-pour interior slab at foundation wall cut-out.
4	Over-pour interior slab at foundation wall cut-out.
5	1/2" wall to drop 5" below conc garage slab
6	Proposed location of block-out for sump crotch.
7	Step in footing
8	Step in foundation wall
9	new 3 1/2" thk conc slab
10	new 4" conc garage slab

DIVISION 03 - Concrete

- Dimensions are to face of concrete, face of load-bearing masonry, or the centerline of a framing member column, & beams, etc.
- Footings and foundations are designed assuming a minimum soil-bearing capacity of 2000 psf and a weight of 150 pcf. Pier footings to be min 12" deep. Spread footings to be min 10" deep.
- Foundations shall be placed on natural undisturbed non-organic mineral soils or engineered compacted fill. If necessary, extend depth & height of foundation walls as required to reach proper soil conditions. Contact geotechnical engineers for soils testing & recommendations when in doubt
- All concrete shall conform to the concrete design mix schedule.
- Bottom of footings to be a minimum of 4' below finished grade. Adjust depth if required.
- Refer to the building sections for locations of below-grade foundation and slab insulation, barrier membranes, engineered fill, etc.
- Slope concrete floors to floor & trench drains at a slope between 1/8" per foot & 1/4" per foot. At garages, slope floor to garage door when no floor drains are indicated.
- Provide beam pockets in width, depth & location as required for beam bearing. See Framing Plans for reference.
- All site-cast concrete including footings, pads, walls, & slabs shall be formed. All forms shall be plumb, true, level & braced to prevent deformation or dislocation during construction. Proprietary integral form & subsurface drainage systems are acceptable.
- All reinforcement steel shall be positioned and secured in place with bar supports and wire ties to ensure minimum concrete cover is maintained prior to and during pours.
- Interior slabs to be placed on 10 mil VR.
- Foundation to sill plate Anchor Bolts: ASTM A307 or better at 12" OC maximum and within 18" of wall corners with a minimum embedment of 7" into the foundation wall. Unless noted otherwise on shear wall schedules, see framing plans.
- Reinforcing Steel: ASTM A615 Grade 60. Wire bar supports shall be Class 1 or Class 2 where concrete is exposed to view; Class 3 is acceptable in all other areas. Tie wire shall be 16-1/2 gauge or heavier, black annealed.
- Drawings show approximate location & height of foundation wall steps. Prior to forming walls, coordinate wall steps in relation to finish grades & retaining walls with GC & landscape contractor.
- All interior concrete mixes for horizontal slab applications shall receive a synthetic fiber reinforcement (Propex Fibermesh 150, Grace Microfiber, or equivalent) at a quantity as recommended by manufacturer.
- Exterior slabs, walkways, driveways & aprons, shall receive 6x6 W1.4/ W1.4 WNF equidistant between the top & bottom faces of slab.
- Concrete slab control joints shall be formed with preformed plastic inserts. Placement of control joints shall not exceed 8' for 4" thick slabs & 12' for 6" thick slabs. Walkway contraction joints shall be spaced to create squares. Isolation joints shall be formed with a closed-cell neoprene joint filler recessed 3/4" from the slab surface & sealed with a grey polyurethane sealant. Slab edges & joints shall receive a 1/8" bullnose radius.
- Exterior walks shall receive textured surface with troweled picture-frame edges.
- Driveways & aprons to be 4,000 psi concrete mix & all other concrete shall be 3,000 psi concrete mix.

DIVISION 03 - Concrete

Concrete Design Mix Schedule

*Concrete compressive strength (F_c) shall be measured at 28 days.

Type	F _c (min)	Slump	Aggregate	Cement	Cement (min)	Notes
driveways & aprons	4000 psi	4 inches	3/4 inch	type 1A, air 6%	611 lbs / cu yd	1, 2, 3
exterior slabs, steps & walkways	3000 psi	5 inches	3/4 inch	type 1A, air 6%	517 lbs / cu yd	1, 2, 3
foundation walls & footings	3000 psi	5 inches	3/4 inch	type 1A, air 6%	517 lbs / cu yd	1, 2, 3
interior slabs & steps	3000 psi	5 inches	3/4 inch	type 1A	517 lbs / cu yd	1, 3

- All concrete mixes for horizontal slab applications shall receive a low-denier synthetic fiber reinforcement (Propex Fibermesh 150, Grace Microfiber, or equivalent) dosed at 1.0 lbs /cu yd.
- Exterior slabs, walkways, driveways and aprons, shall receive 6x6 W1.4/ W1.4 WNF equidistant between the top and bottom faces of the slab.

General Notes - Foundation Plan

- See specs if provided
- All concrete shall conform to the concrete design mix schedule. All load-bearing masonry shall be standard weight.
- See typical foundation details for steps in wall, footings and wall corners.
- All dimensions reference the face of concrete, face of load-bearing masonry, or the centerline of a framing member column, beam, joist, etc.
- Footings and foundations are designed assuming a minimum soil-bearing capacity of 2000 psf and a weight of 150 pcf.
- All site-cast concrete including footings, pads, walls, & slabs shall be formed. All forms shall be plumb, true, level & braced to prevent deformation or dislocation during construction.
- Provide beam pockets in width, depth & location as required for beam bearing. See Framing Plans for reference.
- All wall horizontal reinforcement shall be laid equidistant between the inner and outer faces of the wall.
- Foundation to sill plate Anchor Bolts: ASTM A307 or better at 12" OC maximum and within 18" of wall corners with a minimum embedment of 7" into the foundation wall, uno on shear wall schedule.
- Provide sill Sealer 1/4" thick corrugated polyethylene foam gasket below exterior wall 2x wd base plates
- Refer to the building sections for locations of below-grade foundation and slab insulation, barrier membranes, engineered fill, etc.
- All reinforcement steel shall be positioned and secured in place with bar supports and wire ties to ensure minimum concrete cover is maintained prior to and during pours. Reinforcing Steel: ASTM A615 Grade 60. Wire bar supports shall be Class 1 or Class 2 where concrete is exposed to view; Class 3 is acceptable in all other areas. Tie wire shall be 16-1/2 gauge or heavier, black annealed.
- Provide bleeders through footings for drain tile @ 8'-0" oc max.
- Form-A-Drain concrete forming & drainage system. See wall sections for subsurface drainage system notes.
- Interior slabs/ garage slabs shall be placed on 10 mil VR, uno.
- At continuous strip footing beneath a load-bearing wall. Continuous reinforcement shall be laid horizontally. Dowels are to tie the footing to the foundation wall and will be laid vertically with an embedment of 6" (min) into the footing and 18" (min) into the foundation wall; the bend shall be a 90-degree hook with a 3" bent leg length.

Bouril Design Associates, LLC
514 D'Onofrio Drive, Suite 16
Madison, Wisconsin 53719
608-553-3400 www.bourildesign.com

KNown Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

S1.1

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**Preliminary
Budget Set
Not for Construction**

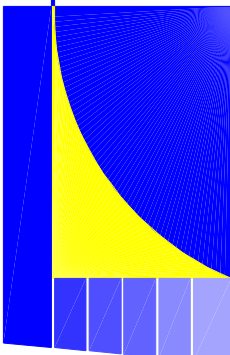
General Notes - Ground Floor Plan	
1.	See title sheet T1 for abbreviations, and symbols.
2.	See other title sheets for specifications if provided.
3.	See wall sections / plans for exterior wall types.
4.	All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
5.	All materials to be installed per manufacturers current printed instructions
6.	All wood in contact with concrete to be pressure treated
7.	Gypsum ceiling to be 5/8" type "X" 48" x 96". All columns and

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**Preliminary
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Bouril Design Associates, LLC

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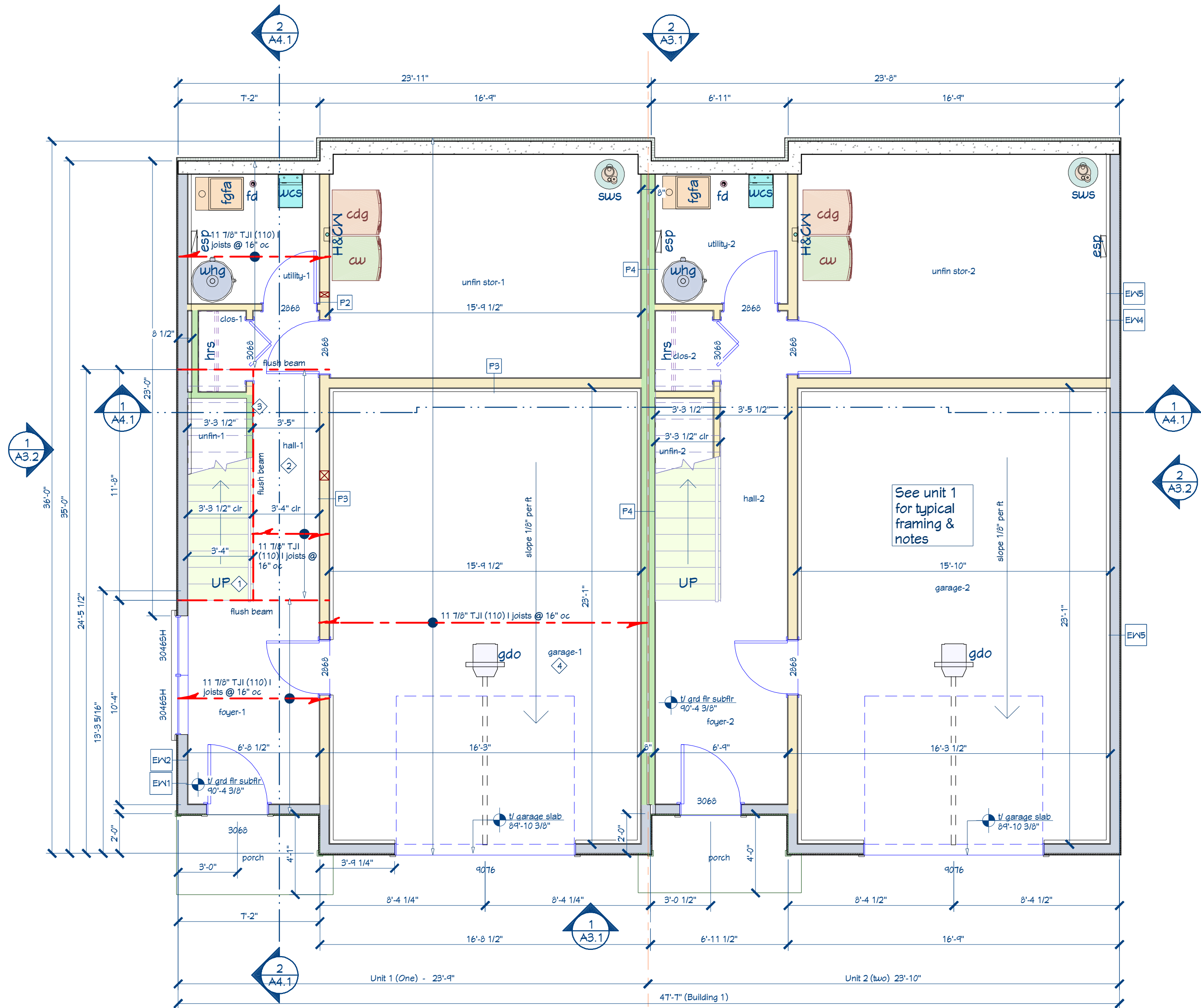


KNOWN Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin,

[illegible]

project: 25058
date: 2/5/2026
drawn by: jlm

A2.1



Ground Floor Plan

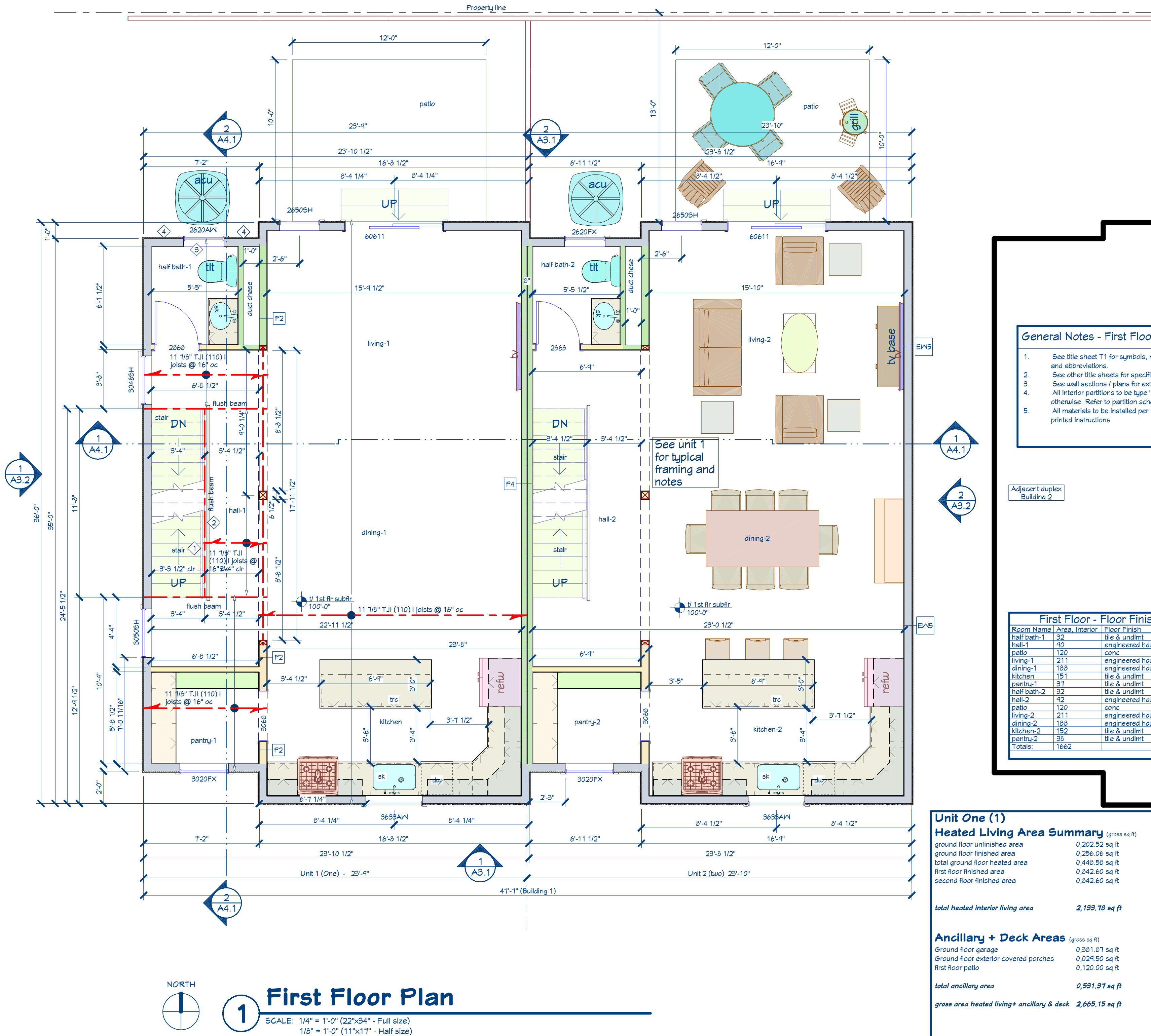
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

General Notes - Ground Floor Plan	
1.	See title sheet T1 for abbreviations, and symbols.
2.	See other title sheets for specifications if provided.
3.	See wall sections / plans for exterior wall types.
4.	Interior partitions to be type 'X' unless noted otherwise. Refer to partition schedule
5.	All materials to be installed per manufacturers current printed instructions
6.	All in contact with concrete to be pressure treated
7.	Garage ceiling to be 5/8" gyp, type "X". All columns and beams supporting roof or second floor structure to be furmed out and wrapped with 5/8" gyp, type "X".
8.	Provide control joints in concrete slabs per ACI Standards
10.	All doors and frames between house and garage to be 20 minute fire rated.

#	Text
①	34" high stair rail above stair nosing w/ newel posts @ 45° oc and ballusters @ 5° oc, coordinate type w/ owner
②	dropped duct chase, see building sections
③	wall extend to underside of stairs
④	Garage ceiling to be 5/8" type x gub over 1 1/2" rigid insulation. 2nd floor joists above garage to have R36 Batt Insul

Ground Floor - Floor Finish Schedule			
Room Name	Floor Finish	Area, Interior	Dimensions
foyer-1	tile	40	6'-7"x10'-1"
hall-1	engineered hduod	75	3'-4"x14'-4"
clo-1	engineered hduod	20	1'-0"x14'-0"
unfin-1	conc	29	2'-1"x11'-11"
unfin-stor-1	conc	177	15'-9"x11'-3"
utility-1	conc	42	6'-6"x6'-6"
garage-1	conc	353	18'-5"x22'-5"
clo-2	tile	11	6'-0"x10'-7"
hall-2	engineered hduod	45	3'-4"x14'-4"
clo-2	engineered hduod	12	2'-1"x14'-4"
unfin-2	conc	24	2'-1"x11'-1"
unfin-stor-2	conc	176	15'-9"x11'-3"
utility-2	conc	44	6'-6"x6'-6"
garage-2	conc	349	15'-5"x22'-5"
Totals:		1450	

Unit One (1)	
Heated Living Area Summary (gross sq ft)	
ground floor unfinished area	0.202 52 sq ft
ground floor finished area	0.256 04 sq ft
total ground floor heated area	0.445 56 sq ft
first floor finished area	0.642 60 sq ft
second floor finished area	0.642 60 sq ft
total heated interior living area	2,132.70 sq ft
Ancillary & Deck Areas (gross sq ft)	
Ground floor garage	0.381 01 sq ft
Ground floor exterior covered porches	0.021 50 sq ft
first floor patio	1.120 00 sq ft
total ancillary area	1,531.31 sq ft
gross area heated living ancillary & deck	2,665.15 sq ft



1 First Floor Plan
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

General Notes - First Floor Plan

1. See title sheet T1 for symbols, material identification and abbreviations.
2. See other title sheets for specifications if provided.
3. See wall sections / plans for exterior wall types.
4. All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
5. All materials to be installed per manufacturers current printed instructions.

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Bouril Design Associates, LLC

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KNOWN Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

A2.2

General Notes - First Floor Plan

1. See title sheet T1 for symbols, material identification and abbreviations.
2. See other title sheets for specifications if provided.
3. See wall sections / plans for exterior wall types.
4. All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
5. All materials to be installed per manufacturers current printed instructions.

Key Notes - first floor plan

#	Text
1	34" high stair rail above stair nosing w/ newel posts @ 48" oc and ballusters @ 5" oc, coordinate type w/ owner
2	36" high aff guard rail w/ newel posts @ 48" oc and ballusters @ 5" oc, coordinate type w/ owner
3	header to be 11 1/4" high for portal frame
4	portal frame wall

First Floor - Floor Finish Schedule			
Room Name	Area, Interior	Floor Finish	Dimensions
hall bath-1	52	tile & undmt	5'-2"x6'
hall-1	40	engineered hduad	6'-7"x4'-4"
patio	120	conc.	12'x10'
living-1	211	engineered hduad	15'-4"x13'-5"
dining-1	108	engineered hduad	15'-3"x11'-11"
kitchen	151	tile & undmt	15'-8"x9'-8"
pantry-1	37	tile & undmt	6'-3"x5'-7"
hall bath-2	52	tile & undmt	5'-2"x6'
hall-2	42	engineered hduad	6'-3"x4'-4"
patio	120	conc.	12'x10'
living-2	211	engineered hduad	15'-4"x13'-5"
dining-2	108	engineered hduad	15'-4"x11'-11"
kitchen-2	152	tile & undmt	15'-4"x9'-8"
pantry-2	39	tile & undmt	6'-3"x5'-7"
Totals:	1662		

Unit One (1)

Heated Living Area Summary (gross sq ft)

ground floor unfinished area	0,202.52 sq ft
ground floor finished area	0,256.06 sq ft
total ground floor heated area	0,448.58 sq ft
first floor finished area	0,842.60 sq ft
second floor finished area	0,842.60 sq ft

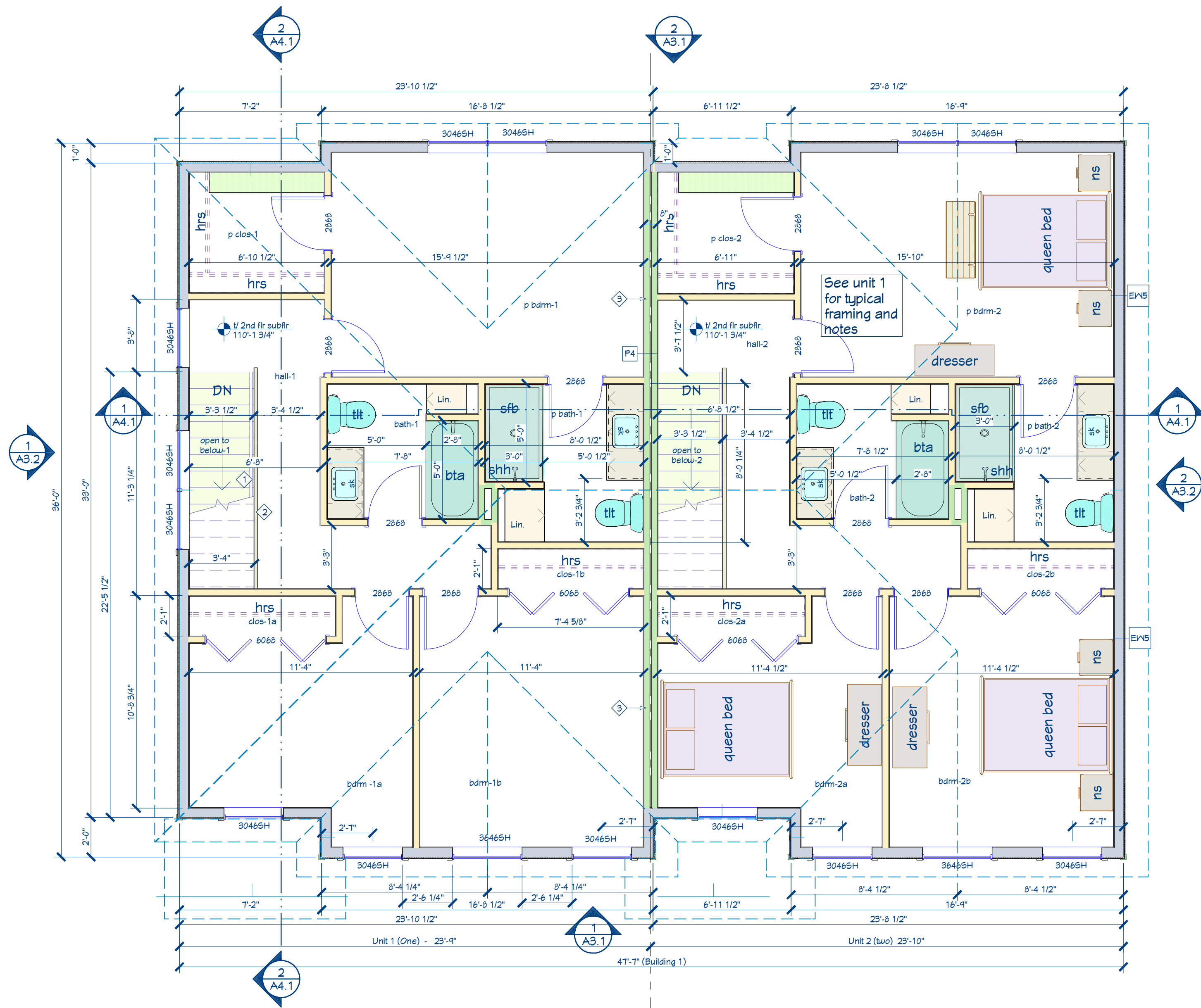
total heated interior living area 2,133.78 sq ft

Ancillary + Deck Areas (gross sq ft)

Ground floor garage	0,381.87 sq ft
Ground floor exterior covered porches	0,024.50 sq ft
first floor patio	0,120.00 sq ft

total ancillary area 0,531.37 sq ft

gross area heated living+ ancillary & deck 2,665.15 sq ft



1

Second Floor Plan

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

General Notes - Second Floor Plan

- See title sheet T1 for abbreviations, and symbols.
- See other title sheets for specifications if provided.
- See wall sections / plans for exterior wall types.
- All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
- All materials to be installed per manufacturers current printed instructions.

Key Notes - Second Floor plan

- | # | Text |
|---|--|
| 1 | 34" high stair rail above stair nosing w/ newel posts @ 48" oc and ballusters @ 5" oc, coordinate type w/ owner |
| 2 | 36" high aff guard rail w/ newel posts @ 48" oc and ballusters @ 5" oc, coordinate type w/ owner |
| 3 | Draftstopping in attic: Above and in line the unit separation wall provide truss with 1/2" gap on one side from ceiling to underside of roof deck. |

Second Floor - Floor Finish Schedule

Room Name	Area, Interior (sq ft)	Floor Finish	Dimensions
open to below-1	36		3'-3"x10'-11"
hall-1	88	engineered hduhd	6'-4"x14'-7"
p bdrm-1	117	cpt & pad	15'-4"x11'-3"
p bath-1	60	tile & undlmt	7'-11"x7'-11"
p clos-1	41	cpt & pad	6'-4"x6'
bath-1	50	tile & undlmt	7'-7"x6'-4"
bdrm-1a	110	cpt & pad	11'-3"x9'-3"
clos-1a	15	cpt & pad	7'-4"x2'
bdrm-1b	142	cpt & pad	11'-3"x12'-8"
clos-1b	15	cpt & pad	7'-4"x2'
open to below-2	36		3'-3"x10'-11"
hall-2	84	engineered hduhd	6'-10"x14'-6"
p bdrm-2	118	cpt & pad	15'-4"x11'-3"
p bath-2	60	tile & undlmt	7'-11"x7'-11"
p clos-2	42	cpt & pad	6'-10"x6'-11"
bath-2	51	tile & undlmt	7'-6"x6'-4"
bdrm-2a	110	cpt & pad	11'-4"x9'-3"
clos-2a	15	cpt & pad	7'-5"x2'
bdrm-2b	143	cpt & pad	11'-3"x12'-8"
clos-2b	15	cpt & pad	7'-4"x2'
Totals:	1473		

Unit One (1)

Heated Living Area Summary (gross sq ft)

ground floor unfinished area	0.202.52 sq ft
ground floor finished area	0.256.06 sq ft
total ground floor heated area	0.448.58 sq ft
first floor finished area	0.842.60 sq ft
second floor finished area	0.842.60 sq ft

total heated interior living area 2,133.78 sq ft

Ancillary + Deck Areas (gross sq ft)

Ground floor garage	0.381.87 sq ft
Ground floor exterior covered porches	0.024.50 sq ft
first floor patio	0.120.00 sq ft

total ancillary area 0.531.37 sq ft

gross area heated living+ ancillary + deck 2,665.15 sq ft

KNown Prime Properties LLC

Two duplexes (4 units)

Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index

#	date	reference

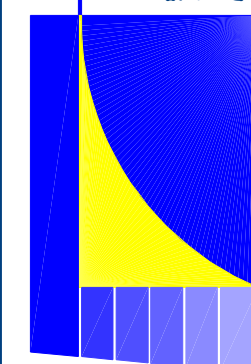
project: 25058
date: 2/5/2026
drawn by: jlm

A2.3

Preliminary
Budget Set
Not for Construction

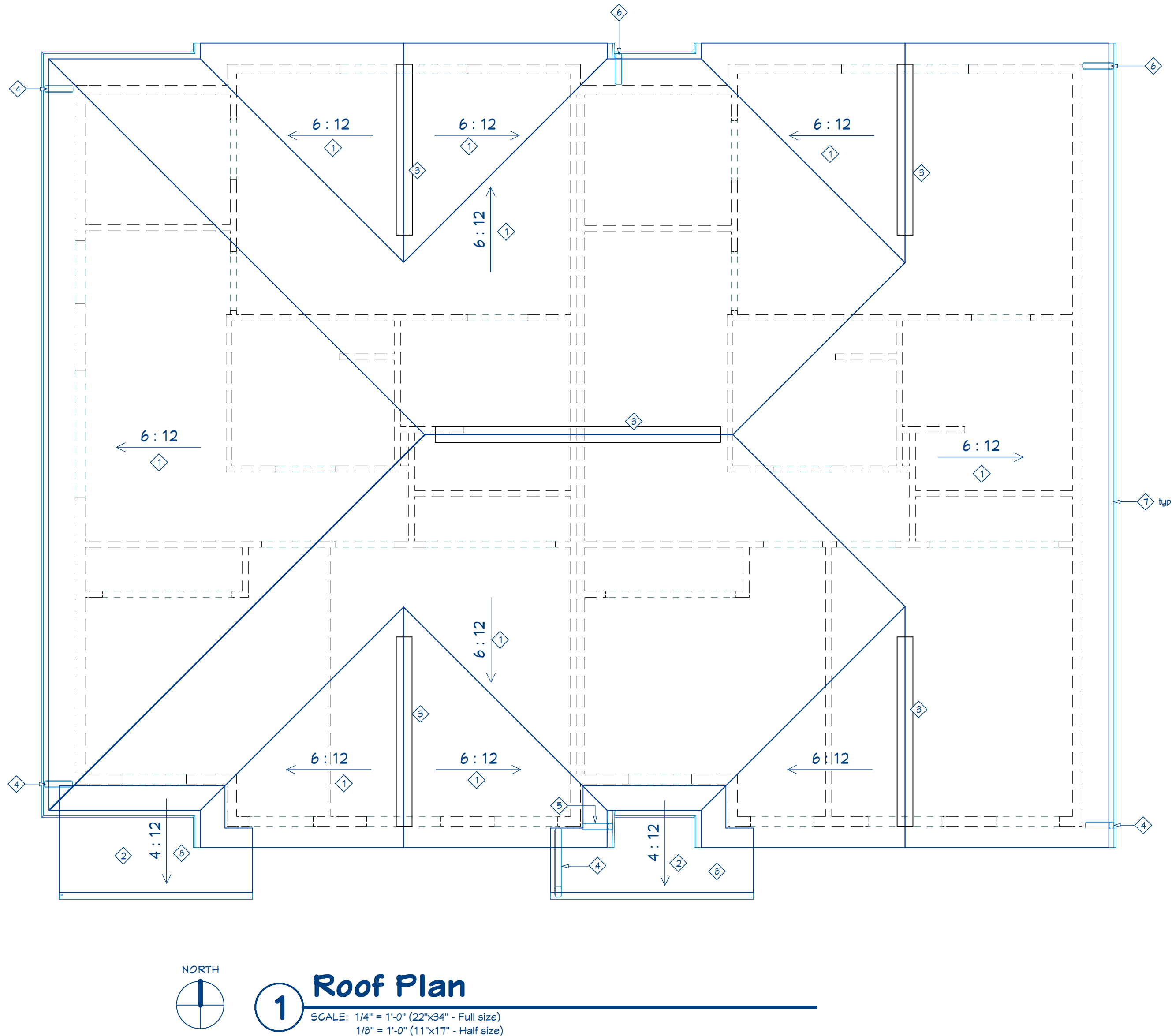
Bouril Design Associates, LLC

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- General Notes - Roof Plan
1.

All dimensions are to the face of dimensional members (stud, blocking, framing, board, etc). Dimensions do not reference sheathing, wall board, or other finish items unless noted otherwise.
2.

Verify rough opening requirements for all framed openings (skylights, solar tubes, chimneys, etc).
3.

Install waterproof membrane as follows: at all vertical penetrations through the roof, including chimneys, vents & stacks, along the entire length of eaves to 12" inside the projected exterior wall line; in 36" wide strips along the entire length of valleys, intersecting walls, changes in roof pitch & other vertical surfaces, over the entire surface of any roof, crickets, or over-build with a slope 4:12 or less. All areas not covered by waterproof membrane will be covered with synthetic roof underlayment applied horizontally from eave to ridge.
4.

Install synthetic waterproof membrane below metal roofs
5.

Install hip & ridge exhaust vents along all vented attic (cold roof) spaces. Vent intake will be accomplished with perforated soffit at all under-eave areas open to the vented attic space. Roof overbuild areas should not be \ sheathed beneath the overbuild framing to maintain free air flow throughout the attic volume. Roofing contractor shall be responsible for meeting off roof venting per code.
6.

Gutters, downspouts, and leaders shall be roll-formed from 0.032" aluminum coil stock in a color to match the eave fascia. Gutter lengths shall be seamless; K Style profile & shall provide 20sq in (min) of net cross-sectional area and shall have a depth to width ratio of not less than 1:25 (eg a 4" deep x 5" high U-shaped gutter satisfies this requirement). All gutters shall receive a fully covered leaf guard system. Downspouts & leaders shall be a 4"x3" rectangular profile. Downspouts which discharge to a leader at grade shall be provided with a decorative aggregate concrete splash block at the leader termination. Downspouts which discharge to a drain receptor shall terminate into a 4"x4" PVC offset downspout tile adaptor mated to a buried 4" SDR35 drain pipe receiver. Buried drain pipe shall slope at 1/4":12 and drain to daylight; all pipe fittings shall be permanently welded or use gaskets; all bends shall be 45 degrees or less.

Key notes - Roof plan	
#	Text
1	Asphalt roof shingles
2	Prefinished standing seam metal roof.
3	Prefinished ridge vent
4	Prefinished metal Downspout - discharge to grade
5	Prefinished metal Downspout - discharge to lower roof
6	Prefinished metal Downspout - discharge to drain receptor
7	Prefinished metal roof gutters
8	Lower porch roof

KNown Prime Properties LLC

Two duplexes (4 units)

Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058

date: 2/5/2026

drawn by: jlm

A2.4

Preliminary

Budget Set

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Bouril Design Associates, LLC

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1 Exterior East Elevation

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)



2 Exterior West Elevation

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

General Notes - Exterior Elevation

1. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
2. All final material selections, colors, finishes, and other options to be coordinated with the Owner.
3. New windows are Essential by Marvin, color: white (both sides - Confirm with owner)
4. New sliding patio door is Signature Collection, Ultimate by Marvin, color to match new windows (confirm with owner)
5. New stone veneer is thin veneer application, selected by owner. (field verify new thickness of owner selection)
6. All new L.P. engineered wood members (trim boards, or siding) shall be prefinished
7. Downspouts are aluminum material matching siding, min. size: 4"x 6". Sizing by roof contractor.
8. Final downspout locations shall be confirmed with owner

Key Notes - Exterior Elevations

#	Text
1	Prefinished metal standing seam roof
2	Asphalt shingles
3	Prefinished composite wd fascia
4	Prefinished composite wd shadow board (Gables only)
5	Prefinished metal gutter
6	Prefinished metal downspout, match siding
7	Thin stone Veneer
8	Cut limestone cap stone
9	Cut limestone window sill
10	Vinyl lap siding. Color 1 as selected by owner.
11	Vinyl shake siding. Color as selected by owner. Optional bid: Vinyl lap siding, Color 2 as selected by owner.
12	Vinyl corner trim, match adjacent siding (lap or shake)
13	Prefinished 4" Composite window trim
14	Prefinished 4" composite door trim
15	Cedar wood structural bracket
16	wood beam wrapped with Prefinished composite wd trim
17	Rain chain for entry roof

Bouril Design Associates, LLC

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KNOW Prime Properties LLC

Two duplexes (4 units)

Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

A3.1

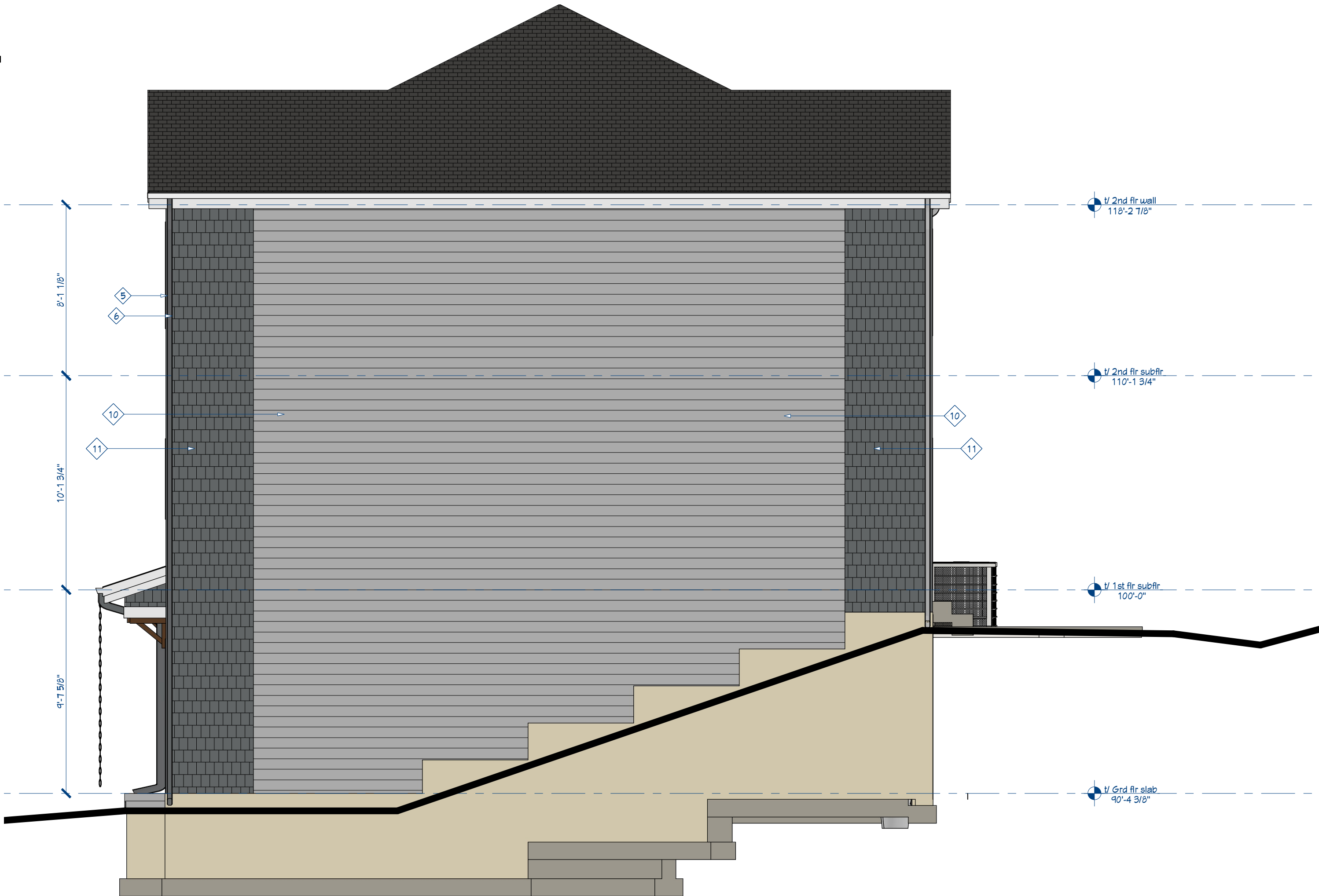
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1 Exterior South Elevation
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)



2 Exterior North Elevation
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

- General Notes - Exterior Elevation**
1. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
 2. All final material selections, colors, finishes, and other options to be coordinated with the Owner.
 3. New windows are Essential by Marvin, color: white (both sides - Confirm with owner)
 4. New sliding patio door is Signature Collection, Ultimate by Marvin, color to match new windows (confirm with owner)
 5. New stone veneer is thin veneer application, selected by owner. (field verify new thickness of owner selection)
 6. All new LP engineered wood members (trim boards, or siding) shall be prefinished
1. Downspouts are aluminum material matching siding, min. size: 4"x6". Sizing by roof contractor.
2. Final downspout locations shall be confirmed with owner

Key Notes - Exterior Elevations	
#	Text
1	Prefinished metal standing seam roof
2	Asphalt shingles
3	Prefinished composite wd fascia
4	Prefinished composite wd shadow board (Gables only)
5	Prefinished metal gutter
6	Prefinished metal downspout, match siding
7	Thin stone Veneer
8	Cut limestone cap stone
9	Cut limestone window sill
10	Vinyl lap siding. Color 1 as selected by owner.
11	Vinyl shake siding. Color as selected by owner. Optional bid: Vinyl lap siding, Color 2 as selected by owner.
12	Vinyl corner trim, match adjacent siding (lap or shake)
13	Prefinished 4" Composite window trim
14	Prefinished 4" composite door trim
15	Cedar wood structural bracket
16	wood beam wrapped with Prefinished composite wd trim
17	Rain chain for entry roof

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KNown Prime Properties LLC
Two duplexes (4 units)
Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

A3.2

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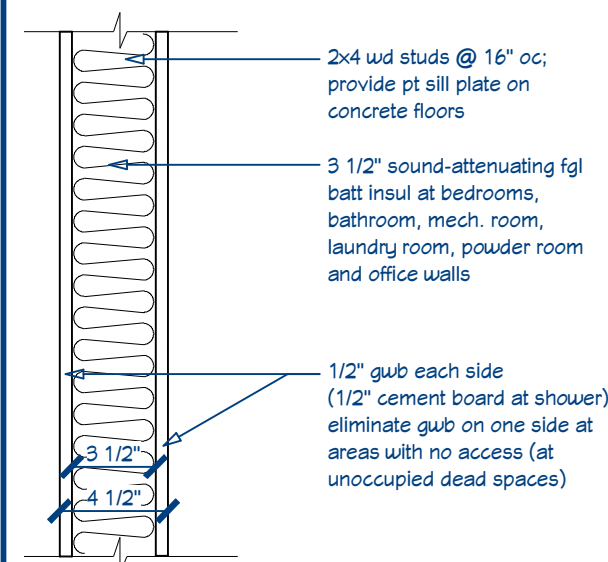


1 Building Section
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

Interior partition types:

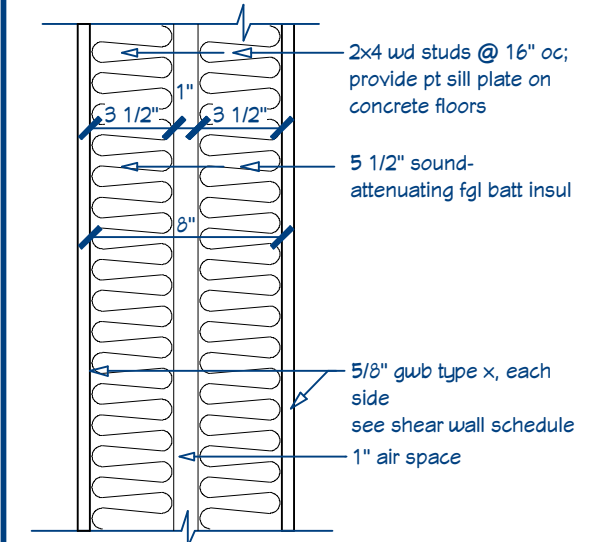
interior partition P1

2x4 framed walls, all interior partitions are P1 unless noted otherwise



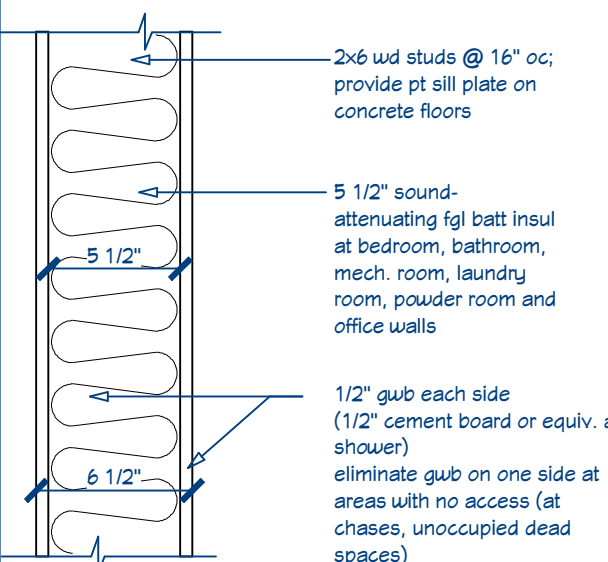
interior partition P4

Double 2x4 stud wood framed walls between units, see floor plans for locations. see framing plans and wall bracing schedule.



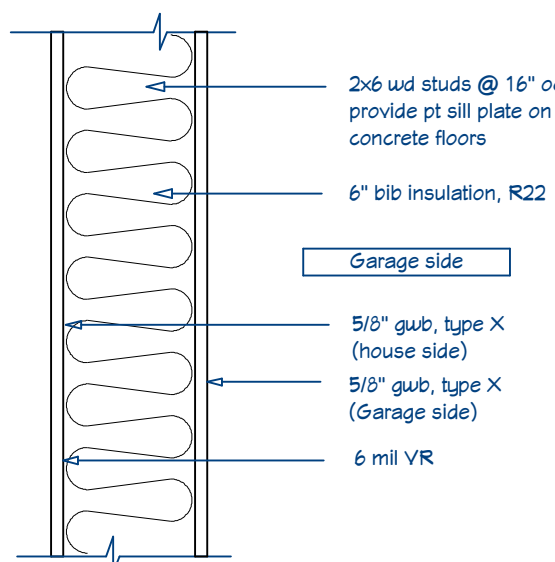
interior partition P2

2x6 wood framed walls, see floor plans for locations



interior partition P3

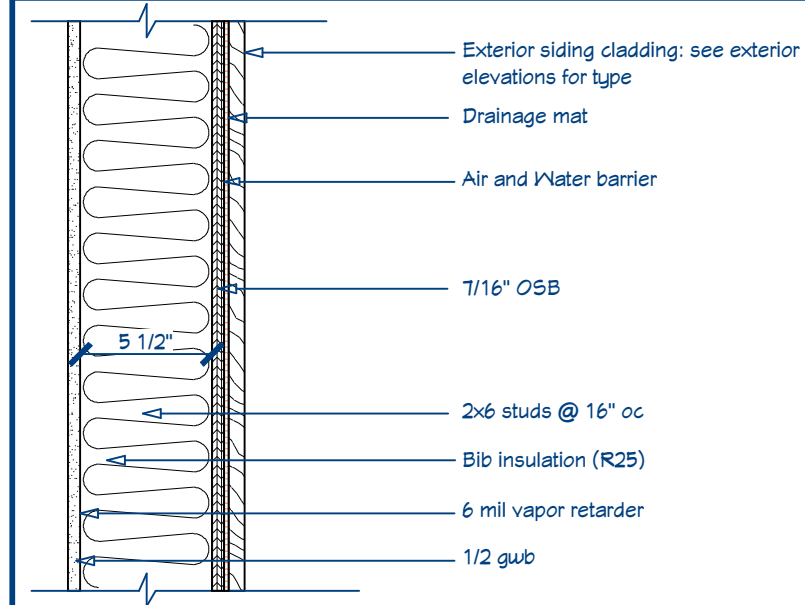
2x6 framed walls, between garage and residential unit 30 minute hour fire rating per IBC table 722.6.2(1)



exterior wall types: (EW#)

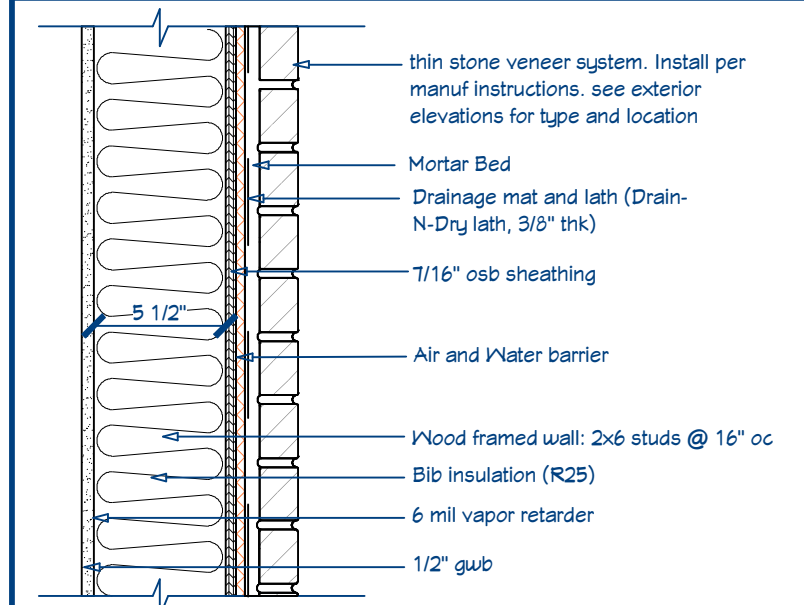
exterior wall type EW1

2x6 wood framed wall siding. See wall sections and floor plans for locations.



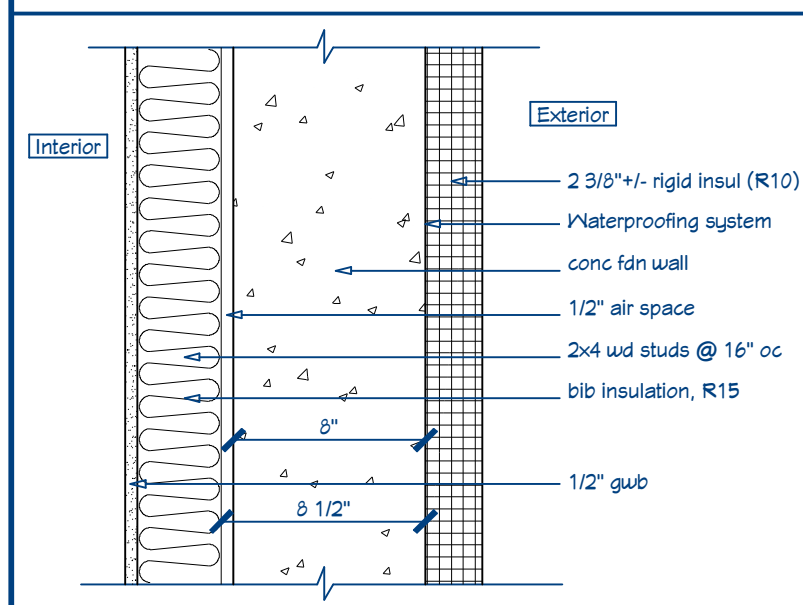
exterior wall type EW2

2x6 wood framed wall w/ thin stone veneer. See wall sections and floor plans for locations.



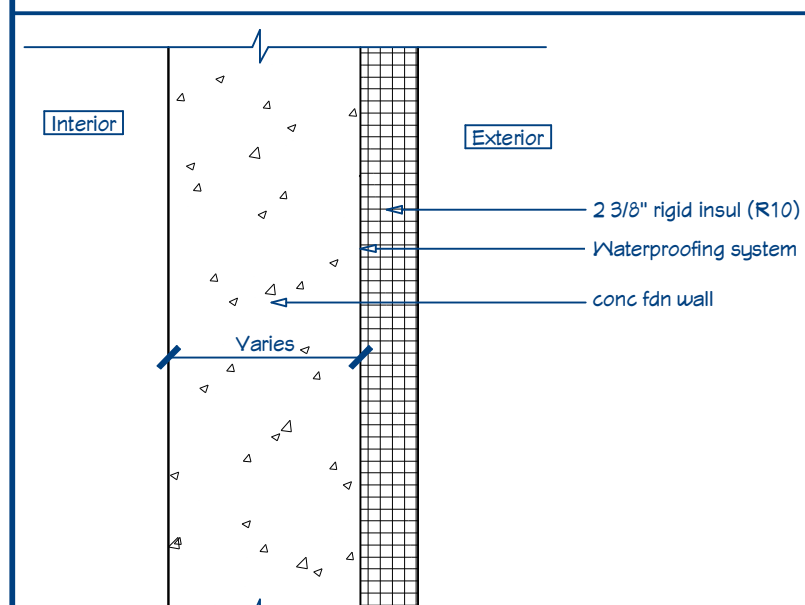
exterior wall type EW3

New concrete foundation wall w/ 2x4 furred wall. See wall sections and floor plans for locations.



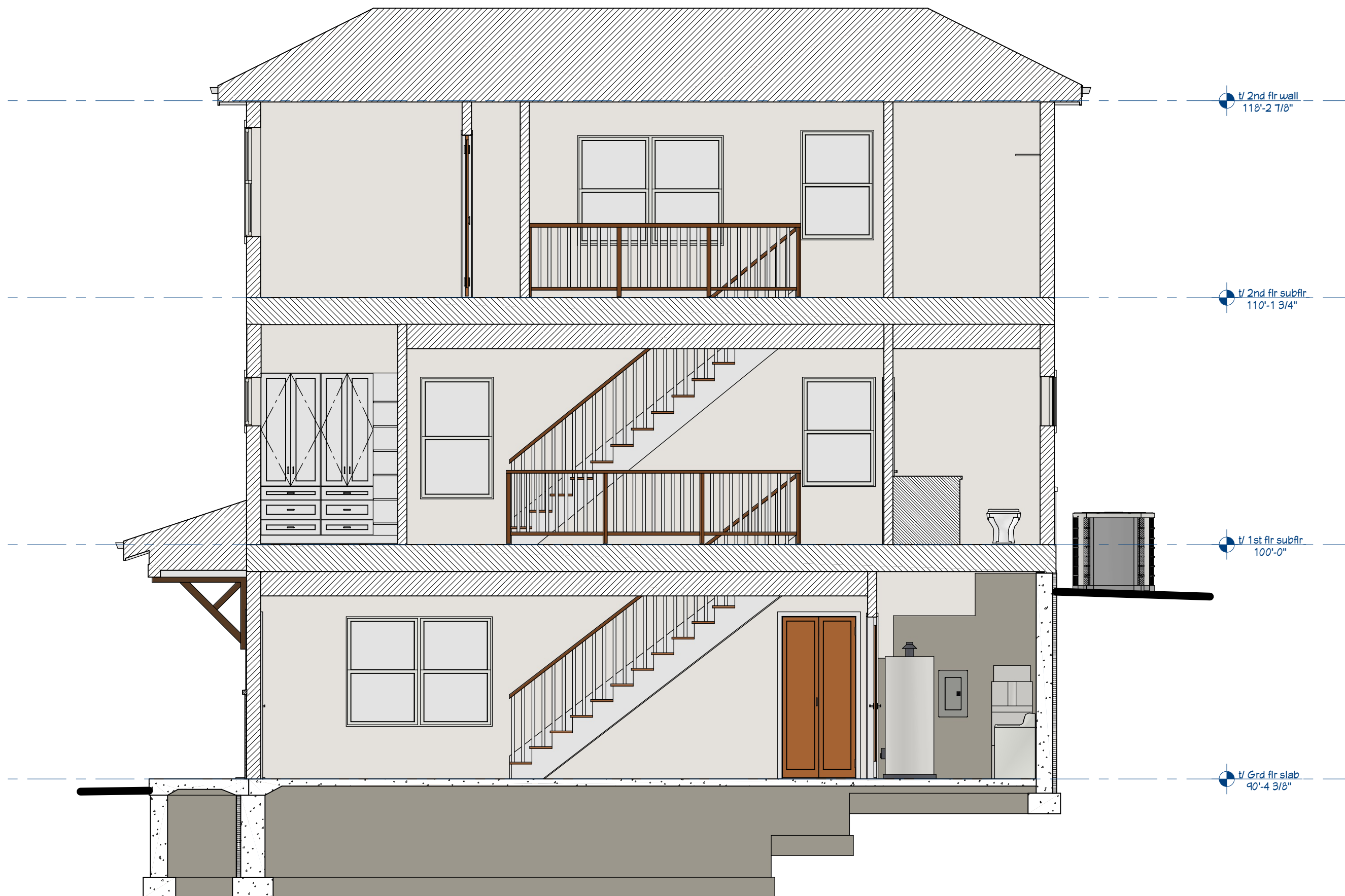
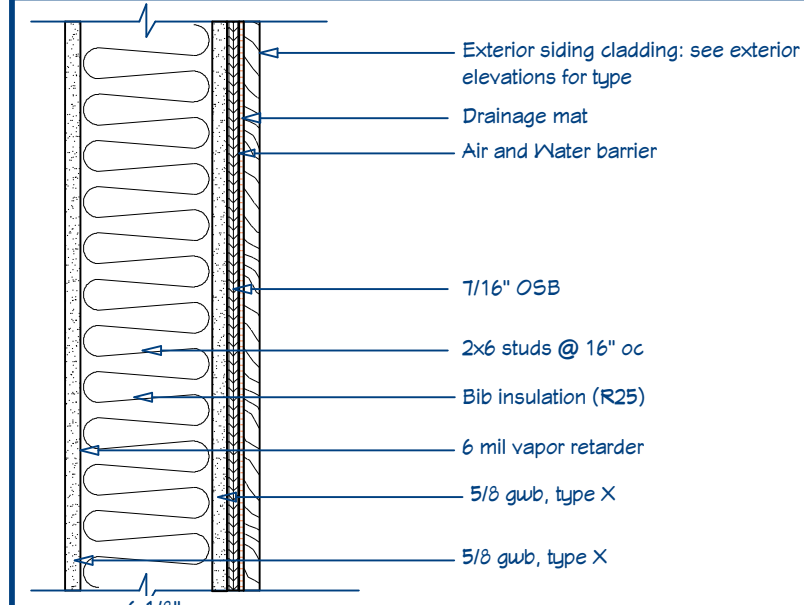
exterior wall type EW4

Concrete foundation wall. See wall sections and floor plans for locations.



exterior wall type EW5

2x6 wood framed wall siding. Fire rated separation wall. Building 1 north wall. See wall sections and floor plans for locations.



2 Building Section
SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x17" - Half size)

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Not for Construction**

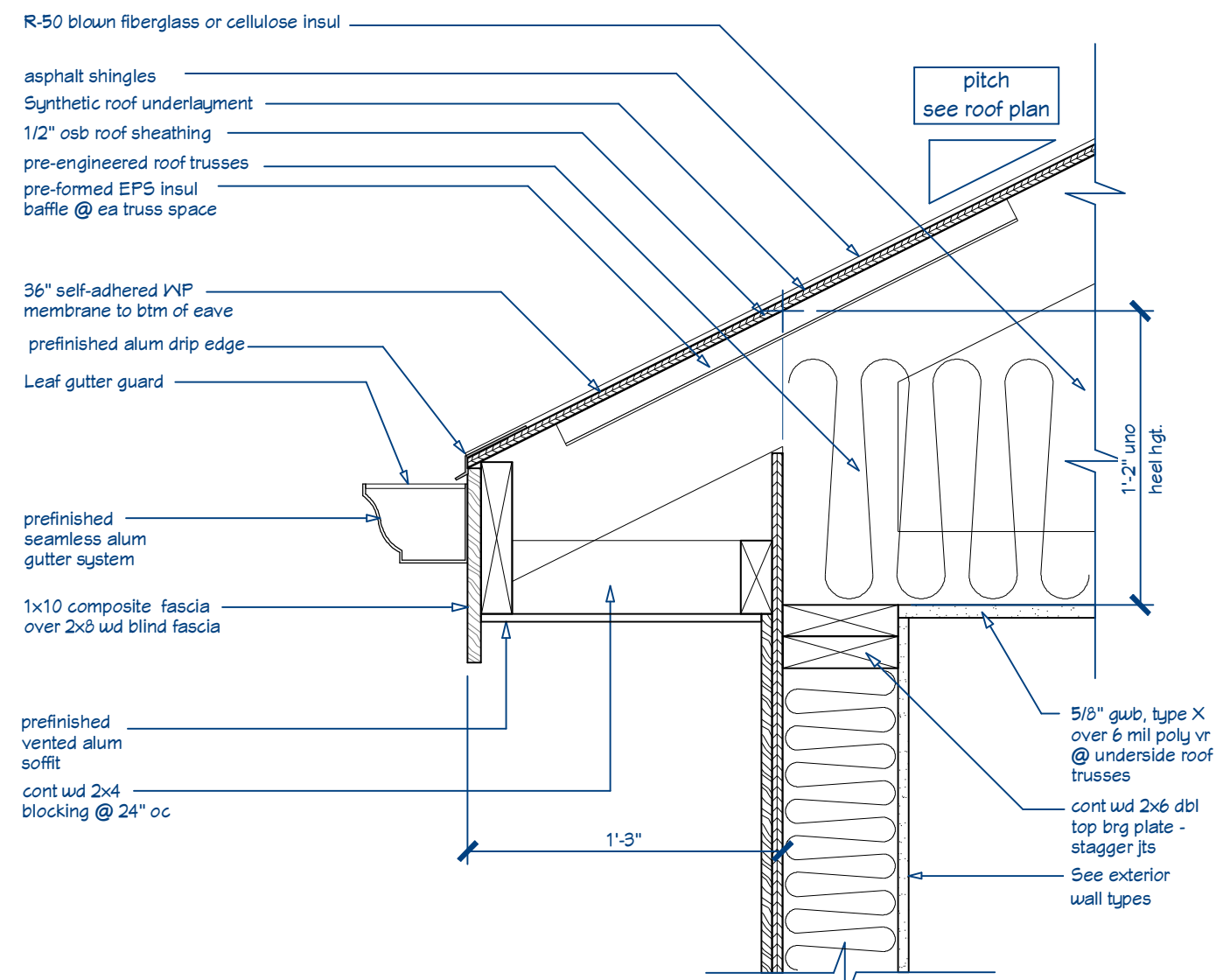
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revision index		
#	date	reference

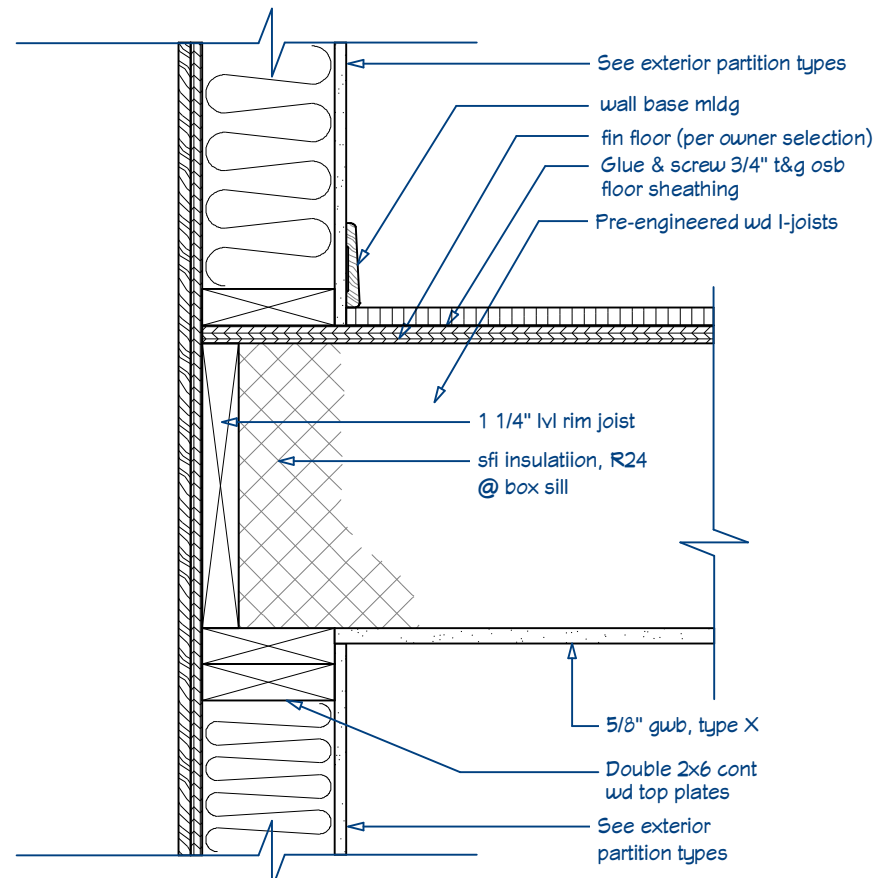
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date: 2/5/2026
drawn by: jlm

A4.1



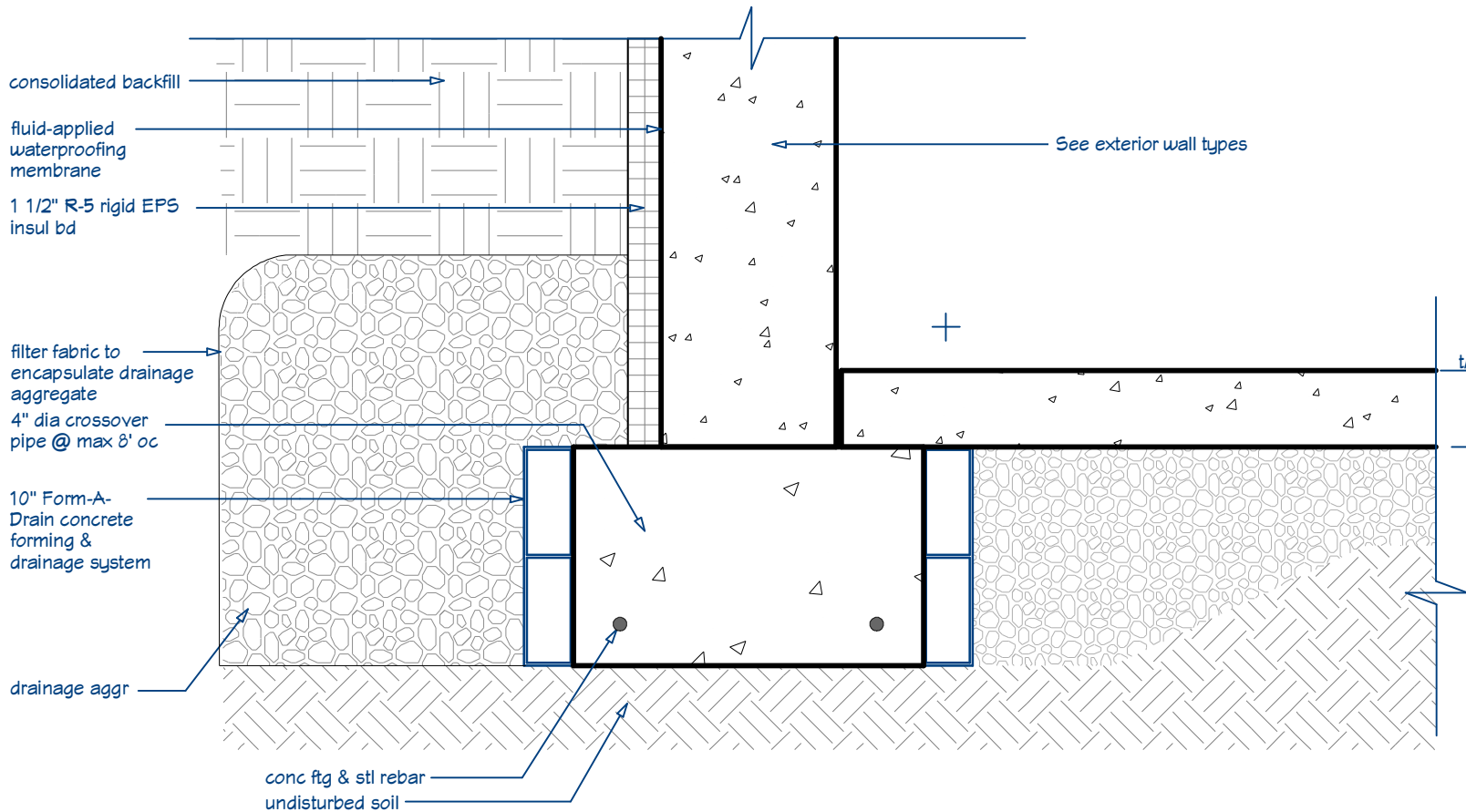
1 6/12 Roof Eave Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



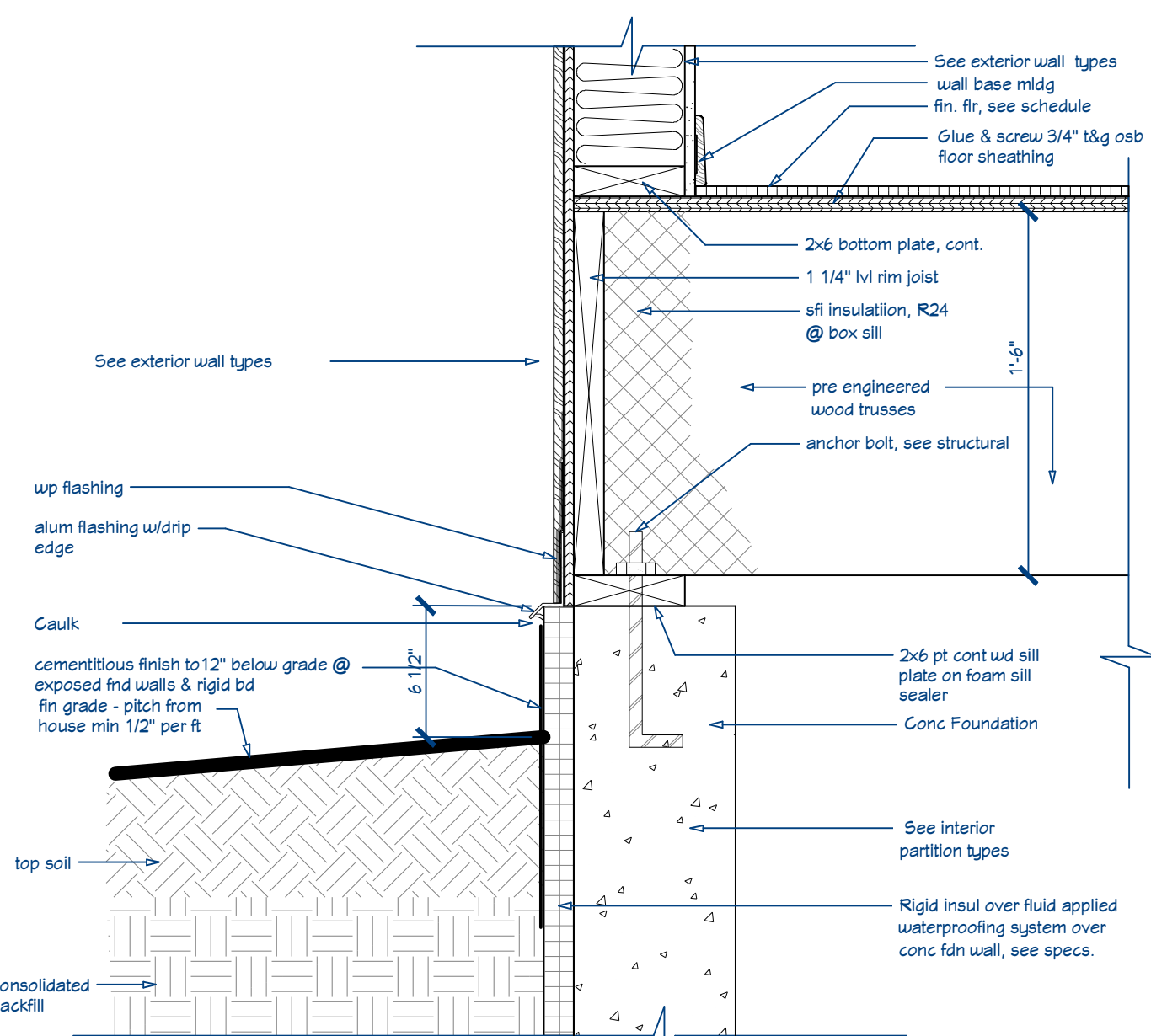
2 t/ Wall/ Floor Intersection Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



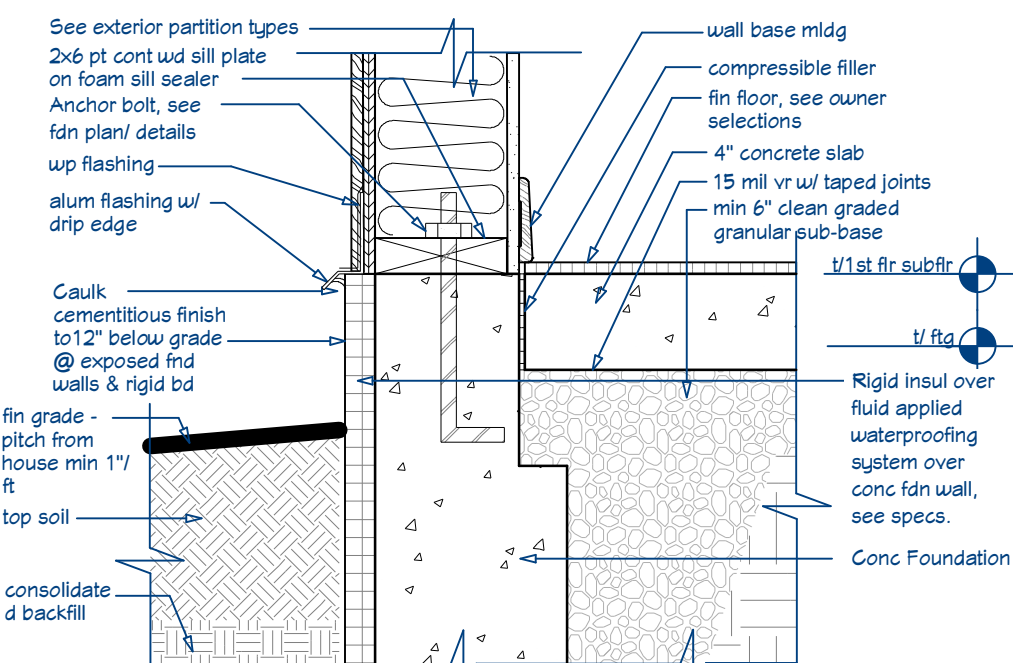
3 t/ Fdn Wall/ slab/ftg Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



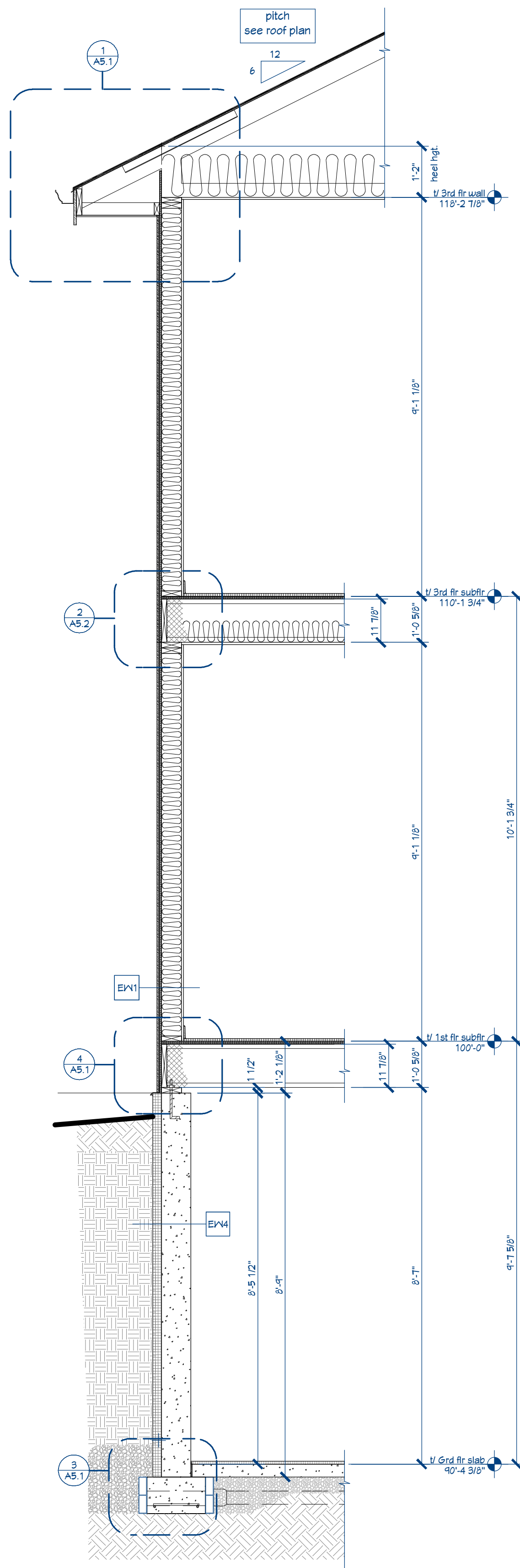
4 t/ Fdn Wall/ stud wall Detail

SCALE: 1 1/2" = 1'-0" (22"x36" - Full size)
3/4" = 1'-0" (11"x17" - Half size)



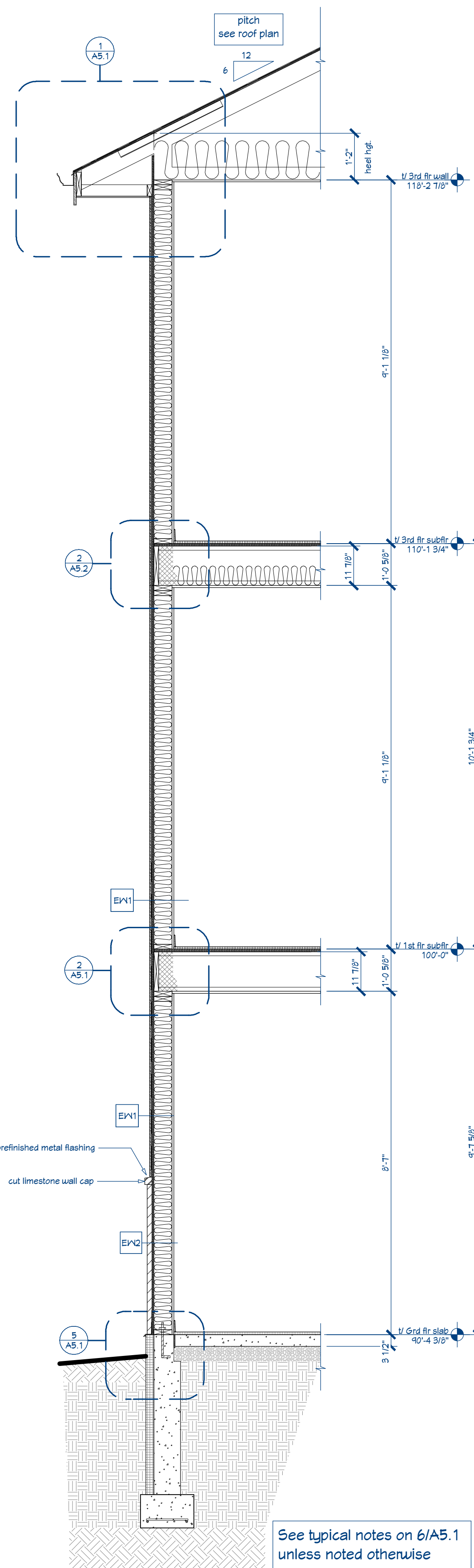
5 t/ grd flr Fdn Wall Detail

SCALE: 1 1/2" = 1'-0"



6 Wall Section

SCALE: 1/2" = 1'-0" (24"x36" - Full size)
1/4" = 1'-0" (12"x18" - Half size)



7 Wall Section

SCALE: 1/2" = 1'-0" (24"x36" - Full size)
1/4" = 1'-0" (12"x18" - Half size)

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**Preliminary
Budget Set
Not for Construction**

Bouril Design Associates, LLC

5714 D'Onofrio Drive, Suite 16
Madison, Wisconsin 53714
608-583-9400 www.bourildesign.com

KNOW Prime Properties LLC

Two duplexes (4 units)

Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index		
#	date	reference

project: 25058
date: 2/5/2026
drawn by: jlm

A5.1



MEMORANDUM

To: Village of Mount Horeb Plan Commission

From: Village Planner: Ben Rohr, AICP

Date: March 25, 2026

Re: Public Art Ordinance

Background

The Village of Mount Horeb has received requests from time to time regarding the installation of public art, in particular in and around the downtown area. Each situation has been handled slightly differently depending on the proposed piece of public art, location, etc. For example, there are a wide variety of troll sculptures in Mount Horeb and those have not been brought forward to the Plan Commission for approval, while in several instances, murals have been reviewed and approved by that body. This has created inconsistencies in the application, review process, and ultimately what's been expected of applicants seeking public art on their properties.

A key defining factor between public art and signage is the use of branding or product names, logos, trademarks, and commercial messages. Public art does not include these elements, whereas signage does and falls within the purview of established Village ordinances and standards. This has been an additional source of confusion regarding the community's approach, policies, and procedures for public art proposals.

In the fall of 2024, Driftless Historium applied for a new mural on their building along Front Street. At that time, we discussed the idea of potentially creating a new Public Art Ordinance in Mount Horeb to handle these types of projects. We introduced the City of Delevan's Public Art Ordinance and Driftless Historium's mural was reviewed against that model ordinance as an example of what the process could look like. Following the discussion, the mural was approved and has since been completed. However, because the Zoning Ordinance rewrite was ongoing, Village staff paused on pursuing the development of a new Public Art Ordinance until the larger rewrite process was completed.

Within the new Zoning Ordinance, there are references to a Public Art Ordinance (Chapter 12.075 Licenses and Permits) that currently does not exist. This was intentionally done so that the new Public Art Ordinance could be drafted, adopted, and fit within the new framework of the new Zoning Ordinance.

Draft Public Art Ordinance

Attached is the City of Delevan's Ordinance that was previously reviewed by the Plan Commission in 2024. There are several discussion items for Plan Commission consideration related to this new ordinance. Each are documented below. Following today's discussion, the ordinance will be revised to reflect the Plan Commission's discussion on each item and additional Village committee input will be sought. Overall, the goal will be to bring back an ordinance in April that's ready for action by the Plan Commission.

Discussion Items:

1. Purpose Statement (Section 7-15-1): Is this statement and set of goals reflective of what Mount Horeb wants to achieve with the installation of new public art within the community?
 - a. An additional suggestion would be to also tie into the vision and goals of the Comprehensive Plan and any applicable area plan (ex. Downtown Plan).
2. Eligibility Criteria (Section 7-15-3): Are there any missing factors that you think should be considered as part of eligible projects?
 - a. In my opinion, I believe having criteria is valuable to base future decisions upon. However, this list could be paired down and/or revised to be more concise.
3. Location Criteria (Section 7-15-4): Similar to the eligibility criteria item above, this list could be paired down and made more concise.
 - a. I would also advocate that if the project were proposed within the right-of-way that it require Public Works Committee approval and anything located outside of the right-of-way follow setback requirements within the Zoning Ordinance.
4. Program Criteria (Section 7-15-5): Does the Village care if a public art project is altered in the future? If not, that language could be removed.
 - a. I would also advocate that we retain the language (5) about not containing any branding, logos, etc., but remove the exception for capturing "events (places, businesses, products, people, etc.)" so that we create a clear delineation between a commercial message (sign) and noncommercial message (art).
5. Maintenance (Section 7-15-6): Does the Village want to require a maintenance agreement for public art projects?
 - a. There are pros and cons to this approach. It's an added layer of administration and set of requirements for applicants, but it does provide the ability to regulate potential future issues that could arise.
6. Permit Review Process (Section 7-15-8): Should public art projects be subject to both Plan Commission and Village Board approval?
 - a. In my opinion, it feels unnecessary to require a two-step process for approvals. I would advocate that the Plan Commission be charged with approvals with input provided by the Historic Preservation Commission and/or Public Works Committee, depending on the project location.
7. Denial, Completion, and Revocation (Sections 7-15-9, 7-15-10, 7-15-11): I would advocate that the Village retain these measures and adjust them to best fit other administrative procedures associated with similar licensing that's already being done.

*City of Delavan, WI
Friday, November 15, 2024*

Chapter 7-15. Public Art Permits

[HISTORY: Adopted by the Common Council of the City of Delavan 8-11-2014 by Ord. No. RC-344 (Title 7, Ch. 15, of the 1997 Code). Amendments noted where applicable.]

§ 7-15-1. Purpose.

- (a) The purpose of this chapter is to establish a permitting process that will allow for and encourage the installation of public art throughout the community. Art contributes to livable, aesthetically pleasing and pedestrian-friendly streetscapes. The experience of public art makes a space seem more welcoming. It helps a community remember its past, honor an ideal, and express its values and concerns to future generations. Public art makes a community more livable and more visually stimulating.
- (b) Specific goals of public art are to:
 - (1) Enhance the City's sense of place in the region by providing unique artwork throughout the community in a manner unlike any other place in the area.
 - (2) Celebrate the City's history and cultural spirit and identity through the creation of art that is accessible to the public.
 - (3) Create a recognizable icon.
 - (4) Enhance the appearance and livability of public spaces through the placement of site-specific art projects that respond to the natural and built landscape.
 - (5) Enliven public spaces.
 - (6) Enhance overall quality and identity of the place and/or building.
 - (7) Strengthen community identity, spirit and collective cultural experience through the placement of public art throughout the City.
 - (8) Allow local, regional, national and international artists to share their creations with the community.
 - (9) Stimulate the economic success of businesses.
 - (10) Attract visitors and leave them with a positive impression and a desire to return.
 - (11) Create a more livable community by linking arts and everyday life with the objective of making Delavan the place of choice to live, work, recreate and raise a family.
- (c) Public art should be designed to complement the visual experience of those who live, work or visit the City of Delavan. In addition, the placement of public art throughout Delavan will contribute to the City's economic draw and be an ongoing educational tool and tourism draw for the community. By virtue of the effort, the community should become a richer place for residents and visitors.
- (d) Through the permitting process, the City is able to: (1) ensure that community objectives of public art are achieved; (2) address any public health, safety, and welfare concerns that may arise relative

to the art media or locations proposed; and (3) verify that public access and long-term maintenance issues are addressed.

§ 7-15-2. Definitions.

As used in this chapter, the following terms shall have the meanings indicated:

ALTERATIONS

Includes any change to a permitted public art, including but not limited to any change to the image(s), materials, colors, or size of the public art. "Alteration" does not include naturally occurring changes caused by exposure to the elements or the passage of time. Minor changes that result from the maintenance or repair of the public art shall not constitute "alteration." Such minor changes may include slight and unintended deviations from the original image, colors, or materials that occur when the art piece is repaired due to the passage of time or as a result of vandalism.

ARTIST

An individual generally recognized by peers as a professional practitioner of the visual arts as judged by the quality of that professional practitioner's body of work, educational background, experience, past public commissions, and production of artwork. It also may include students or youth who are creating public art under the direct supervision of practicing artist/art teacher.

PROJECT INITIATION DATE

The date on which the first art piece included in the permitted public art project is fully or partially installed on a site.

PUBLIC ART

(a) Includes works of art in any media that have been planned and executed with the specific intention of being sited or staged in or have the ability to be viewed from the physical public domain, usually outside and accessible to all. Public art includes all forms of visual art originally created by an artist or under the artist's direction, whether contemporary or traditional in style, that is located outdoors and is visible to the general public. Works of public art to be placed in the community may include:

(1) **SCULPTURE AND KINETIC ART**

Freestanding, wall supported or suspended; in any appropriate material or combination of materials.

(2) **MURALS AND PAINTINGS**

In any appropriate material or variety of materials, with or without collage.

(3) **MOSAICS**

Including tiled composites on walkway, street furniture and wall surfaces.

(4) **WATER FEATURES**

Including fountains, waterfalls and decorative pools.

(5) **EARTHWORKS**

Environmental works in appropriate outdoor sites.

(6) **GLASS**

Including but not limited to ceramics and lighted glass, including neon and plastic.

(7) **FUNCTIONAL ART**

Including decorative furnishings or fixtures, but not limited to gates, railings, streetlights or seating, if created or decorated by artists as unique elements.

(b) To be considered "public art," the art must be located either upon public property or upon private property for which an agreement to which the City is a party is secured and authorizes

the "public art" subject to the conditions included in the agreement. Whether it is on public or private property, "public art" must be freely accessed by the general public during the normal hours of operation of the premises upon which the art is located. All public art projects must be reviewed by the Plan Commission and approved by the Common Council. Public art that is not approved by the Common Council under this chapter shall also be subject to the provisions of the applicable sections of the Zoning Code and any other ordinance that regulates signs and land use, including any applicable overlay district(s).

SPONSOR (also referred to as APPLICANT)

Any person, firm, corporation or association who applies for and secures a public art permit for the purpose of installing public art as provided for in this chapter. The sponsor shall be responsible for ensuring compliance with all requirements and obligation of the permit including but not limited to obligations relating to maintenance of the public art and its removal if a permit is revoked or terminated. The sponsor shall be a party to any and all agreement(s) provided herein.

§ 7-15-3. Eligibility criteria.

- (a) To be considered "public art," the art must be located either upon public property or upon private property for which an agreement to which the City is a party is secured and authorizes the "public art" subject to the conditions included in the agreement. Whether it is on public or private property, "public art" must be freely accessed by the general public during the normal hours of operation of the premises upon which the art is located. All public art projects must be reviewed by the Plan Commission and approved by the Common Council. The following factors are to be considered in approving "public art":
- (1) Achievement of the goals of public art.
 - (2) The appropriateness of the location for public art.
 - (3) The originality and/or aesthetic quality of the work.
 - (4) The appropriateness of the art media selected for the location.
 - (5) Appropriateness of the work, including theme and size, to a chosen location, including scale of artwork to the site and obstacles of the site.
 - (6) The subject matter is consistent with the goals of public art and appropriate for the proposed location.
 - (7) The artist has demonstrated in the design, aesthetic and functional coordination with the architecture of the building/buildings, streetscape and/or landscape.
 - (8) The proposed maintenance plan and funding level is consistent with "best practices" relative to the type of art media proposed.
 - (9) The sponsor of the program has secured the right to locate the public art on either public or private property as evidenced by a written agreement that may be subject to successful completion of this approval process.

§ 7-15-4. Public art location criteria.

- (a) Display of public art throughout the City is encouraged. There may, however, be areas that are not appropriate for an art display. The following criteria will be considered in determining whether a proposed location for public art should be approved:
- (1) Visibility and public access.
 - (2) Public safety.

- (3) Interior and/or exterior traffic patterns.
 - (4) Relationship of art to the site's existing or future architectural or natural features.
 - (5) Function and uses of the facility or site.
 - (6) Future development plans for the area which may affect the public art project.
 - (7) Relationship of the proposed work to existing works of art or design elements within the site's vicinity.
 - (8) Social or cultural context of the proposed artwork relative to the site and its surrounding environment.
- (b) When a public art display is considered for a particular site, consideration will also be given as to whether or not public art in such a location has the potential to:
- (1) Express the values, diversity and character of the neighborhood.
 - (2) Illustrate the cultural heritage or built heritage or other unique qualities inherent to the site, neighborhood, area or community (such as existing/lost landmarks).
 - (3) Recognize the unique natural settings of shoreline, prairie and wetland present in the City.
 - (4) Reinforce spatial networks that link one neighborhood to another.
 - (5) Enrich the visitor's experience of the place.
 - (6) Enhance the pedestrian experience.
 - (7) Inspire new ways of looking at the community.
 - (8) Reveal aspects of the social, historical, physical or commercial context of the site, neighborhood, area or community.
 - (9) Add to the attractiveness, and therefore, inherent value of the site or area.

§ 7-15-5. Public art program criteria.

- (a) A public art project, once approved, cannot be altered, as further clarified below, unless an amendment reviewed by the Plan Commission is approved by the Common Council.

Additionally, public art, once approved, shall:

- (1) Not have any alterations to the permitted public art.
- (2) Not, if attached to a building:
 - a. Exceed the height of the structure or 100 feet, whichever is lower.
 - b. Extend more than six inches from the building facade.
 - c. Cover windows, doors, vents or other architectural elements such as cornices and pilasters.
- (3) Not contain changing images (moving structural elements, flashing or sequential lights, lighting elements, or other automated methods that result in movement, the appearance of movement, or change of mural image or message, not including static illumination turned off and back on not more than once every 24 hours).
- (4) Not provide for any compensation from the artist or the City to the property owner. "Compensation" is herein defined as the exchange of something of value, including but not limited to money, securities, a real property interest, the barter of goods or services, the

promise of future payment, or the forbearance of debt, and is given to or received by said property owner, or a leaseholder with the right to possession of the wall upon which the public art is to be placed, for the display of the public art, or for the right to place the public art on the property. The applicant shall certify in the registration application that no compensation for the display of the public art or the right to place the public art on the property will be given to or received by the property owner or leaseholder). (However, nothing herein contained is intended to limit or prohibit the compensation of the artist.)

- (5) Not contain any brand name, product name, or abbreviation of the name of any product, company, profession or business, or any logo, trademark, trade name or other commercial message, with the exception of public art that is being created to capture "events" (which may include places, businesses, products, people) of historic value or significance to the Delavan area, except as otherwise approved by the Common Council.
- (6) Remain intact for a minimum of five years subject to the following exceptions:
 - a. The property on which the mural is located is sold and the new owner has requested that the agreement be terminated; or
 - b. The structure or property is substantially remodeled or altered in a way that precludes continuance of the public art.

§ 7-15-6. Public art maintenance criteria.

- (a) Except as otherwise provided for in a written agreement, the sponsor of the project shall retain responsibility for maintenance and regular upkeep of the approved public art per the maintenance plan reviewed and approved in conjunction with the approval of the public art Project. Where appropriate the maintenance plan for the public art shall provide for the treatment of the art with an anti-graffiti coating. If, for any reason, a public art piece is removed, destroyed, or has deteriorated, the owner on which the art is located is responsible for removal except as otherwise provided in a written agreement.

§ 7-15-7. Permit application process.

- (a) A public art permit must be secured for all public art installations. No fee shall be charged for this permit. If the installation is not completed per the approved plan, reinspection fees shall apply.
- (b) Application for a permit for public art must be completed by the sponsoring person, partnership, corporation, limited liability company or other entity and submitted to the Building and Zoning Division of the Public Works Department and shall include the following information:
 - (1) Completed City application form for a public arts permit.
 - (2) Project information on the program including each location (including alternate locations, if any). A dimensioned sketch for each location identifying the boundaries within which the public art element is to be located. Pictures depicting the relationship of the public art element to adjacent buildings and spaces.
 - (3) The overall theme of the public art project and, if applicable, a listing of the specific topics (including alternates, if any) that will be addressed in the individual public art elements of the project.
 - (4) Information on the materials to be utilized for the project and the durability of these materials.
 - (5) Maintenance plan which plan shall include evidence of available funds or a funding source to cover the cost of the maintenance plan as proposed.

- (6) Acknowledgement that agreements must be secured for each location at which public art is to be located, which agreements shall, at minimum, provide rights to the program sponsor to access the property for maintenance purposes and require the owner of the property to commit to maintaining the public art element on the property for a minimum of five years except as otherwise provided for in this chapter.

§ 7-15-8. Permit review process.

- (a) Once submitted, a public art permit application shall be reviewed by the Building and Zoning Administrator as follows:
 - (1) The Building and Zoning Administrator shall determine whether the application is complete and whether the proposed project meets the eligibility criteria to be considered a public art project. If the Building and Zoning Administrator determines that the application is not complete or does not fulfill the eligibility criteria to be considered public art, he shall return the application to the applicant. If the Building and Zoning Administrator determines that the application is complete, he shall so notify applicant.
 - (2) Upon notifying the applicant that his application is complete, the Building and Zoning Administrator shall review the application and evaluate and comment on whether the public art project as proposed meets the criteria established under the program.
 - (3) Upon completion of his review, the Building and Zoning Administrator shall then submit the application to the Plan Commission for review and recommendation to the Common Council as to whether the public art permit should be issued.
- (b) Plan Commission review and recommendation.
 - (1) The Plan Commission shall consider the application at a regular or special meeting open to the public. The public art project sponsor shall be in attendance to present a summary of the proposal and to answer questions that may arise at the meeting.
 - (2) The Plan Commission shall consider the effectiveness of the proposed public art project in meeting the objectives of and criteria for the program and the effect of the proposed project on the health, safety, morals, and general welfare of the surrounding areas and the overall community. The Plan Commission may request further information and/or additional reports from the Building and Zoning Administrator and/or the sponsor.
 - (3) Within 60 days after the public meeting (or within an extension of said period requested in writing by the applicant and granted by the Plan Commission), the Plan Commission is to submit to the Common Council a report on its findings as to whether, in the opinion of the Plan Commission, a public art permit should be approved for the proposed public art project. Said report shall also identify any and all conditions of approval that may be recommended by the Plan Commission.
 - (4) If the Plan Commission fails to make a report within 60 days after the adjournment of the public meeting at which this matter was presented (unless extended as provided for in this section), then the Common Council may proceed with the consideration of the public art permit.
- (c) Common Council review and consideration.
 - (1) The Common Council shall consider the public art application following receipt of the report from the Plan Commission or following the expiration of the 60-day period if no report is filed.
 - (2) The Common Council shall consider the Plan Commission's recommendation regarding the proposed public art project. The Council may request further information and/or additional reports from the Plan Commission, the Building and Zoning Administrator, and/or the applicant. The Common Council shall also consider the effectiveness of the proposed public art project in meeting the objectives of and criteria for the program and the effect of the proposed project on

the health, safety, morals, and general welfare of the surrounding areas and the overall community.

- (3) The Common Council, in the permitting of a public art project, may impose, in addition to the standards and requirements expressly specified by the Municipal Code, additional conditions which the Plan Commission and Common Council consider necessary to protect the best interests of the surrounding area or the City as a whole.
- (4) The Common Council may approve the public art permit application as originally proposed, may approve the application with modifications (per the recommendations of the Building and Zoning Administrator, the Plan Commission, authorized outside experts, or its own members), or may deny approval of the application.

§ 7-15-9. Effect of denial.

No application which has been denied (either wholly or in part) shall be resubmitted for a period of 12 months from the date of said order of denial, except if new information is submitted to the Building and Zoning Administrator sufficient to change his recommendation, or the proof of a change of factors used to deny said application is found to be valid by the Building and Zoning Administrator.

§ 7-15-10. Time limits on completion.

Once a permit for a public arts project has been approved, this project, unless an extension is granted by formal action of the Common Council, must commence ("Project Initiation Date") within 365 days of said approval of the permit by the Common Council, and shall be completed within 730 days of the project initiation date. The failure to initiate or complete the project within the periods set forth herein shall automatically constitute a revocation of the public art permit.

§ 7-15-11. Termination or revocation of an approved permit.

- (a) Any public art project found not to be in compliance with the terms of this chapter and/or the conditions under which a permit for the project was issued under this chapter shall be considered in violation of this chapter and shall be subject to the penalties set forth under § 1-1-7 of this Code of Ordinances. A public art permit may be revoked for such a violation by majority vote of the Common Council.
- (b) Public art created or installed under a public art permit that has been terminated or revoked must be removed within 60 days of the date of the notice to remove, or sooner based upon a finding by the Common Council that it is a detriment to the public health, safety, or welfare. If said public art is not removed within the time period provided in the notice, the City shall have the right, but not the obligation, to either remove or contract for the removal of the non-permitted public art media and shall bill the property owner, or other responsible party as provided for in the agreement, for all costs incurred in taking this action. Any costs incurred shall be in addition to the penalties set forth in § 1-1-7 of the Code of Ordinances.



Building Department Report

February 2026 Permits

- 1 Commercial Apartment Building – 5 Story/63 Units (*Steve Brown Apartments*)
- 10 general residential permits
- 6 general commercial permits

Commercial Project Progress Report

Date: March 25, 2026

Subject: Ongoing Commercial Construction Updates

1881 Springdale Street

Work continues to progress on the upper level of the building. The third floor, which is the top floor, is currently being insulated and drywalled, and work is expected to continue downward through the remaining levels from there. In addition, Edward Jones is proposed for the commercial space within the building and is currently in the plan approval process.

100 S Washington Street – Surplus Suds

The project is substantially complete. Remaining work consists primarily of selected door replacements and final landscaping items. Occupancy is anticipated in the near future.

400 East Main Street

This project has been completed.

105 W Front Street

This five-story project is preparing to begin construction. Footing and foundation work is anticipated to start early next week, with a projected start date of March 23, 2026.

Prepared by: Ryan Lindsey, Building Inspector

3C Inspect LLC