



VILLAGE OF MOUNT HOREB

E. Main Street

Mount Horeb, WI 53572

Phone: (608) 437-6884 Fax: (608) 437-3190

Email: mhinfo@mounthorebwi.info Web: mounthorebwi.info

PLAN COMMISSION AGENDA
Wednesday, April 22, 2026 at 7:00 PM

Municipal Building Board Room
138 E. Main Street
Mount Horeb, WI

- 1) Call to order
- 2) Roll call
- 3) Public Comments on Non-Agenda Items*
- 4) Consent Agenda
 - a. Consideration of March 25, 2026 Meeting Minutes
 - b. Recommendation of Extraterritorial Certified Survey Map Town of Blue Mounds - Deanna Opsal
 - c. Recommendation of the Extraterritorial Certified Survey Map - Town of Cross Plains, 9283 Windy Lane -Zander
 - d. Recommendation of the Extraterritorial Certified Survey Map - Blue Mounds Jenkins and Thompson
- 5) Agenda Items
 - a. Consideration of Downtown Design Alteration Review for 105 E Main Street
 - b. Consideration of Downtown Design Alteration Review for 101 E Main Street
 - c. Consideration of Amendment to SIP for 100 E. Front Street (black awnings)
 - d. Recommendation of Certified Survey Map for 221 S Fourth Street
 - e. Consideration of Site Plan Review for 1348 Field Court
 - f. Recommendation of Certified Survey Map for 1348 Field Court
 - g. Concept Presentation for 100 Lillehammer Lane
 - h. Recommendation of Public Art Ordinance 2026-06
- 6) Committee Reports:

- a. Plan Commission Chair Report
 - b. Village Planner Report
 - c. Building Inspector Report
- 7) Meeting adjournment.

***Public Comment Policy**

Members of the public are invited to speak at meetings of all Mount Horeb Public Bodies. To comment, please complete a Public Comment Form at the Meeting Room entrance and submit it to staff before the meeting begins. Comments are limited to **three minutes**, must be made from the podium, and the speaker must return to the audience after speaking.

- **Non-agenda item comments** are heard at the start of the meeting. Public Body members and staff will not engage in discussion during public comment but may consider topics for future agendas.
- **Agenda item comments** are heard during the relevant item, after the proposers or staff present the item and before Public Body discussion. All public comments on the item will be heard before any discussion by the Public Body.

Members of the public will only be allowed to speak outside these public comment times if they are invited by the meeting chair to share additional information requested by the Public Body. If so invited to speak, the member of the public must do so from the podium.

Written comments are also welcome. Written comments shall include the name and address of the submitter and should be submitted to the Deputy Treasurer/Governance Coordinator by email at niki.erickson@mounthorebwi.info (subject line: *Public Comment Request-Name of Public Body*) or delivered by to the Village at: 138 E Main Street, Mount Horeb WI, 53572, ATTN *Public Comment Request-Name of Public Body*.

UPON REASONABLE NOTICE, EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS AND SERVICES. FOR INFORMATION OR TO REQUEST THIS SERVICE, CONTACT ALYSSA GAFFNEY, CLERK, AT 138 E MAIN STREET, MOUNT HOREB, WI (608) 437-9404.

PLAN COMMISSION AGENDA
Wednesday, March 25, 2026 at 7:00 PM

DRAFT MEETING MINUTES

1) **Call to order**

Chair Ryan Czyzewski called the meeting to order at 7:00 pm in the Board Room of the Municipal Building, 138 East Main Street, Mount Horeb, WI.

2) **Roll call**

Members Present: Sarah Best, Andrew Kidd, Destinee Udelhoven, Ben Vondra, Peggy Zalucha

Absentee Members: Jill Remmert-Willis

Others Present: Interim Village Administrator Jon Hochkammer, Assistant Clerk Jean Culberson

3) **Public Comments on Non-Agenda Items**

None

4) **Agenda Items**

a. Consideration of February 25, 2026 Meeting Minutes

Zalucha Motioned to approve the minutes of the February 25, 2026 meeting with corrections to:

Additional items:

HPC to review and provide consolidation of lots. Revise to: HPC to review and provide input regarding consolidation of lots in or adjacent to listed properties.

Continuation of Additional Items discussed:

Page 1 - Purpose Statement has no reference to protect and enhance natural resources. Revise to: Purpose Statement has only the reference to protect and enhance natural resources.

Best seconded and Motion carried by unanimous voice vote.

b. Recommendation on Certified Survey Map Land Division Town of Vermont -Sherven

Property owner Mark Sherven requested the name Mlsna be removed from the Project Name on the application. Sherven stated the CSM was approved by the Township of Vermont. Interim Administrator Hochkammer stated there were no concerns. Udelhoven Motioned to the recommendation of the CSM and Best seconded. The Motion carried by unanimous voice vote.

c. Concept Review for Multi-Family Development; 1348 Field Court, Nick Olday

Czyzewski and property owner Nick Olday summarized splitting the existing parcel into two lots and proposing construction of two 2-unit duplexes on lot 2. The Commission discussed the project and the agenda packet Review by Village Planner Rohr. Owner Olday informed of a previous preconstruction meeting regarding utilities and he will be

addressing the concerns listed in the Review.

d. Discussion on Public Art Ordinance

Czyzewski informed on the need for a Public Art Ordinance that currently does not exist in the code. The packet contains a Memorandum and the City of Delevan's Ordinance from Village Planner Rohr. The Commission discussed the Discussion Items in the Memorandum and the Delevan Ordinance. Resident Cathy Scott questioned the art and the reason to say no. Zalucha to contact the Wisconsin Arts Board for information and advice. Further discussion will take place at the April Meeting.

5) Committee Reports:

a. Plan Commission Chair Report

Czyzewski welcomed Interim Administrator Jon Hochkammer.

b. Village Planner Report

No Report.

c. Building Inspector Report

Report in the packet.

6) Meeting adjournment.

Best Motioned and Vondra seconded to the adjournment at 7:54pm. Motion carried by unanimous voice vote.

Minutes by Assistant Clerk Jean Culberson



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 4.b

Recommendation of Extraterritorial Certified Survey Map Town of Blue Mounds - Deanna Opsal

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Opsal_Mt_Horeb_Application
2. Opsal_Preliminary_CSM

**APPLICATION
CERTIFIED SURVEY MAP
EXTRATERRITORIAL JURISDICTION**

Date: 3/25/26 Fee: \$ 350 (see attached)

The undersigned owner/agent of the described property hereby requests approval of a certified survey map described as follows:

Location of property (town name and section) Blue Mounds,
Section 3, North Road

Owner Name: Deanna Opsal

Address: 200 3 Durtzsch Dr.
Mt. Horeb, WI 53572

Email Address: ldopsal@mhtc.net

Phone: 608-219-8306

The survey contains 2 lots and 16.34 acres.

Proposed zoning, if different, will be Residential

SIGNED: Robert A. Talarczyk, Agent
(applicant)
Surveyor
(applicant's interest in the property)

Applicant Name (if different from owner): Robert Talarczyk

Address: 517 2nd Ave
New Glarus, WI 53574

Email Address: bobe.talarczyk@surveys.com

Phone: 608-527-5216

Date of Plan Commission approval: _____

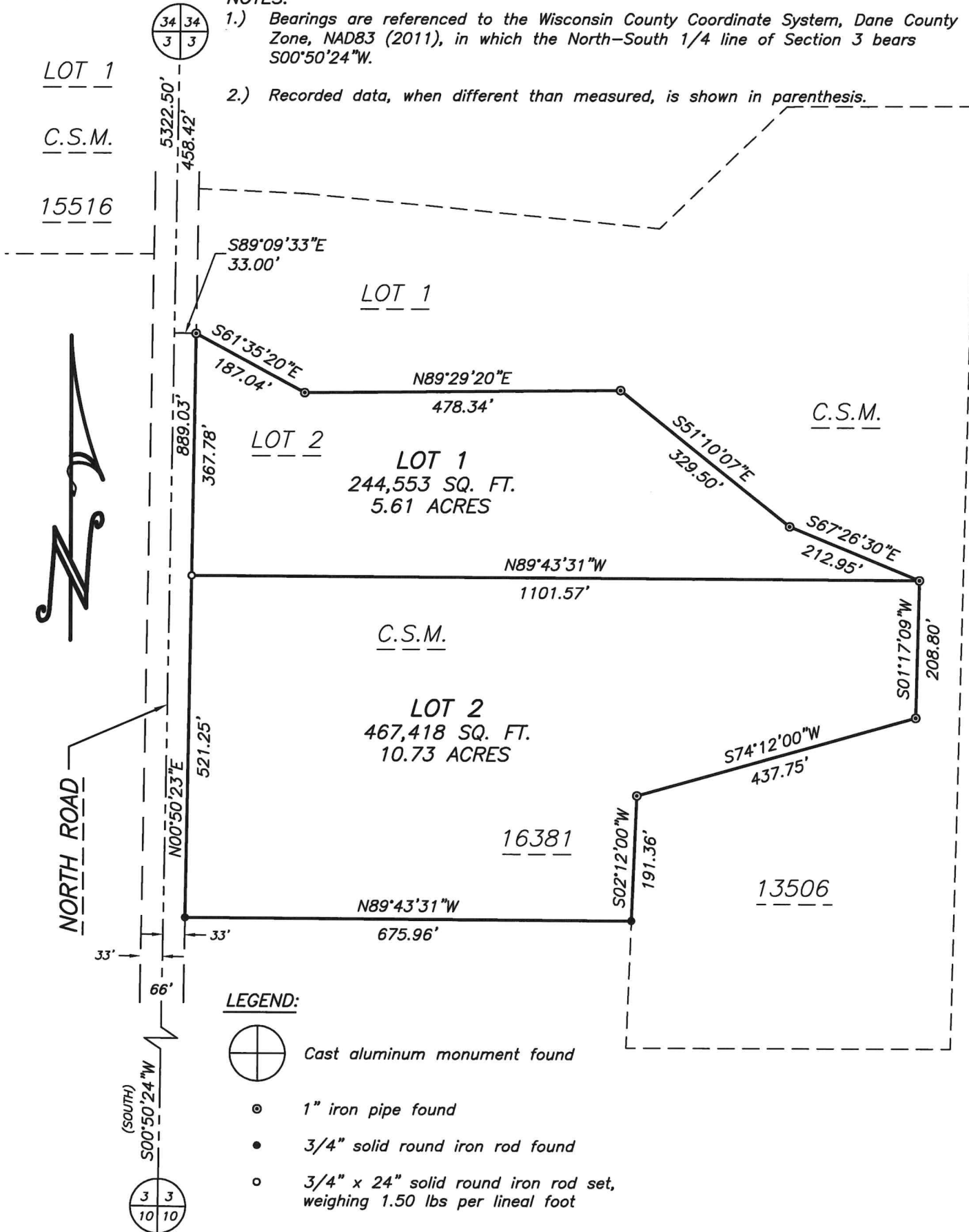
Date of Village Board approval: _____

CERTIFIED SURVEY MAP No. _____

Lot 2 of Certified Survey Map 16381 (Volume 122, Pages 67-68), being in the Northwest 1/4 of the Northeast 1/4 of Section 3, Town 6 North, Range 6 East, Town of Blue Mounds, Dane County, Wisconsin.

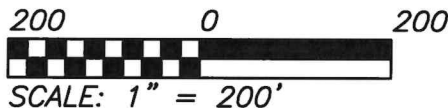
NOTES:

- 1.) Bearings are referenced to the Wisconsin County Coordinate System, Dane County Zone, NAD83 (2011), in which the North-South 1/4 line of Section 3 bears $S00^{\circ}50'24''W$.
- 2.) Recorded data, when different than measured, is shown in parenthesis.



PREPARED FOR:
 Brian & Jackie Larson
 3310 Maricopa Way
 Madison, WI 53719
 (608) 444-2031

JOB NO. 26057
 POINTS 18006
 DRWG. 26057_1
 DRAWN BY MST



SHEET 1 OF 2

TALARCZYK
 LAND SURVEYS LLC
 517 2nd Avenue
 New Glarus, WI 53574
 608-527-5216
 www.talarczyksurveys.com

CERTIFIED SURVEY MAP NO. _____

Lot 2 of Certified Survey Map 16381 (Volume 122, Pages 67-68), being in the Northwest 1/4 of the Northeast 1/4 of Section 3, Town 6 North, Range 6 East, Town of Blue Mounds, Dane County, Wisconsin.

I hereby certify that this survey is in compliance with Section 236.34 of the Wis. Statutes and the subdivision regulations of the Town of Blue Mounds and the Village of Mount Horeb; and that under the direction of Brian & Jackie Larson, I have surveyed, monumented, and mapped the lands described hereon; and that this map is a correct representation of all exterior boundaries of the land surveyed in accordance with the information provided.

March 24, 2026

Robert A. Talarczyk, P.L.S.

OWNER'S CERTIFICATE:

As owner, I hereby certify that I have caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented hereon. I also certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: Town of Blue Mounds; Village of Mount Horeb.

WITNESS the hand and seal of said owner this _____ day of _____, 20_____.
In the presence of:

Deanna L. Opsal

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20_____, the above named Deanna L. Opsal to me known to be the same person who executed the foregoing instrument and acknowledged the same.

My commission expires _____.

TOWN APPROVAL: This Certified Survey Map is approved for recording this _____ day of _____, 20_____ by the Town of Blue Mounds.

Town Clerk

VILLAGE APPROVAL: Approved for recording this _____ day of _____, 20_____ by the Village of Blue Mounds.

Village Clerk

REGISTER OF DEEDS CERTIFICATE: Received for record this _____ day of _____, 20_____ at _____ o'clock _____M., and recorded in Vol. _____ of Certified Survey Maps of Dane Co., on Pages _____.

 **TALARCZYK**
LAND SURVEYS LLC
517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyksurveys.com

SHEET 2 OF 2

Kristi Chlebowski, Register of Deeds
JOB NO. 26057
POINTS 18006
DRWG. 26057_1
DRAWN BY MST



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 4.c

Recommendation of the Extraterritorial Certified Survey Map - Town of Cross Plains, 9283 Windy Lane -Zander

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Village Mt Horeb PC app
2. Zander_CSM(3-26-26)
3. Map 4a Future Land Use - Mt Horeb Comp Plan 2022



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: Zander CSM

Project Address 9277 Windy Ln Parcel Number: 0707-314-9500-0
[Access Dane Link](#)

Zoning Map

Current Zoning FP-35 Future Land Use Zoning: RR-2
[\(select zoning layer in map\)](#) [\(select future land use layer in map\)](#)

APPLICANT: Jerome & Lynn Zander	
ADDRESS: 9283 Windy Ln, Mt Horeb	
PHONE: 608-669-5627	EMAIL: jelyzan@gmail.com

OWNER: same	
ADDRESS:	
PHONE:	EMAIL:

PROJECT DESCRIPTION: The Zanders recently constructed a new home on their farm and would now like to separate their old house from the farm so that their son can purchase that house.

OWNER/APPLICANT SIGNATURE: _____ DATE: _____

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-
<input type="checkbox"/> Certificate of Appropriateness (for Central Business Zoning)	No Fee	
<input type="checkbox"/> Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input checked="" type="checkbox"/> Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two
<input type="checkbox"/> Design Review	\$100.00	
<input type="checkbox"/> General Development Plan (GDP)	\$200.00	
<input type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00	
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two

Developer Deposit:
 An escrow deposit is required in accordance with the Development Application Agreement.

Total Fee Paid:

Date: _____

Fee Waived By:

The Village of Mount Horeb Plan Commission meets the fourth Wednesday of the month, unless noted on calendar. A schedule of deadlines can be found on the Zoning page of the Village website: [Plan Commission Calendar](#). **Consultation with the Village Administrator is highly encouraged to discuss procedure and necessary forms prior to any submittal.**

Note: applications requiring a public hearing will be scheduled for a hearing according to the publication deadline, with action considered at the scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Village Administrator for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Class One = Published in newspaper for one week / Class Two = Published in newspaper for two weeks

Application submittals should include:

- Fully executed **Plan Commission Application**
- Fully executed **Development Application Agreement** (attached)
 - A development agreement is a voluntary contract between a local jurisdiction and a person who owns or controls property within the jurisdiction, detailing the obligations of both parties and specifying the standards and conditions that will govern development.
- Full payment for all associated fees
- Written narrative of the proposed project
 - One electronic copy of **full submittal** emailed to (2 parties) jon.hochkammer@mounthorebwi.info and mhbuildinginspector@mounthorebwi.info,
 - or provided to our offices on a USB device or submitted via downloaded file

All **submittals** must contain the following to be considered complete:

- 1) Written narrative must include:
 - a. Owner and/or developer names and addresses
 - b. Where applicable; architect and/or engineer names and addresses
 - c. Description of proposed uses
 - d. Calculation indicating total site size, building floor area, number of parking stalls, amount of impervious surface, and amount of non-impervious green space
- 2) A scaled site plan which must include:
 - a. Name of project and date of plan preparation
 - b. Scale of drawing and north arrow
 - c. Property boundaries
 - d. Where applicable; both the one hundred (100) year recurrence interval floodplain and the floodway delineations
 - e. Where applicable; wetlands as delineated in the WDNR Wetland Inventory and 75' setback line from such wetlands
 - f. Existing and proposed easements on the subject property
 - g. Adjoining public street rights-of-way, street pavements, and sidewalk locations; existing and proposed driveways and curb cuts; and parking and loading areas
 - h. Location of existing and proposed building footprints with building and yard setback lines indicated
 - i. Location and size of any existing or proposed signs and fencing
 - j. Location and type of all outdoor lighting proposed to illuminate the site; including a photometrics plan of the site.

- 3) Building Plans which must include:
 - a. Elevation drawing of each new or remodeled building façade, indicating height, materials and building dimensions
 - b. Colored renderings of all façades of the principal building showing the proposed colors
 - c. Building materials samples (upon request)
- 4) Grading and Stormwater Management Plan, including:
 - a. Existing and proposed topography shown at a contour interval of not less than two (2) feet at National Geodetic Vertical Datum
 - b. Location and dimension of Stormwater retention or detention basins and/or stormwater conveyances
- 5) Landscape Plan that meets all landscaping standards
- 6) Parking Calculations
- 7) Escrow fees as outlined in the Development Application Agreement
- 8) Erosion Control and Stormwater Management Application and fees. *No person may begin a land disturbing construction activity or land developing activity subject to this division until the person has paid the Erosion Control Review and Inspection fee.
- 9) Erosion Control Plan
- 10) Signage Plan
- 11) Design Review guideline
- 12) Refer to [Mount Horeb Village Code Chapter 17-Zoning Code](#) for all supporting details of required documentation.

Please note Chapter 17 is the new adopted code Effective as of March 12, 2026

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the “Agreement”) is made and entered into this ___ day of _____, _____, by and between the Village of Mount Horeb, a Wisconsin municipal corporation (the “Village”), and Jerome & Lynn Zander (the “Applicant”).

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village’s jurisdiction: site plan / conditional use permit / rezone / variance / other development (hereinafter referred to as the “Development”).
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village’s discretion and that the Applicant’s compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (*e.g.*, engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village’s review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (*e.g.*, engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as “Review Costs.” Village staff time shall be charged at current rates.

3. *Deposit Required to Fund Reimbursement Account.*

a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the "Deposit"). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions (<2,500 sf) shall require a \$1,500 Deposit.
- (2) Small-sized projects (<5,000 sf) shall require a \$3,500 Deposit.
- (3) Medium-sized projects (<10,000 sf) shall require a \$5,500 Deposit.
- (4) Large-sized projects (>10,000 sf) shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier's check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non-interest-bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the "Reimbursement Account").

4. *Village Withdrawals from the Reimbursement Account.*
- a. After complying with the notification requirements of paragraph 4.b. below, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
 - b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
 - c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
 - d. Any amounts remaining in the Reimbursement Account after the Village has taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.
5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.
6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Mount Horeb
 Village Administrator
 138 East Main Street
 Mount Horeb, WI 53572
 Email: jon.hochkammer@mounthorebwi.info

To Applicant:

Jerome & Lynn Zander

9283 Windy Ln

Mt Horeb WI 53572

Email: jelyzan@gmail.com

- 7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
- 8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
- 9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

VILLAGE OF MOUNT HOREB

By: _____
Village Administrator

APPLICANT

By: _____
Print name: _____
Title: _____

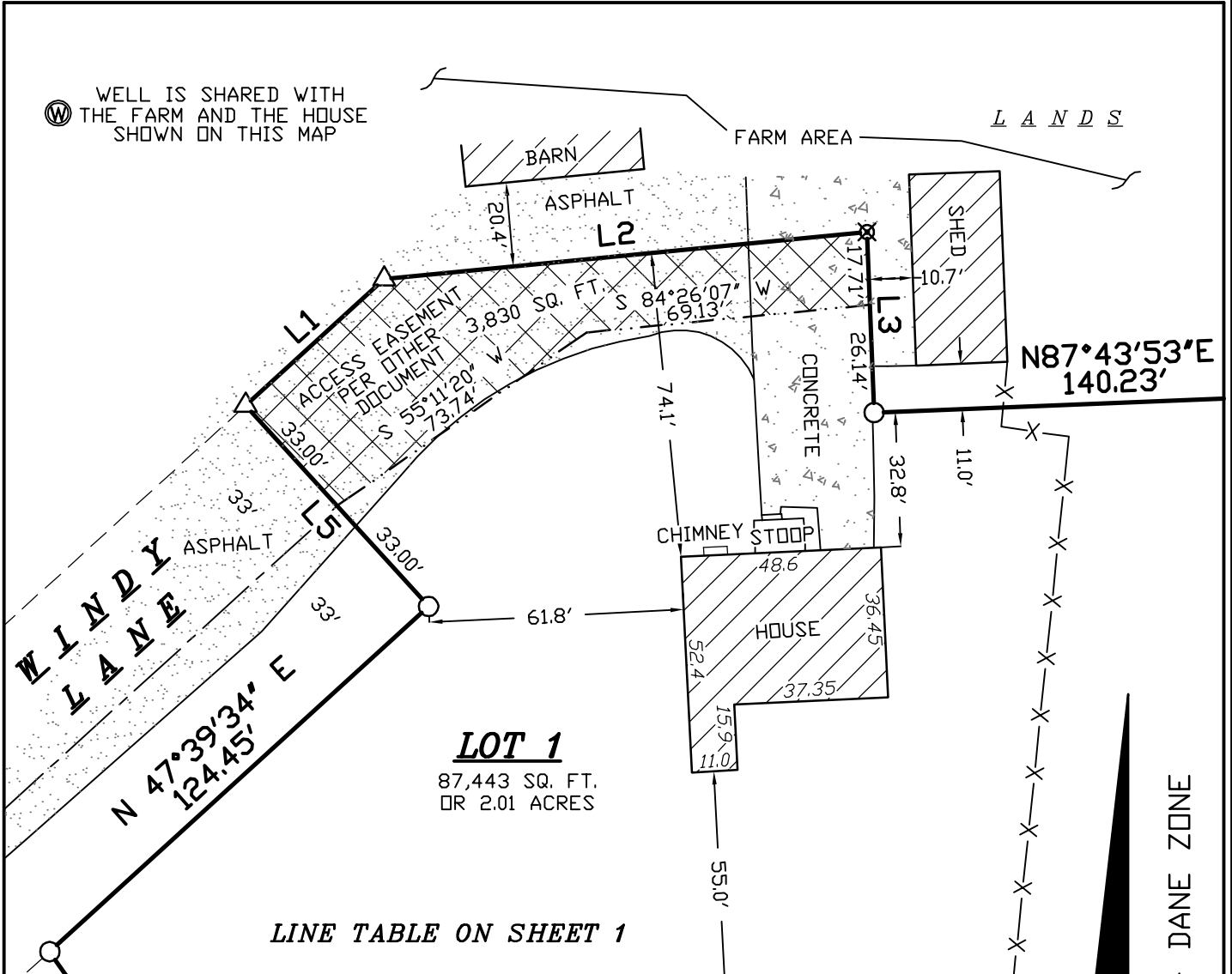


CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SE 1/4 of the SE 1/4 of Section 31, T7N, R7E,
Town of Cross Plains, Dane County, Wisconsin.

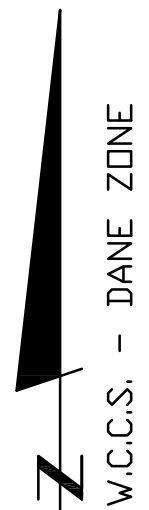
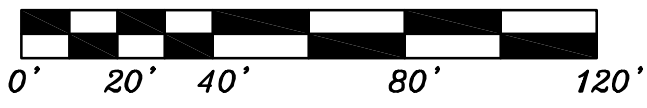


LINE TABLE ON SHEET 1

LEGEND

- = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
- = FOUND 1 1/4" PIPE
- ⊕ = SET CHISELED X
- △ = SET SURVEY SPIKE
- ⊙ = FOUND SECTION CORNER
- < ## > = RECORDED AS
- ⊙ = WELL
- ⊙ = SEPTIC TANK
- X— = FENCE

SCALE 1" = 40'



SURVEYORS SEAL



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SE 1/4 of the SE 1/4 of Section 31, T7N,
R7E, Town of Cross Plains, Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Noa T. Prieve, Professional Land Surveyor hereby certify that this survey is correct to the best of the professional surveyor's knowledge and belief and is in full compliance with the provisions of Chapter A-E 7 and Chapter 236.34 Wisconsin Statutes, the subdivision regulations of Dane County, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being part of the SE 1/4 of the SE 1/4 of Section 31, T7N, R7E, Town of Cross Plains, Dane County, Wisconsin, more particularly described as follows:

Commencing at the South 1/4 Corner of said Section 31; thence N 00°44'42" E along the west line of the SE 1/4 of said Section 31, 836.59 feet; thence due East, 1,372.67 feet to the point of beginning.

Thence N 47°39'34" E, 45.56 feet; thence N 84°26'07" E, 117.77 feet; thence S 02°13'33" E, 43.85 feet; thence N 87°43'53" E, 140.23 feet; thence S 05°50'37" W, 213.05 feet; thence S 39°30'58" W, 226.38 feet; thence N 34°54'05" W, 305.00 feet to the southeast right of way line of Windy Lane; thence N 47°39'34" E along southeast right of way line, 124.45 feet to the end of Windy Lane; thence N 42°20'26" W along the end of Windy Lane, 66.00 feet to the point of beginning. The above-described parcel contains 87,443 square feet or 2.01 acres.

Williamson Surveying and Associates, LLC
by Noa T. Prieve

Date _____

Noa T. Prieve S-2499
Professional Land Surveyor

OWNERS' CERTIFICATE:

As owners, we hereby certify that we caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. We also certify that this certified survey map is required by sec. 75.17(1)(a), Dane County Code of Ordinances, to be submitted to the Dane County Zoning and Land Regulation Committee for approval.

WITNESS the hand seal of said owners this _____ day of _____, 20____.

Jerome J. Zander

Lynn P. Zander

STATE OF WISCONSIN)
DANE COUNTY)

Personally came before me this _____ day of _____, 20____ the above named Jerome J. and Lynn P. Zander to me known to be the persons who executed the foregoing instrument and acknowledge the same.

_____ County, Wisconsin.

My commission expires _____

Notary Public

Print Name

Sheet 3 of 4

SURVEYORS SEAL

26W-47



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Located in the SE 1/4 of the SE 1/4 of Section 31, T7N,
R7E, Town of Cross Plains, Dane County, Wisconsin.

TOWN BOARD RESOLUTION

Resolved that this certified survey map is hereby acknowledged and approved by the Town
of Town of Cross Plains on this _____ day of _____, 20____.

Jennifer Broberg
Town Clerk

TOWN BOARD RESOLUTION

Approved for recording per Dane County Zoning and Land Regulation Committee action on
_____.

Daniel Everson
Assistant Zoning Administrator

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) SECTION CORNER TIES WERE CHECKED AND VERIFIED FOR THE CENTER 1/4 CORNER OF SECTION 31 AND A NEW SECTION CORNER TIE SHEET WAS DONE FOR THE SOUTH 1/4 CORNER OF SECTION 31.

REGISTER OF DEEDS:

Received for recording this ___ day of _____, 20___ at ___ o'clock ___M. and recorded
in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski
Register of Deeds

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____

Sheet 4 of 4

SURVEYORS SEAL

26W-47

Future Land Use ETJ View

4a

Mount Horeb Comprehensive Plan

- Village of Mount Horeb Boundary
- Town Boundaries
- Extraterritorial Jurisdiction Boundary
- Current Urban Service Area Boundary
- Potential Future Urban Service Area Boundary

- Right of Way
- Potential Future Roads
- Surface Water

Land Use Categories

- Agriculture
- Single-Family Residential (Unsewered)
- Single-Family Residential (Sewered)
- Two-Family Residential
- Multi-Family Residential
- Mobile Home Residential
- Planned Neighborhood
- Central Mixed Use
- Main Street Mixed Use
- Neighborhood Mixed Use
- Planned Business
- Planned Mixed Use
- General Industrial
- Heavy Industrial
- Extraction
- Planned Business Park/Planned Industrial
- Parks and Recreation
- Government and Institutional
- Conservancy
- Environmental Corridor
- Rights-of-Way
- Surface Water
- Long-Term Growth Area

Planned Neighborhood may include:

1. Single-Family (Sewered)
2. Two-Family Residential
3. Multi-Family Residential
4. Government and Institutional
5. Neighborhood Mixed-Use
6. Parks and Recreation



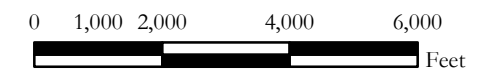
Planned Mixed Use may include:

1. Planned Business
2. Planned Business Park
3. Multi-Family Residential
4. Government and Institutional
5. Park and Open Space



Business Park may include:

1. Light Industrial
2. Planned Business
3. Government and Institutional
4. Park and Open Space



VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change

Adopted: March 30, 2022
Data Source: Dane County LIO, CARPC, MATPB, WI DNR, FEMA, USDA





AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 4.d

Recommendation of the Extraterritorial Certified Survey Map - Blue Mounds Jenkins and Thompson

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Application PC
2. CSM Documents



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: UPDATED SURVEY OF FARM PROPERTY
 Project Address: NO STREET ADDRESS, LOCATED ON HWY 1D, TOWN OF BLUE MOUNDS, WI Parcel Number: 010/0606-104-8540-2 010/0606-104-8062-0
 Zoning Map _____ Access Dane Link
 Current Zoning: A-1(EX) Future Land Use Zoning: SAME A-1(EX)
(select zoning layer in map) (select future land use layer in map)

CSM ONLY - NOT RE-ZONING

APPLICANT:	<u>MARY S. THOMPSON and LAWRENCE JENKINS</u>	
ADDRESS:	<u>5114 COMANCHE WAY, MADISON, WI 53704</u>	
PHONE:	<u>608-770-3032</u>	EMAIL: <u>Jenkinsusa@yahoo.com</u>

OWNER:	<u>MARY S. THOMPSON REVOCABLE TRUST</u>	
ADDRESS:	<u>5114 COMANCHE WAY, MADISON, WI 53704</u>	
PHONE:	<u>608-770-3032</u>	EMAIL: <u>JENKINSUSA@yahoo.com</u>

PROJECT DESCRIPTION: Seek certified survey updated from 40+ year old existing survey. Absorb small 1/2 acre tax parcel that does not meet building or access requirements (parcel 0606-104-8675-0) into 0606/04-8540-2 shown as Lot 1 on CSM
 OWNER/APPLICANT SIGNATURE: Mary S Thompson Revocable Trust DATE: 4/7/2026
By Mary S. Thompson, Trustee

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-
<input type="checkbox"/> Certified Survey Map (CSM) <small>scroll to Section 18.61 in schedule</small>	<u>Schedule</u>	
<input checked="" type="checkbox"/> Certified Survey Map Extraterritorial <small>scroll to Section 18.61 in schedule</small>	<u>Schedule</u>	
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two
<input type="checkbox"/> Design Review	\$100.00	
<input type="checkbox"/> General Development Plan (GDP)	\$200.00	
<input type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00	
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two

\$150 Non-refundable Review / \$100 Deposit

Developer Deposit:

An escrow deposit is required in accordance with the Development Application Agreement.

Total Fee Paid:

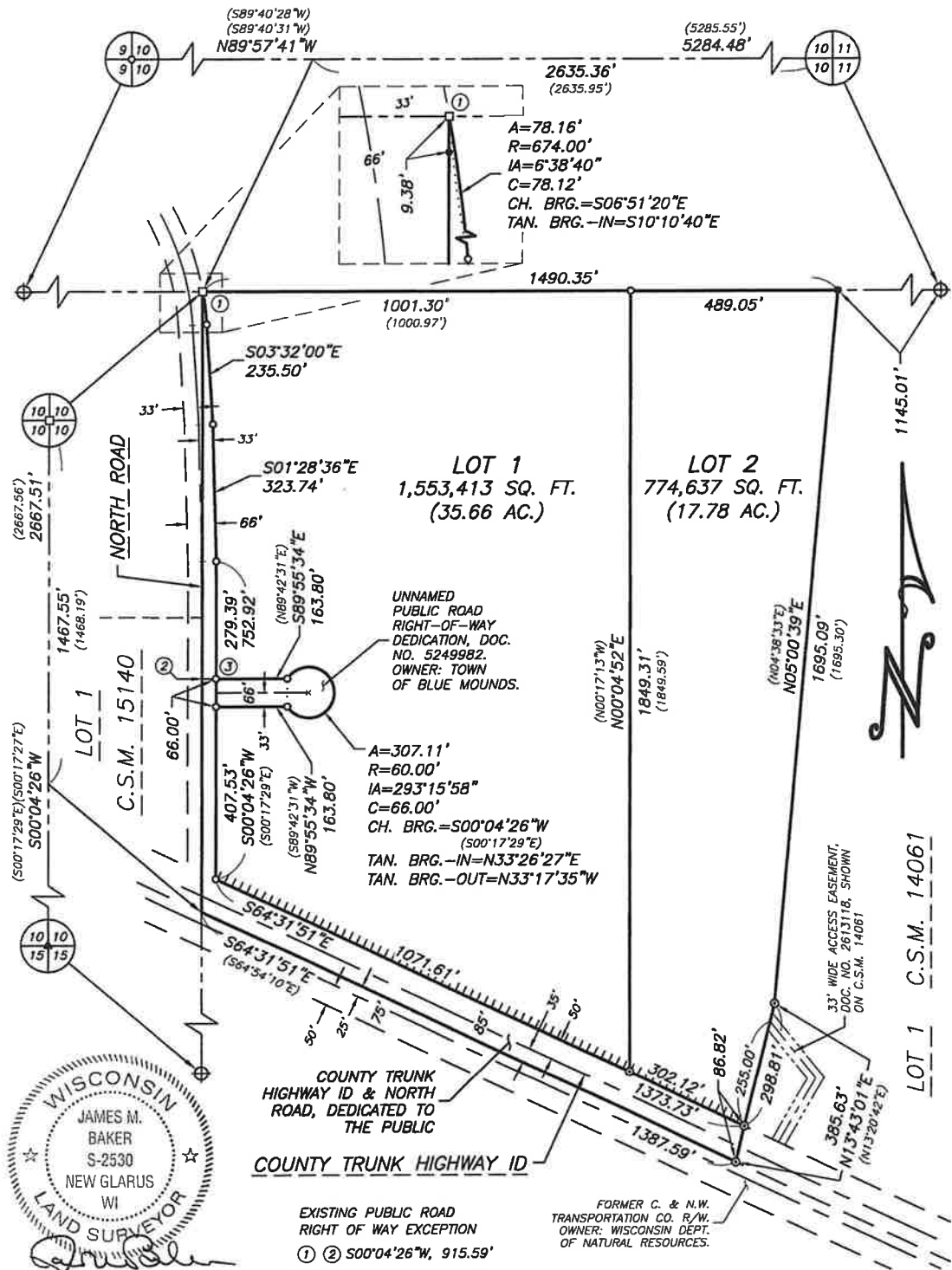
\$250.00 #1020

Date: 4/8/26

Fee Waived By: _____

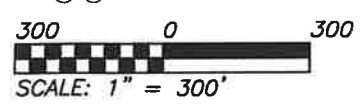
CERTIFIED SURVEY MAP No. _____

Part of the Northeast, Northwest, Southwest and Southeast 1/4s of the Southeast 1/4 of Section 10, Town 6 North, Range 6 East, Town of Blue Mounds, Dane County, Wisconsin.



WISCONSIN
 JAMES M. BAKER
 S-2530
 NEW GLARUS
 WI
 LAND SURVEYOR

[Signature]
 4/6/2026



TALARCZYK
 LAND SURVEYS

517 2nd Avenue
 New Glarus, WI 53574
 608-527-5216
 www.talarczyklandsurveys.com

JOB NO. 26009
 POINTS 18189
 DRWG. 26009_1
 DRAWN BY JMB

SHEET 1 OF 3

CERTIFIED SURVEY MAP NO. _____

That part of the Northeast, Northwest, Southwest and Southeast 1/4s of the Southeast 1/4 of Section 10, Town 6 North, Range 6 East, Town of Blue Mounds, Dane County, Wisconsin, bounded and described as follows:

Commencing at the East 1/4 corner of said Section 10; thence N89°57'41"W along the East-West 1/4 line of Section 10, 1145.01' to the point of beginning; thence N89°57'41"W, 1490.35' to the center of Section 10; thence S00°04'26"W along the West line of the Southeast 1/4 of Section 10, 1467.55' to the Southerly right of way line of County Trunk Highway 1D; thence S64°31'51"E along said right of way line, 1387.59'; thence N13°43'01"E, 385.63'; thence N05°00'39"E, 1695.09' to the point of beginning; subject to public road rights of way as shown and to any and all easements of record.

Except an existing public road right of way bounded and described as follows:

Commencing at the East 1/4 corner of said Section 10; thence N89°57'41"W along the East-West 1/4 line of Section 10, 2635.36' to the center of Section 10; thence S00°04'26"W along the West line of the Southeast 1/4 of Section 10, 915.59'; thence S89°55'34"E, 33.00' to the point of beginning; thence S89°55'34"E, 163.80'; thence Southerly, 307.11' along the arc of a curve to the right whose radius is 60.00' and whose chord bears S00°04'26"W, 66.00'; thence N89°55'34"W, 163.80' to the Easterly right of way line of North Road; thence N00°04'26"E along the Easterly right of way line of North Road, 66.00' to the point of beginning.

I hereby certify that this survey is in compliance with Section 236.34 of the Wis. Statutes and the subdivision regulations of the Town of Blue Mounds and the Village of Mt. Horeb; and that under the direction of Larry Jenkins, I have surveyed, monumented, and mapped the lands described hereon; and that this map is a correct representation of all exterior boundaries of the land surveyed in accordance with the information provided.

April 6, 2026


James M. Baker, P.L.S.



LEGEND:



Railroad spike found



Cast aluminum monument found



Concrete monument with brass cap found



1-1/4" x 24" solid round iron rod set, weighing 4.30 lbs per lineal foot

○ 1-1/4" iron pipe found

○ 3/4" x 24" solid round iron rod set, weighing 1.50 lbs per lineal foot

TTTTTT CONTROLLED ACCESS

NOTES:

- 1.) Bearings are referenced to the Wisconsin County Coordinate System, Dane County Zone, NAD83 (2011), in which the East-West 1/4 line of Section 10 bears N89°57'41"W.
- 2.) Recorded data, when different than measured, is shown in parenthesis.
- 3.) County Trunk Highway 1D is a controlled access highway pursuant to Chapter 79, Dane County Code of Ordinances.

PREPARED FOR:
Larry Jenkins
5114 Comanche Way
Madison, WI 53704
(608) 770-3032

JOB NO. 26009
POINTS 18189
DRWG. 26009_1
DRAWN BY JMB

SHEET 2 OF 3

 **TALARCZYK**
LAND SURVEYS
517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyksurveys.com

CERTIFIED SURVEY MAP NO. _____

Part of the Northeast, Northwest, Southwest and Southeast 1/4s of the Southeast 1/4 of Section 10, Town 6 North, Range 6 East, Town of Blue Mounds, Dane County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION:

As owner, I hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented hereon. I also certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: The Town of Blue Mounds, The Village of Mt. Horeb.

WITNESS the hand and seal of said owner this _____ day of _____, 20_____.
In the presence of:

Mary S. Thompson, Trustee
Mary S. Thompson Revocable Trust

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20_____, the above named Mary S. Thompson, trustee of the above named trust, to me known to be the same person who executed the foregoing instrument and acknowledged the same.

My commission expires _____.

TOWN APPROVAL: This Certified Survey Map and the public dedication shown hereon is approved for recording this _____ day of _____, 20_____ by the Town of Blue Mounds.

Town Clerk

VILLAGE APPROVAL: Approved for recording this _____ day of _____, 20_____ by the Village of Mt. Horeb.

Village Clerk

REGISTER OF DEEDS CERTIFICATE: Received for record this _____ day of _____, 20_____ at _____ o'clock _____M., and recorded in Vol. _____ of Certified Survey Maps of Dane Co., on Pages _____.

Kristi Chlebowski, Register of Deeds



4/6/2026

JOB NO. 26009
POINTS 18189
DRWG. 26009_1
DRAWN BY JMB

SHEET 3 OF 3

TALARCZYK
LAND SURVEYS
517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyksurveys.com



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 5.a

Consideration of Downtown Design Alteration Review for 105 E Main Street

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. 2026 Cert Application
2. Building & Stone Marker



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: 105 E. Main St

Project Address 105 E. main St **Parcel Number:** 0606-123-2207-5

[Access Dane Link](#)

Zoning Map

Current Zoning CB at the time of request **Future Land Use Zoning:** _____
 ([select zoning layer in map](#)) ([select future land use layer in map](#))

APPLICANT: <u>KERIC POTTERTON</u>	
ADDRESS: <u>900 High Point Road Dodgeville</u>	
PHONE: <u>608-574-7045</u>	EMAIL: <u>kpotterton@pottertonrule.com</u>

OWNER:	
ADDRESS:	
PHONE:	EMAIL:

PROJECT DESCRIPTION: Painting trim black, including trim around front windows, siding above large front windows & doors, curb & upper window trim on alley side windows, paint brick under large window white to match upper brick

OWNER/APPLICANT SIGNATURE:  **DATE:** 7 April 2026

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-	Developer Deposit: An escrow deposit is required in accordance with the Development Application Agreement. Total Fee Paid: _____ Date: _____ Fee Waived By: _____
<input checked="" type="checkbox"/> Certificate of Appropriateness (for Central Business Zoning)	No Fee		
<input type="checkbox"/> Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule		
<input type="checkbox"/> Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule		
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One	
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two	
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two	
<input type="checkbox"/> Design Review	\$100.00		
<input type="checkbox"/> General Development Plan (GDP)	\$200.00		
<input type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00		
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two	
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two	

My request is to paint what is currently blue to black. So, the siding above the big windows, both doors, the curb and the trim around the upper window in front and also in the alley side. The brick under the front large windows would go to white to make the brick above the front windows. Also, the cement panel -that says BANK and the year will be highlighted in black.



Stone Marker





AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 5.b

Consideration of Downtown Design Alteration Review for 101 E Main Street

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Hoff Mall & Apartments PC Application
2. Hoff Mall Awnings & Trim - Mall Only



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: Hoff Mall & Hoff Apartments - Exterior Updates

Project Address 101 E Main & 100 E Front Streets **Parcel Number:** NA
[Access Dane Link](#)

Zoning Map

Current Zoning DMU **Future Land Use Zoning:** NA
[\(select zoning layer in map\)](#) [\(select future land use layer in map\)](#)

APPLICANT: Karen Johnson for Hoff Associates of Mt. Horeb, LLP	
ADDRESS: 101 E. Main Street, Suite 500 - Mount Horeb, WI 53572	
PHONE: 608-237-1300	EMAIL: kjohnson@gallinacos.com

OWNER: Hoff Associates of Mt. Horeb, LLP	
ADDRESS: 101 E. Main Street, Suite 500 - Mount Horeb, WI 53572	
PHONE: 608-237-1300	EMAIL: kjohnson@gallinacos.com

PROJECT DESCRIPTION: Replace existing awnings on E. Main Street, S. First Street and E. Front Street with fabric that is black with gold stripes, paint window frames around apartments on 2nd floor of Hoff Mall Building, tuck pointing of Hoff Mall Building

OWNER/APPLICANT SIGNATURE: **DATE:** 4/17/26

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-
<input type="checkbox"/> Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two
<input checked="" type="checkbox"/> Design Review	\$100.00	
<input type="checkbox"/> General Development Plan (GDP)	\$200.00	
<input type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00	
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two

Developer Deposit:
 An escrow deposit is required in accordance with the Development Application Agreement.
Total Fee Paid: _____
Date: _____
Fee Waived By: _____



proposed



existing



- Replace awnings to give the building a fresh look - fabric sample is attached (black with gold stripes). The apron along the bottom of these would be black. (We are also planning on replacing all of the awnings on the apartment building at 100 E. Front Street – Zoned PUD)
- Paint the window frames on 2nd floor of the Hoff Mall Building to black so these also maintain the same blending with the building and awnings.

New signage permit approved 4/16/26



Proposed -Hoff Mall along 1st Street



PUD Zoning-Existing Apartment building – Front & First Street

Replacing awnings

Niki Erickson

From: Building Inspector
Sent: Monday, April 20, 2026 12:16 PM
To: Niki Erickson
Subject: FW: Sign Permit and More for Hoff Mall
Attachments: Awning Fabric.jpg

From: Karen Johnson <kjohnson@gallinacos.com>
Sent: Thursday, April 16, 2026 9:42 AM
To: Building Inspector <mhbuildinginspector@mounthorebwi.info>
Subject: Re: Sign Permit and More for Hoff Mall

Hello Jean.

Thank you so much for the information you provided this morning. The following are the improvements we are proposing for the Hoff Mall Building:

- Replace awnings to give the building a fresh look - fabric sample is attached (black with gold stripes). The apron along the bottom of these would be black. We are also planning on replacing all of the awnings on the apartment building at 100 E. Front Street, so both buildings are cohesive in appearance.
- Paint the window frames on 2nd floor of the Hoff Mall Building to black so these also maintain the same blending with the building and awnings.
- Curt Ostrander will be doing a little tuck pointing on the building, as we try to keep this updated so the building maintains its structure.
- The signage which was submitted by SignArt will be attached to the front of the windows of the Hoff Mall building.

As I mentioned, we have already ordered and submitted a downpayment for the awnings, for which I apologize for. I was not aware that a permit needed to be issued for this, so I truly hope the improvements that I've mentioned will meet the committee's approval.

If there is any additional information you need, please don't hesitate to contact me.

Again, thank you.

Karen Johnson
Executive Relations Officer



101 East Main Street, Suite 500
Mount Horeb WI 53572
P: 608.237.1300 | www.gallinacompanies.com





AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 5.d

Recommendation of Certified Survey Map for 221 S Fourth Street

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. 221s4thPlanCommApp
2. 221 S. Fourth Street CSM Staff Report 4.22.26



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: _____

Project Address _____ **Parcel Number:** _____

[Access Dane Link](#)

Zoning Map

Current Zoning _____ **Future Land Use Zoning:** _____

(select zoning layer in map)

(select future land use layer in map)

APPLICANT:	
ADDRESS:	
PHONE:	EMAIL:

OWNER:	
ADDRESS:	
PHONE:	EMAIL:

PROJECT DESCRIPTION: _____

OWNER/APPLICANT SIGNATURE: _____ **DATE:** _____

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-
<input type="checkbox"/> Certificate of Appropriateness (for Central Business Zoning)	No Fee	
<input type="checkbox"/> Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two
<input type="checkbox"/> Design Review	\$100.00	
<input type="checkbox"/> General Development Plan (GDP)	\$200.00	
<input type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00	
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two

Developer Deposit:

An escrow deposit is required in accordance with the Development Application Agreement.

Total Fee Paid:

Date: _____

Fee Waived By:

The Village of Mount Horeb Plan Commission meets the fourth Wednesday of the month, unless noted on calendar. A schedule of deadlines can be found on the Zoning page of the Village website: [Plan Commission Calendar](#). **Consultation with the Village Administrator is highly encouraged to discuss procedure and necessary forms prior to any submittal.**

Note: applications requiring a public hearing will be scheduled for a hearing according to the publication deadline, with action considered at the scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Village Administrator for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Class One = Published in newspaper for one week / Class Two = Published in newspaper for two weeks

Application submittals should include:

- 1) Fully executed **Plan Commission Application**
- 2) Fully executed **Development Application Agreement** (attached)
 - A development agreement is a voluntary contract between a local jurisdiction and a person who owns or controls property within the jurisdiction, detailing the obligations of both parties and specifying the standards and conditions that will govern development.
- 3) Full payment for all associated fees
- 4) Written narrative of the proposed project
- 5) One electronic copy of **full submittal**
 - emailed to (2 parties) Nic.Owen@mounthorebwi.info and mhbuildinginspector@mounthorebwi.info,
 - or provided to our offices on a USB device or submitted via downloaded file

All **submittals** must contain the following to be considered complete:

- 1) Written narrative must include:
 - a. Owner and/or developer names and addresses
 - b. Where applicable; architect and/or engineer names and addresses
 - c. Description of proposed uses
 - d. Calculation indicating total site size, building floor area, number of parking stalls, amount of impervious surface, and amount of non-impervious green space
- 2) A scaled site plan which must include:
 - a. Name of project and date of plan preparation
 - b. Scale of drawing and north arrow
 - c. Property boundaries
 - d. Where applicable; both the one hundred (100) year recurrence interval floodplain and the floodway delineations
 - e. Where applicable; wetlands as delineated in the WDNR Wetland Inventory and 75' setback line from such wetlands
 - f. Existing and proposed easements on the subject property
 - g. Adjoining public street rights-of-way, street pavements, and sidewalk locations; existing and proposed driveways and curb cuts; and parking and loading areas
 - h. Location of existing and proposed building footprints with building and yard setback lines indicated
 - i. Location and size of any existing or proposed signs and fencing
 - j. Location and type of all outdoor lighting proposed to illuminate the site; including a photometrics plan of the site ([See Village Code Chapter 17.14 \(4\)](#))

- 3) Building Plans which must include:
 - a. Elevation drawing of each new or remodeled building façade, indicating height, materials and building dimensions
 - b. Colored renderings of all façades of the principal building showing the proposed colors
 - c. Building materials samples (upon request)
- 4) Grading and Stormwater Management Plan, including:
 - a. Existing and proposed topography shown at a contour interval of not less than two (2) feet at National Geodetic Vertical Datum
 - b. Location and dimension of Stormwater retention or detention basins and/or stormwater conveyances
- 5) Landscape Plan that meets all landscaping standards ([See Village Code Chapter 17.14\(25-27\)](#))
- 6) Parking Calculations
- 7) Escrow fees as outlined in the Development Application Agreement
- 8) Erosion Control and Stormwater Management Application and fees. *No person may begin a land disturbing construction activity or land developing activity subject to this division until the person has paid the Erosion Control Review and Inspection fee.
- 9) Erosion Control Plan
- 10) Signage Plan ([Village Code Chapter 17.171](#))
- 11) Design Review guideline ([See Village Code Chapter 17.14](#))
- 12) Refer to [Mount Horeb Village Code Chapter 17-Zoning Code](#) for all supporting details of required documentation.

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the “Agreement”) is made and entered into this ___ day of _____, _____, by and between the Village of Mount Horeb, a Wisconsin municipal corporation (the “Village”), and _____ (the “Applicant”).

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village’s jurisdiction: site plan / conditional use permit / rezone / variance / other development (hereinafter referred to as the “Development”).
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village’s discretion and that the Applicant’s compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (*e.g.*, engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village’s review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (*e.g.*, engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as “Review Costs.” Village staff time shall be charged at current rates.

3. *Deposit Required to Fund Reimbursement Account.*

- a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the “Deposit”). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions (<2,500 sf) shall require a \$1,500 Deposit.
- (2) Small-sized projects (<5,000 sf) shall require a \$3,500 Deposit.
- (3) Medium-sized projects (<10,000 sf) shall require a \$5,500 Deposit.
- (4) Large-sized projects (>10,000 sf) shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier’s check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non-interest-bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the “Reimbursement Account”).

4. *Village Withdrawals from the Reimbursement Account.*
- a. After complying with the notification requirements of paragraph 4.b. below, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
 - b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
 - c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
 - d. Any amounts remaining in the Reimbursement Account after the Village has taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.
5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.
6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Mount Horeb
 Village Administrator
 138 East Main Street
 Mount Horeb, WI 53572
 Email: Nic.Owen@mounthorebwi.info

To Applicant: _____

Email: _____

7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

VILLAGE OF MOUNT HOREB

By: _____
Nicholas W Owen
Administrator

APPLICANT

By: _____
Print name: _____
Title: _____



VANDEWALLE & ASSOCIATES INC.

CERTIFIED SURVEY MAP REVIEW REPORT TO THE PLAN COMMISSION

DATE: April 22, 2026

EXISTING ZONING: TF-1, Two-Family Residential

PROPERTY ADDRESSES: 221 S. Fourth Street

PROPOSED ZONING: TF-1, Two-Family Residential

PARCEL NUMBER: 060612369516

EXISTING LAND USE: Single-Family Residential

OWNER: Ben and Serena Vondra

REQUESTED USES: Single-Family Residential

APPLICANT: Ben and Serena Vondra

BACKGROUND ON CSM REVIEW:

Section 18.23 of the Village of Mount Horeb Subdivision Ordinance outlines the procedural requirements associated with a Certified Survey Map (CSM). This section states that standards associated with a preliminary plat shall be required unless specifically waived by the Village Board. Those standards include items such as design standards, public improvements, compliance with state statutes, and dedication or reservation of lands for public purposes. It also states that the CSM must conform to the minimum dimensional requirements of the zoning district in which it is located.

REQUEST OVERVIEW:

The applicant is seeking to split an existing parcel into two to accommodate an additional single-family home on the new parcel being created through the CSM.

The existing parcel is 16,000 square feet and bounded by Fourth Street, Garfield Street, and a public alley. Its located within a mixed residential neighborhood of single and two-family homes, south of downtown Mount Horeb.

Following the CSM, two lots would be created:

- Lot 1: 9,447 sf (with the existing home)
- Lot 2: 6,551 sf (accommodate the new home)

This type of lot split would not have been permitted under the previous Zoning Ordinance. However, with the reduced lot sizes and setbacks created within the new Zoning Ordinance, its possible to accommodate a new dwelling unit on a separate parcel within this existing neighborhood.



CSM REVIEW:

The proposed Certified Survey Map is planned to split the existing parcel into two developable lots. The Subdivision Ordinance requires that the CSM be reviewed by the Plan Commission for consistency with all other ordinances, laws, rules, regulations, and plans. There are no public improvements associated with the CSM, so none of the ordinance’s standards for design or dedication of land for public purposes are applicable.

The Zoning Ordinance has minimum and maximum density, intensity, and bulk regulations for all properties in the Village. As further described below, the two new parcels proposed to be created via the CSM meet the minimum standards for the TF-1 zoning district.

Lot 1

Requirement	Size	Proposed CSM
Minimum Lot Area	5,000 sf	9,447 sf
Minimum Lot Width	50 ft	100 ft
Minimum Lot Frontage at ROW	30 ft	100 ft
Minimum Front Setback	20 ft	30 ft
Minimum Side Setback	8 ft	>8 ft
Minimum Rear Setback	20 ft	20 ft

Lot 2*

Requirement	Size	Proposed CSM
Minimum Lot Area	5,000 sf	6,551 sf
Minimum Lot Width	50 ft	65 ft
Minimum Lot Frontage at ROW	30 ft	65 ft

*To note, the future single-family home to be located on Lot 2 will need to conform to all required setbacks for the TF-1 zoning district. However, this will be determined by the Building Inspector when building permit plans are submitted to the Village by the applicant. Plan Commission review and approval is not required for single-family home construction.

PUBLIC NOTICE:

Public notice is not required for review and action on a CSM.

COMPREHENSIVE LAND USE PLAN (2022):

The subject property is shown as Single-Family Residential on the Future Land Use Map. This designation includes mainly single-family uses, in addition to parks, recreation, and other institutional land uses. The proposed development aligns with the future land use map designation. Staff believe the proposal is in concert with the Comprehensive Plan.

DISCUSSION:

This project is one of the first to be enabled by the new Zoning Ordinance and it’s providing an opportunity to see how the new code’s flexibility is allowing for greater housing opportunity with the Village. As noted above, under the previous code, this lot split would not have been possible due to large lot size and setback requirements. However, this type of lot split and additional housing unit fits well within the context of the existing neighborhood and will allow the property owner to bring their in-laws to the community and live in a

highly walkable and desirable area of Mount Horeb. Overall, the proposed CSM meets the requirements of the Village's ordinances, is in alignment with adopted Village plans, and provides new tax base and housing units in the community.

Village staff have reviewed the application, and all comments have been included within this document.

RECOMMENDATION:

Village staff recommends approval of the CSM, subject to the following conditions:

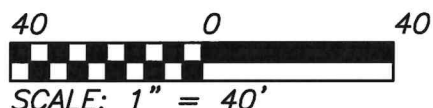
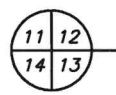
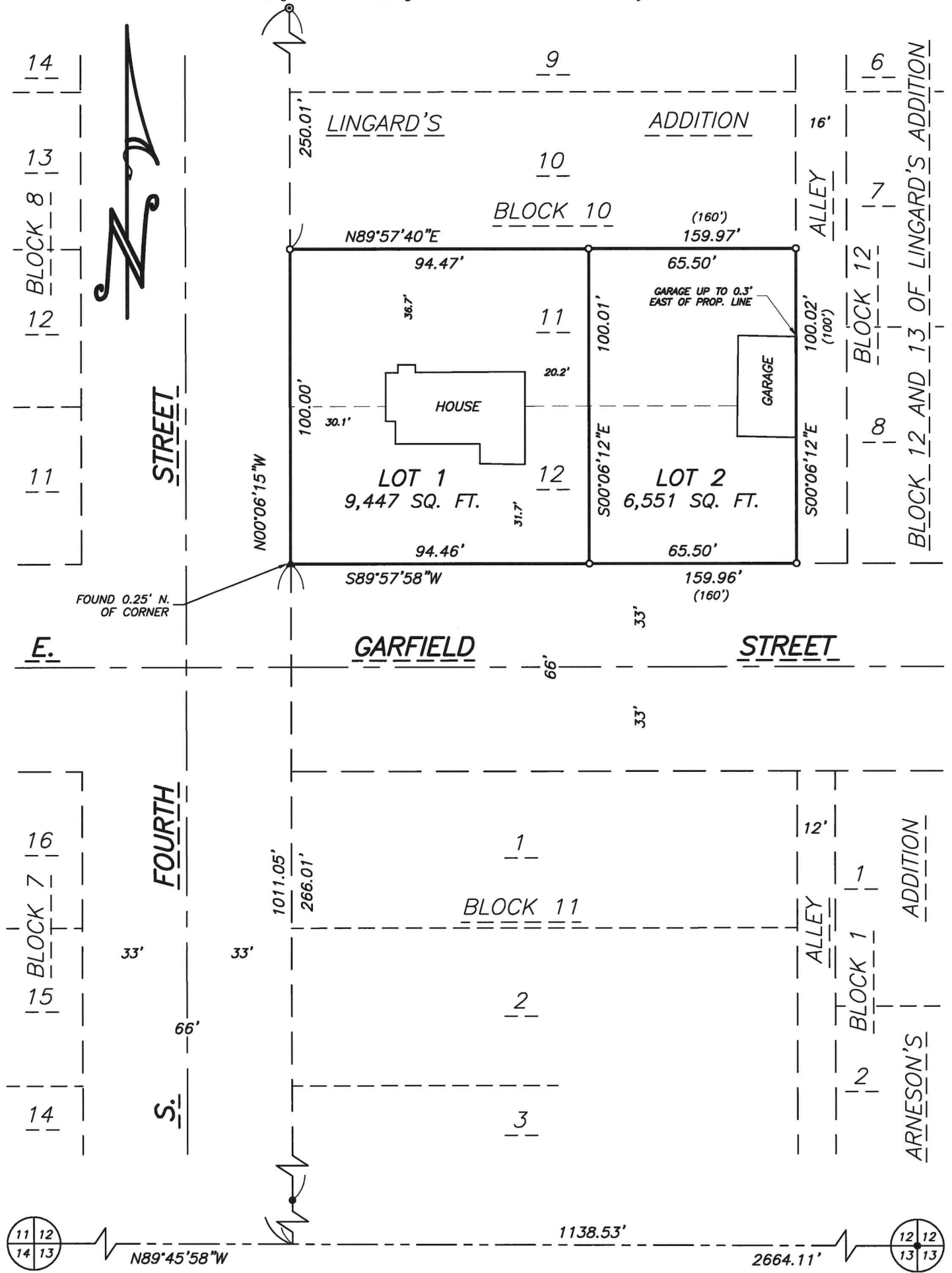
1. Any other recommendations of Village staff and the Plan Commission.

ATTACHMENTS:

- Application
- CSM
- Bulk Dimensions
- Buildable Area Map
- Original Neighborhood Plat

CERTIFIED SURVEY MAP NO. _____

Lots 11 and 12 of Block 10 of Lingard's Addition to Mt. Horeb, being in the Southeast 1/4 of the Southwest 1/4 of Section 12, Town 6 North, Range 6 East, Village of Mt. Horeb, Dane County, Wisconsin.



SCALE: 1" = 40'

JOB NO. 26064
 POINTS 26064
 DRWG. 26064_1
 DRAWN BY MST

SHEET 1 OF 3

TALARCZYK
 LAND SURVEYS LLC
 517 2nd Avenue
 New Glarus, WI 53574
 608-527-5216
 www.talarczyk-surveys.com

CERTIFIED SURVEY MAP No. _____

Lots 11 and 12 of Block 10 of Lingard's Addition to Mt. Horeb, being in the Southeast 1/4 of the Southwest 1/4 of Section 12, Town 6 North, Range 6 East, Village of Mt. Horeb, Dane County, Wisconsin, bounded and described as follows:

Commencing at the South 1/4 corner of said Section 12; thence N89°45'58"W along the South line of Section 12, 1138.53'; thence N00°06'15"W, 1011.05' to the East right of way line of S. Fourth Street and the point of beginning; thence N00°06'15"W along said right of way line, 100.00'; thence N89°57'40"E, 159.97'; thence S00°06'12"E, 100.02' to the North right of way line of E. Garfield Street; thence S89°57'58"W along said right of way line, 159.96' to the point of beginning; subject to any and all easements of record.

I hereby certify that this survey is in compliance with Section 236.34 of the Wis. Statutes and the subdivision regulations of the Village of Mt. Horeb and that under the direction of Ben Vondra, I have surveyed, monumented, and mapped the lands described hereon; and that this map is a correct representation of all exterior boundaries of the land surveyed in accordance with the information provided.

March 24, 2026

Robert A. Talarczyk, P.L.S.

NOTES:

- 1.) Bearings are referenced to the Wisconsin County Coordinate System, Dane County Zone, NAD83 (2011), in which the South line of the Southwest 1/4 of Section 12 bears N89°45'58"W.
- 2.) Recorded data, when different than measured, is shown in parenthesis.

LEGEND:



Concrete monument with brass cap found



3/4" solid round iron rod found

- 1" iron pipe found
- 3/4" solid round iron rod found
- ▲ 1" x 0.25" iron bar found
- 3/4" x 24" solid round iron rod set, weighing 1.50 lbs per lineal foot

PREPARED FOR:

Ben Vondra
214 S. 5th Street
Mt. Horeb, WI 53572
(608) 219-9325

JOB NO. 26064
POINTS 26064
DRWG. 26064_1
DRAWN BY MST

SHEET 2 OF 3

 **TALARCZYK**
LAND SURVEYS LLC
517 2nd Avenue
New Glarus, WI 53574
608-527-5216
www.talarczyksurveys.com

CERTIFIED SURVEY MAP No. _____

Lots 11 and 12 of Block 10 of Lingard's Addition to Mt. Horeb, being in the Southeast 1/4 of the Southwest 1/4 of Section 12, Town 6 North, Range 6 East, Village of Mt. Horeb, Dane County, Wisconsin.

OWNER'S CERTIFICATE:

As owners, we hereby certify that we have caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented hereon. We also certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: Village of Mt. Horeb.

WITNESS the hand and seal of said owners this _____ day of _____, 20_____.
In the presence of:

Benjamin Vondra

Serena Vondra

STATE OF WISCONSIN)

_____ COUNTY) SS

Personally came before me this _____ day of _____, 20_____, the above named Benjamin Vondra and Serena Vondra to me known to be the same persons who executed the foregoing instrument and acknowledged the same.

My commission expires _____.

VILLAGE APPROVAL: Approved for recording this _____ day of _____, 20____ by the Village of Mt. Horeb.

Village Clerk

REGISTER OF DEEDS CERTIFICATE: Received for record this _____ day of _____, 20____ at _____ o'clock _____M., and recorded in Vol. _____ of Certified Survey Maps of Dane Co., on Pages _____.

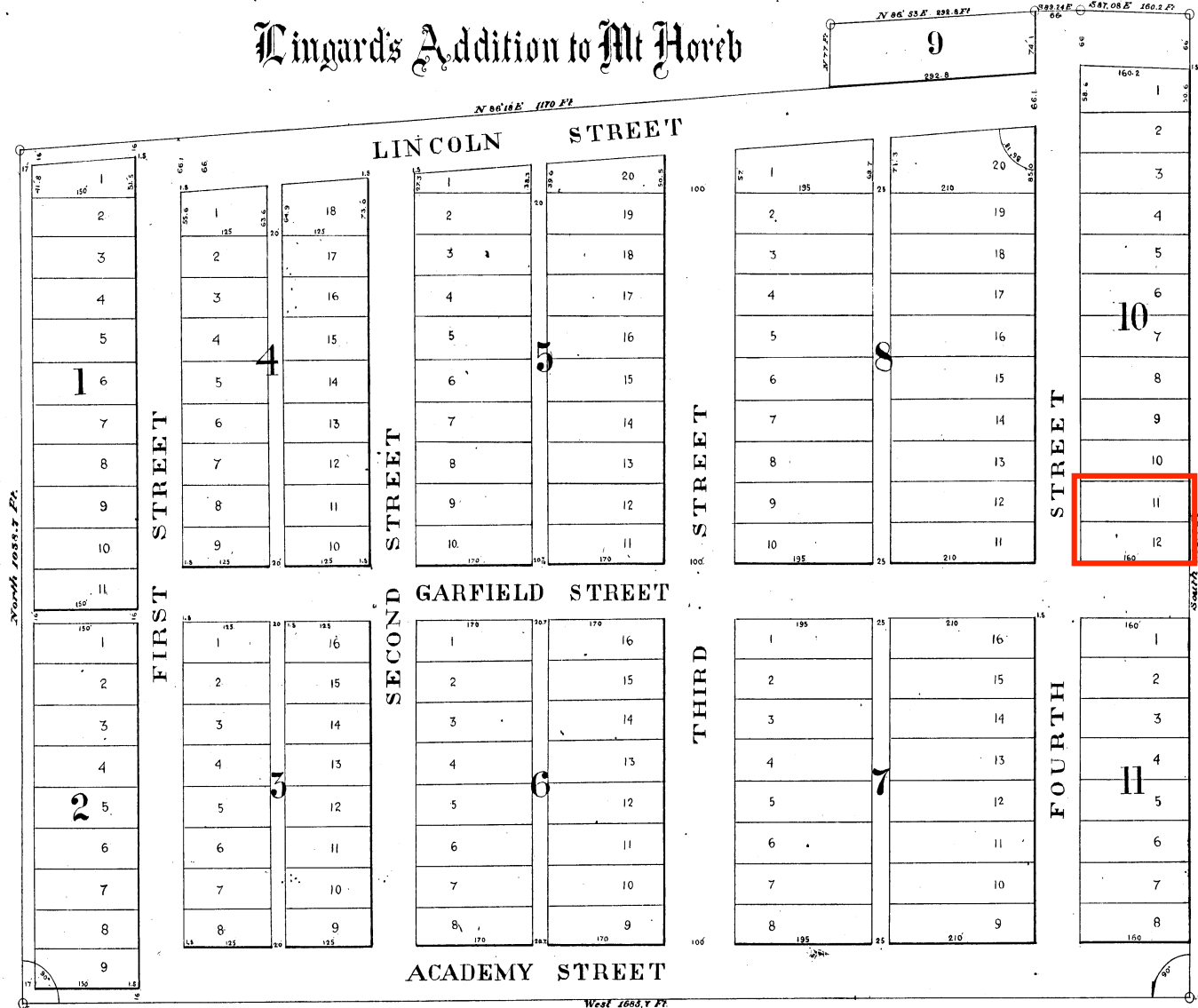
Kristi Chlebowski, Register of Deeds

JOB NO. 26064
POINTS 26064
DRWG. 26064_1
DRAWN BY MST

SHEET 3 OF 3


TALARCZYK
LAND SURVEYS LLC
517 2nd Avenue
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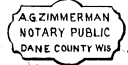
Lingard's Addition to Mt Horeb



I hereby certify that the accompanying map is a correct representation of the exterior boundaries and subdivisions as made by me, by the order and the direction of T.G. Lingard, of the following described piece of land, viz. beginning at a point on the line between sections 11 and 12, 13 and 14, T. 6 N. R. 6 E. Dane Co., thence north on said section line 1038.2 Ft. to the right of way of the C and NW Ry Co., thence along said right of way, N 86° 18' E 1170 Ft., North 77 Ft., N 66° 53' E 292.8 Ft., S 89° 24' E 66 ft., S 87° 06' E 160.2 Ft., thence South 1188.6 Ft., thence West 1685.7 Ft. to the place of beginning, being part of section 12, township and range aforesaid; that in making such survey, and subdivisions, and in mapping the same, I have fully complied with chapter 101, revised statutes 1878 Wisconsin; Iron stakes have been driven at points marked L5. The lots are 50 feet wide unless otherwise noted and the length of streets are 66 feet wide, excepting Third Street, which is 100 feet wide. Scale 100 feet to one inch
W.L. Marcy, Surveyor.

I hereby certify that I caused the land described in the foregoing certificate of W.L. Marcy, surveyor to be surveyed and mapped, as represented on the within map.
A.T. Rogers } Witnesses
A.G. Zimmerman } Thomas G. Lingard.

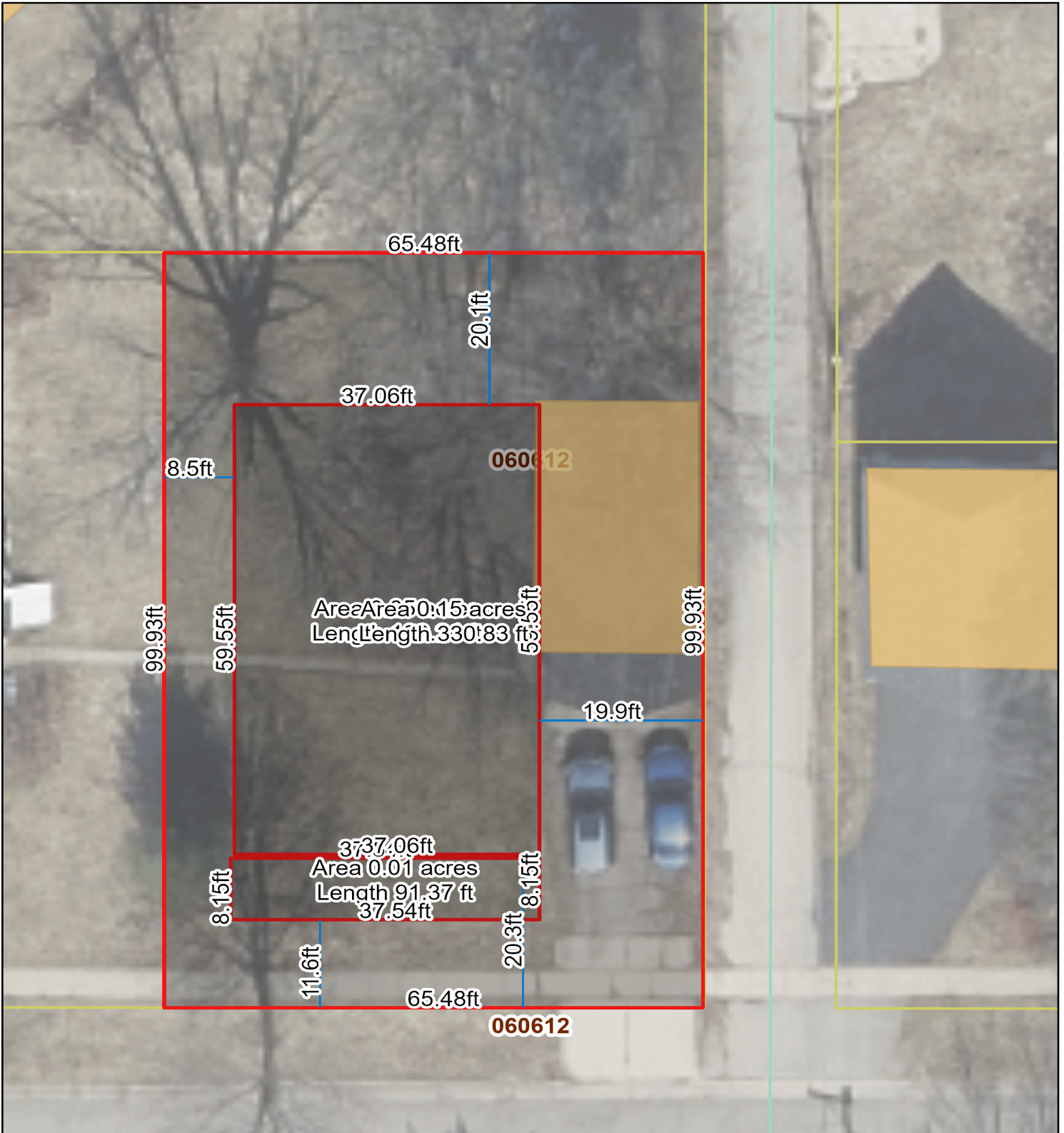
State of Wisconsin } Personally came before me this 20th day of September 1895 the above
County of Dane } named T.G. Lingard, to me known to be the person who executed the fore-
going instrument and acknowledged the same



A.G. Zimmerman,
Notary Public
Dane Co Wis

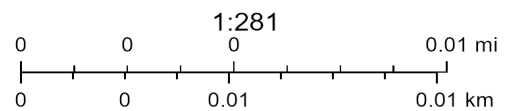
Recorded at 3 pm
September, 1895.

11 12
SECTION
CORNERS
14 13



March 30, 2026

- Building Footprint ColorOrtho3Inch2024Web
- Survey Townships Red: Red
- Sections Green: Green
- Parcels Blue: Blue
- Alleys



Dane County Land Information Office (LIO), Fly Dane Partnership, Ayres Associates, Wisconsin Regional Orthoimagery Consortium (WROC)



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 5.e

Consideration of Site Plan Review for 1348 Field Court

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. 1348 Field Court CSM and Site Plan Staff Report 4.22.26



VANDEWALLE & ASSOCIATES INC.

CERTIFIED SURVEY MAP AND SITE PLAN REVIEW REPORT TO THE PLAN COMMISSION

DATE: April 22, 2026

APPLICANT: Nick Olday, Known Prime Properties, LLC

PROPERTY ADDRESSES: 1348 Field Court

EXISTING ZONING: MF-1, Multi-Family Residential

PARCEL NUMBER: 060612166306

PROPOSED ZONING: MF-1, Multi-Family Residential

OWNER: Known Prime Properties, LLC

EXISTING LAND USE: Apartments

REQUESTED USES: Duplexes

BACKGROUND ON CSM AND SITE PLAN REVIEW:

Section 17.10.43 of the Village of Mount Horeb Zoning Ordinance outlines the requirements for the Site Plan application. This requires review of the proposed development’s building configuration, site layout and access, parking, exterior building design, landscaping, grading and erosion, stormwater, exterior lighting, signage, and operational plan.

Section 18.23 of the Village of Mount Horeb Subdivision Ordinance outlines the procedural requirements associated with a Certified Survey Map (CSM). This section states that standards associated with a preliminary plat shall be required unless specifically waived by the Village Board. Those standards include items such as design standards, public improvements, compliance with state statutes, and dedication or reservation of lands for public purposes. It also states that the CSM must conform to the minimum dimensional requirements of the zoning district in which it is located.

REQUEST OVERVIEW:

The applicant is proposing to split an existing 28,514 square foot parcel into two lots to accommodate a new residential development on the existing vacant portion of the lot. The CSM would create two new lots:

- **Lot 1:** 16,150 sf to accommodate the existing 4-unit apartment building, driveway, and parking area
- **Lot 2:** 12,297 sf to accommodate two new proposed duplex buildings, driveway, and parking area

The existing property is surrounded by a mixed residential neighborhood that includes apartments, duplexes, and single-family homes. Properties directly to the east are zoned TF-1 and zoned SF-1 to the north.



The proposed new use of Lot 2 will be two two-unit buildings. Within the Village’s Zoning Ordinance, the MF-1 Zoning District permits Duplex land uses by-right. Other proposed property changes include:

- New driveway and surface parking lot connecting to each new building
- Landscaping
- Exterior lighting

Within the new Zoning Ordinance, only new additions, improvements, and development are subject to the requirements of the ordinance. This memo reviews only those proposed new features of the site and its operations.

CSM REVIEW:

The proposed Certified Survey Map is planned to split the existing parcel into two developable lots. The Subdivision Ordinance requires that the CSM be reviewed by the Plan Commission for consistency with all other ordinances, laws, rules, regulations, and plans. There are no public improvements associated with the CSM, so none of the ordinance’s standards for design or dedication of land for public purposes are applicable.

The Zoning Ordinance has minimum and maximum density, intensity, and bulk regulations for all properties in the Village. As further described below, the two new parcels proposed to be created via the CSM meet the minimum standards for the MF-1 zoning district.

SITE PLAN REVIEW:

The proposed improvements to the properties are required to meet the minimum dimensional standards of the zoning district. These requirements are met, as shown below.

Requirement	Standard	Proposed Development (New Lot 1)	Proposed Development (New Lot 2)*
Minimum Lot Area	10,000 sf	16,150 sf	12,297 sf
Minimum Lot Width	75'	111'	100'
Minimum Lot Frontage at ROW	30'	111'	100'
Minimum Front Setback	20'	30'	20'
Minimum Side Setback	8'	8'	13' and 22'
Minimum Rear Setback	20'	95'	23'
Maximum Principal Building Height	40'	N/A	37'
Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	Front: 10' Side/Rear: 5'	Front: 18' Side: 5' Rear: 42'	Front: 20' Side: 5' and 8' Rear: 5'
Maximum Impervious Surface Ratio	70%	60%	54%
Maximum Density	1,200 sf/unit	4,037 sf/unit	3,099 sf/unit

*To note, multiple principal buildings are permitted on the same lot so long as all Building Code requirements are met for separation distances. Additionally, on-site stormwater will be handled with existing storm sewer.

The proposed Duplex land use is permitted as by-right use in the MF-1 Zoning District. Land use requirements include:

- In the case where any dwelling unit is under separate ownership, recorded covenants specifying respective obligations with regard to any common structures, such as the shared wall, roof, and other inseparable improvements, are required = N/A
- Lots are subject to an easement along and 6 feet on either side of the existing water and sewer laterals for the purposes of maintaining, improving, and repairing the same = Unknown
- The common wall between the units shall be a one-hour fire wall extending from the basement floor to flush against the underside of the roof = Met
- Each unit must provide a separate water lateral, sanitary sewer lateral, and electric utility service to each of the two dwelling units in the structure = Unknown
- Minimum required parking: 1 per dwelling unit = Met (one garage parking stall per unit proposed)

The proposed project has submitted the required elements for Site Plan review that are included within the attachment. Below is a review of the various other zoning standards that are required with the proposed development:

Access and Visibility Standards (Section 17.06.03)

- Multiple access points from one street can be approved through the Site Plan process on lots greater than 100 feet long = Met (1 access point per lot)
- No access is permitted within 30 feet of an intersection = Met (180+')
- Minimum driveway width is 14 feet = Met (18')
- Maximum driveway width is 24 feet wide = Met (18')
- At least one ped/bicycle access point to at least one street frontage is required = **Not Met (none provided)**
- All structures must be located outside of vision triangles at the right-of-way intersections = Met

Parking and Loading Standards (Section 17.06.06 and 17.06.07)

- All access points, drive isles, driveways, and parking areas must be constructed of a hard surface = Met
- Curbs are required around all traffic circulation, parking areas, and internal landscape islands = **Not Met (none provided)**
- Throat depth (distance between street access and traffic circulation area/parking area) must be a minimum of 20 feet = Met (20')
- All parking stalls must provide pavement markings = N/A (none proposed)
- Minimum parking stall dimensions are required to be 9 feet wide and 18 feet long = N/A (none proposed)
- Minimum parking isle widths are required to be 24 feet wide = N/A (none proposed)
- Minimum off-street parking stalls = Met (see above)
- No minimum number of on-site bicycle stalls are required = Met (within individual garages)

Exterior Lighting Standards (Section 17.06.20)

- Correlated Color Temperature (CCT) shall not exceed 2700 Kelvin = Met (2700 K)
- At the property line, a maximum of 0.1 footcandle is required = Unknown
- All fixtures shall have a IES zero-uplighting rating (U0) and be downward facing = Met
- The average on-site lighting intensity of illumination shall not be greater than 25% above the recommended by the IES within the Low Light Lighting Zone (LZ1) = Unknown
- The maximum height of all freestanding light fixtures is 20 feet = N/A (none proposed)

Outdoor Storage and Screening Standards (Section 17.06.21)

- All trash containment structures are required to be enclosed, a minimum of 6 feet in height, made of materials that match the exterior building design, and include an opaque gate = N/A (trash cans to be handled within each individual garage)
- All building mechanicals on the exterior of the building are required to be screened = Met (rear air conditioners for each unit will be screened with proposed 6' tall privacy screening along western property line)
- Outdoor storage areas must be screened = N/A (none proposed)

Fencing Standards (Section 17.06.40 and 17.06.41)

- Fencing materials can include wood, brick/masonry, stone, wrought iron, vinyl, chain link, metal cable within a solid frame, or other materials of similar quality = **Unknown**
- Wire mesh and chain link are not permitted within the front or street yard = **Unknown**
- Maximum height is 4 feet within front/street yards and 6 feet within side/rear yards = Met (6' privacy fence proposed along western property line)

Exterior Building Design Standards (Section 17.07.20)

There are defined exterior building design standards for different types of uses in the Zoning Code. This project is a multi-family use in the MF-1 Zoning District. Additionally, the design standards classify the following materials by type: Class I (brick, stone, glass), II (block, EIFS, stucco), or III (siding).

- Multi-family buildings shall be clad in Class I, II, or III materials = met (siding and stone veneer)
- Decorative metal wall panels may be used up to 30% of any façade area = N/A (none proposed)
- The primary entrance shall be on the front façade facing the street, provided covered and recessed 3' entries, and have an individual entry for individual entries in a residential design style = met (recessed individual unit entries)
- Façade lengths greater than 40' shall include horizontal or vertical façade articulation and/or roof form variation = **Somewhat Met (see discussion item below)**
- Total area of windows and doors shall comprise a minimum of 20% of the façade facing the street = Met (southwest elevation)
- On any façade facing a public street or parking area, hard and durable materials (block, brick, stone, etc.) shall be required within 40" of the adjacent grade = Met (stone veneer on southwest elevation)
- Primary colors are prohibited = Met (dark neutral colors proposed)
- Decorative and articulated metal roofs may be permitted by the Plan Commission = N/A (none proposed)
- Roof form shall be compatible with buildings in the immediate area = Met (pitched to match)
- All façade openings shall be articulated and appropriately trimmed and all exterior building apparatus shall blend colors and features to exterior design = Met
- Ground-level patios and decks facing the street shall be bordered with landscaping = N/A (patios face western property line)
- Exterior stairs are not permitted on the front or street side of the building = N/A (none proposed)
- Upper-story decks and balconies shall be cantilevered, supported by vertical columns, or supported from above = N/A (none proposed)
- Façade or roof-mounted equipment shall be screened = N/A (none proposed)

Discussion Item: There's one design-related item that I believe needs to be addressed by the Plan Commission. The façade that will be located directly between the two structures (northeast elevation) does not meet the minimum 40' articulation requirement. However, this is an intentional design feature between the structures

that are proposed to be only 5 feet apart. Thus, to create privacy between the two structures, no windows, doors, or other similar openings are proposed. Additionally, other than the tenants residing within the buildings, it will be nearly impossible to see this façade of the structure from the street or neighboring properties. Understanding this situation, the Plan Commission has the ability to either require additional articulation on this façade of the structure or grant a waiver per Section 17.07.01(d)3.

Landscaping Standards (Section 17.08.30)

Point values are provided for each type of plant and the amount required in each portion of the site is listed within the Zoning Ordinance. This provides the applicant with options in customizing the planting selection and location to best fit the project and site.

- 136 landscaping points are required for the building foundation = Unknown
- 16 landscaping points are required for the paved surface areas = Unknown
- 100 landscaping points are required for the street frontage = Unknown
- 64 landscaping points are required for the yards = Unknown
- 146 landscaping points are required for Bufferyards (north and east property line) = Unknown
- 462 landscaping total required = Unknown

Signage Standards (Section 17.09.11)

- None proposed = N/A

PUBLIC NOTICE:

Public notice is not required for review and action on a CSM or Site Plan.

COMPREHENSIVE LAND USE PLAN (2022):

The subject property is shown as Multi-Family Residential on the Future Land Use Map. This designation includes a variety of residential units including single-family, two-family, and multi-family at densities between 8 and 50 dwelling units per acre served by public utilities. The proposed development aligns with this land use designation. Staff believe the proposal is in concert with the Comprehensive Plan.

DISCUSSION:

This project is reflective of the new options that now exist within the Zoning Ordinance. Under the previous ordinance, this project would have required a Planned Unit Development to accommodate the bulk dimensional standards, but now is a permitted by-right project that only requires Site Plan approval.

Additionally, the proposed project is providing new housing opportunities on an existing vacant portion of the lot within a mixed residential neighborhood. The transition in scale and density (duplex style units) works well as there are higher density apartment buildings to the west and single and two family to the east. Plus, the new residents of this project will have easy access to the Military Ridge Trail and shopping locations along Springdale Street.

Overall, the proposed development meets the majority of the requirements of the City's ordinances, is in alignment with adopted City plans, and provides new tax base and housing units in the community. With a few minor adjustments and additional details, this project fully conforms to the requirements of the Village's Zoning Ordinance.

Village staff have reviewed the application, and all comments have been included within this document.

RECOMMENDATION:

Village staff recommends approval of the CSM, subject to the following conditions:

1. If applicable and required by the Village Engineer, an easement along and 6 feet on either side of the existing water and sewer laterals shall be added to the CSM.
2. If applicable and required by the Village Engineer, each unit shall provide a separate water lateral, sanitary sewer lateral, and electric utility service to each of the two dwelling units in the structure.
3. Any other recommendations of Village staff and the Plan Commission.

Village staff recommends approval of the Site Plan, subject to the following conditions:

1. Waive the requirement for at least one bicycle and pedestrian access point connection because there are no existing sidewalks within this area of the Village to connect the access point to.
2. Village staff review and approval of the following that meets all requirements:
 - Require the applicant to add curbing around all paved areas per Section 17.06.06(7)(d).
 - Require the applicant to provide a photometric plan per Section 17.06.20.
 - Require the applicant to provide fencing details per Section 17.06.40.
 - Require the applicant to provide a landscaping plan per Section 17.08.30.
3. Plan Commission Discussion and Action on either:
 - Granting a waiver for the minimum 40' articulation standards on the façades of the structure that directly face one another.
 - Require the applicant to provide articulation along those façades to meet the minimum requirements.
4. Any other recommendations of Village staff and the Plan Commission.

ATTACHMENTS:

- Application
- CSM
- Site Plan Package
- Lighting Plans

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General Notes - Site Plan

- See other title sheets for specifications, Material identification, symbol legend, and abbreviations.
- Contractor to field verify conditions and locations of existing utilities prior to start of construction. Notify architect and owner of all relevant discrepancies that would affect and impact the design & construction of new structures.
- New or relocated utilities not shown. Coordinate with MEP contractors.
- Data and electrical lines for adjacent 4 unit to be relocated outside of new building perimeter. See MEP contractor drawings.
- Provide erosion control devices and fences around perimeter of the construction site downhill from excavations and earthmoving. Erosion control devices shall comply with all applicable regulations of the city, county, and state. Field verify and maintain positive drainage from structures. see site plan for proposed locations.
- Grades shown are preliminary, iv existing grades. Verify and coordinate grades with wall & building sections.
- Survey information shown has been obtained from Williamson Surveying and Associates, 104 A West Main Street, Kauaunoi, Wisconsin 53591 (phone: 608-255-5105). Field verify all information.
- Maximum driveway slope 1:10
- Trees if shown are approximate. Field verify.
- House garage floor elevations shown on site plan are only tied to elevations on the site plan and do not correspond to floor elevations on the architectural drawing. Compare first floor elevation shown on site plan with ground floor and first floor elevation on architectural drawings. Contact architect if in question.

Post - Development Summary
 1348-1354 Field Ct, Mt Horeb WI 53572
 Lot 2
 Zoning MSB
 Lot Size: 12,397sf
 Max Impervious Surface: 40%
 Proposed Impervious Surface: 6,742sf = 54%
 Proposed Building Coverage: 3,341sf = 27%

Key Notes - site plan

Symbol	Description
[Text]	Text
[Condensing unit and pad]	condensing unit and pad
[Concrete apron to street]	concrete apron to street to conform to City of Mount Horeb standards
[Concrete patio slab]	concrete patio slab, slope min 1/8" per ft
[Subsurface drainage system outlet]	subsurface drainage system outlet (outflow), coordinate with grades.
[Subsurface drainage system]	subsurface drainage system (sized by pc)
[Yard drain]	Yard drain to subsurface drainage system
[Asphalt driveway]	Asphalt driveway over compacted granular fill
[Asphalt driveway parking stall]	Asphalt driveway parking stall over compacted granular fill
[Concrete stoop]	concrete stoop
[6'-0" high privacy fence]	6'-0" high privacy fence as selected by owner
[Conc entry stoop]	conc entry stoop
[Conc stairs]	conc stairs, 3 equal T +/- risers = 1'-0". 2 equal treads = 1'-8"

Site Legend

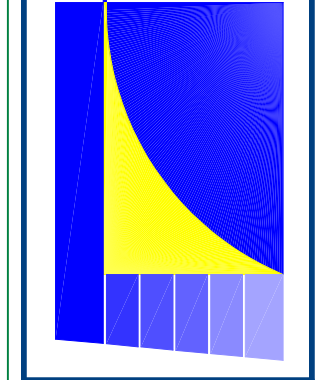
[Symbol]	new spot elevations
[Symbol]	Existing Contour
[Symbol]	new Contour

1 Site plan
 SCALE: 1" = 10'-0" (22"x34" - Full size)
 1" = 20'-0" (11"x17" - Half size)

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Preliminary Budget Set Not for Construction

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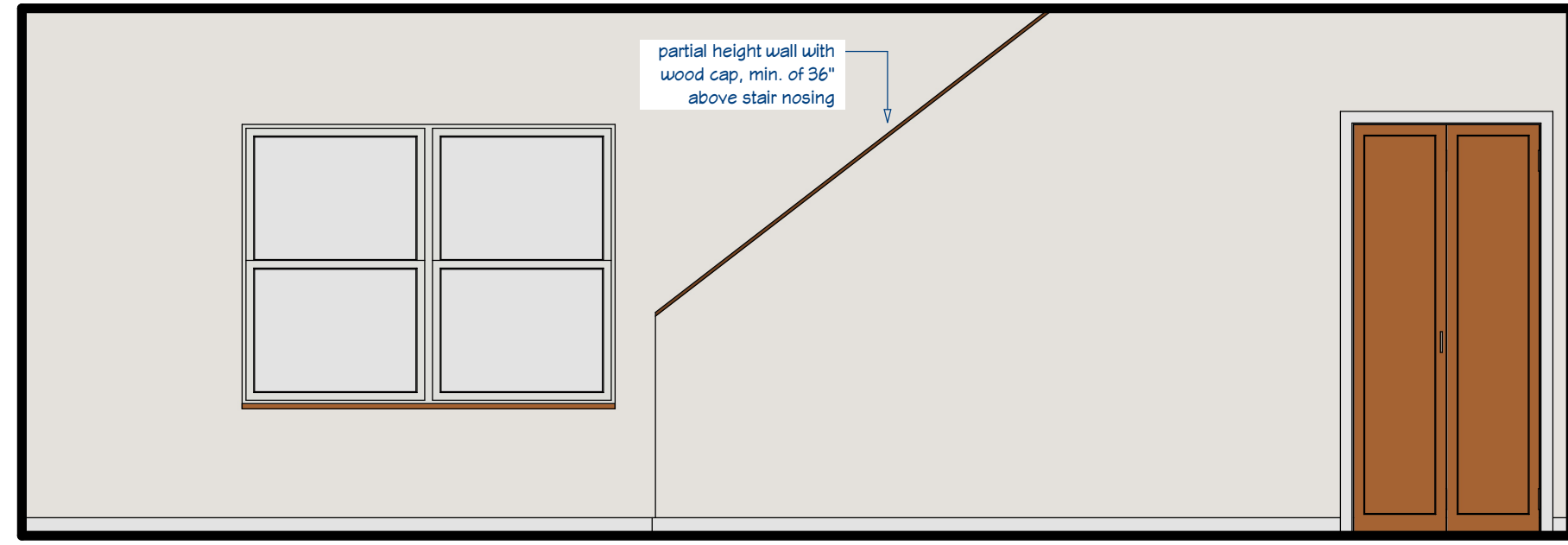
KNown Prime Properties LLC
Two duplexes (4 units)
 Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin.

revision index

#	date	reference

project: 25058
 date: 4/10/2026
 drawn by: jlm

SW1.1



ground floor, hall-1, southwest wall
Interior elevation

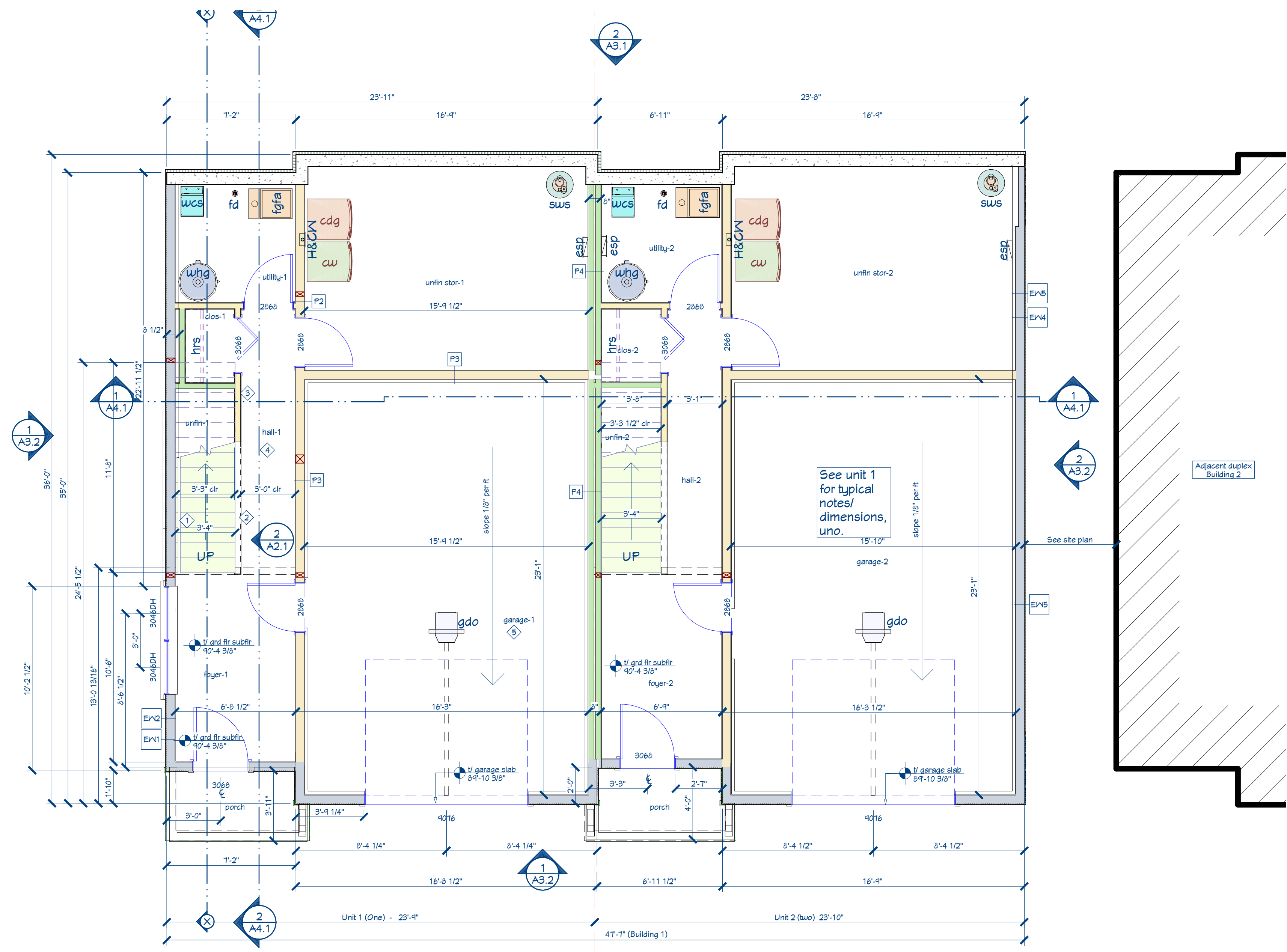
SCALE: 3/8" = 1'-0" (22"x34" full size)
 3/16" = 1'-0" (11"x17" half size)

- General Notes - Ground Floor Plan**
- See title sheet T1 for abbreviations, and symbols.
 - See other title sheets for specifications if provided.
 - See wall sections / plans for exterior wall types.
 - All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
 - All materials to be installed per manufacturers current printed instructions.
 - All wood in contact with concrete to be pressure treated.
 - Garage ceiling to be 5/8" gub, type "X". All columns and beams supporting roof or second floor structure to be furred out and wrapped with 5/8" gub, type "X".
 - Provide control joints in concrete slabs per ACI Standards.
 - All doors and frames between house and garage to be 20 minute fire rated.

- Key Notes - Ground Floor Plan**
- | # | Text |
|---|---|
| 1 | 34" high stair handrail above stair nosing w/ support brackets @ 48" oc min. |
| 2 | 36" high aff half wall above stair nosing w/ wd top cap |
| 3 | wall extend to underside of stairs |
| 4 | dropped duct chase, see building sections |
| 5 | Garage ceiling to be 5/8" type X gub over 1 1/2" rigid insulation. 2nd floor joists above garage. to have R36 Batt Insul. |

Ground Floor - Floor Finish Schedule

Room Name	Floor Finish	Area, Interior	Dimensions
foyer-1	tile	70	6'-7"x10'-7"
hall-1	LVP	44	3'x14'-6"
clo-1	LVP	11	2'-0"x4'-1"
unfin-1	conc	32	3'-0"x10'-2"
unfin stor-1	conc	171	15'-4"x11'-3"
utility-1	conc	42	6'-6"x6'-6"
garage-1	conc	253	15'-7"x22'-8"
foyer-2	tile	64	6'-0"x10'-5"
hall-2	LVP	44	3'x14'-6"
clo-2	LVP	13	3'-0"x4'
unfin-2	conc	33	3'-0"x10'-2"
unfin stor-2	conc	176	15'-7"x11'-3"
utility-2	conc	44	6'-0"x6'-6"
garage-2	conc	344	15'-5"x22'-8"
Totals:		1457	



1 Ground Floor Plan

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
 1/8" = 1'-0" (11"x17" - Half size)

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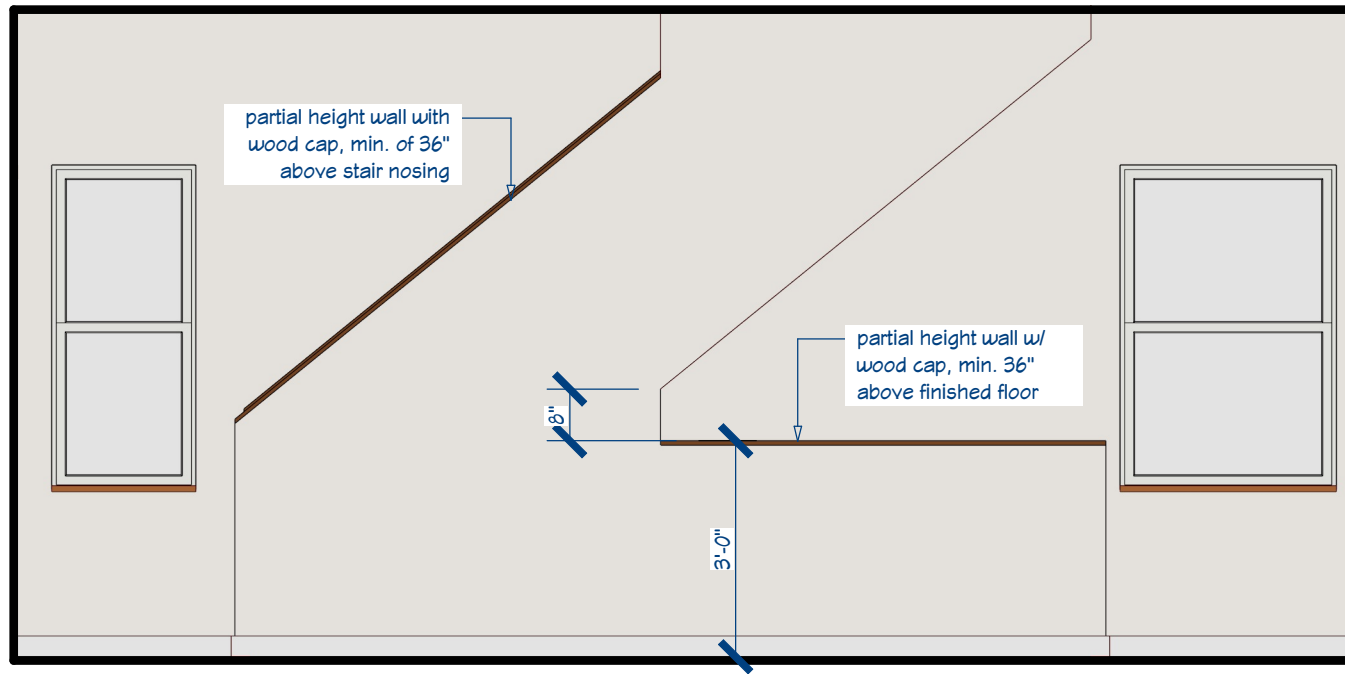
KNown Prime Properties LLC
Two duplexes (4 units)
 Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin,

revision index

#	date	reference

project: 25058
 date: 4/10/2026
 drawn by: jjm

A2.1



first floor, hall-1, southwest wall

2 Interior elevation

SCALE: 3/8" = 1'-0" (22"x34" full size)
3/16" = 1'-0" (11"x11" half size)

General Notes - First Floor Plan

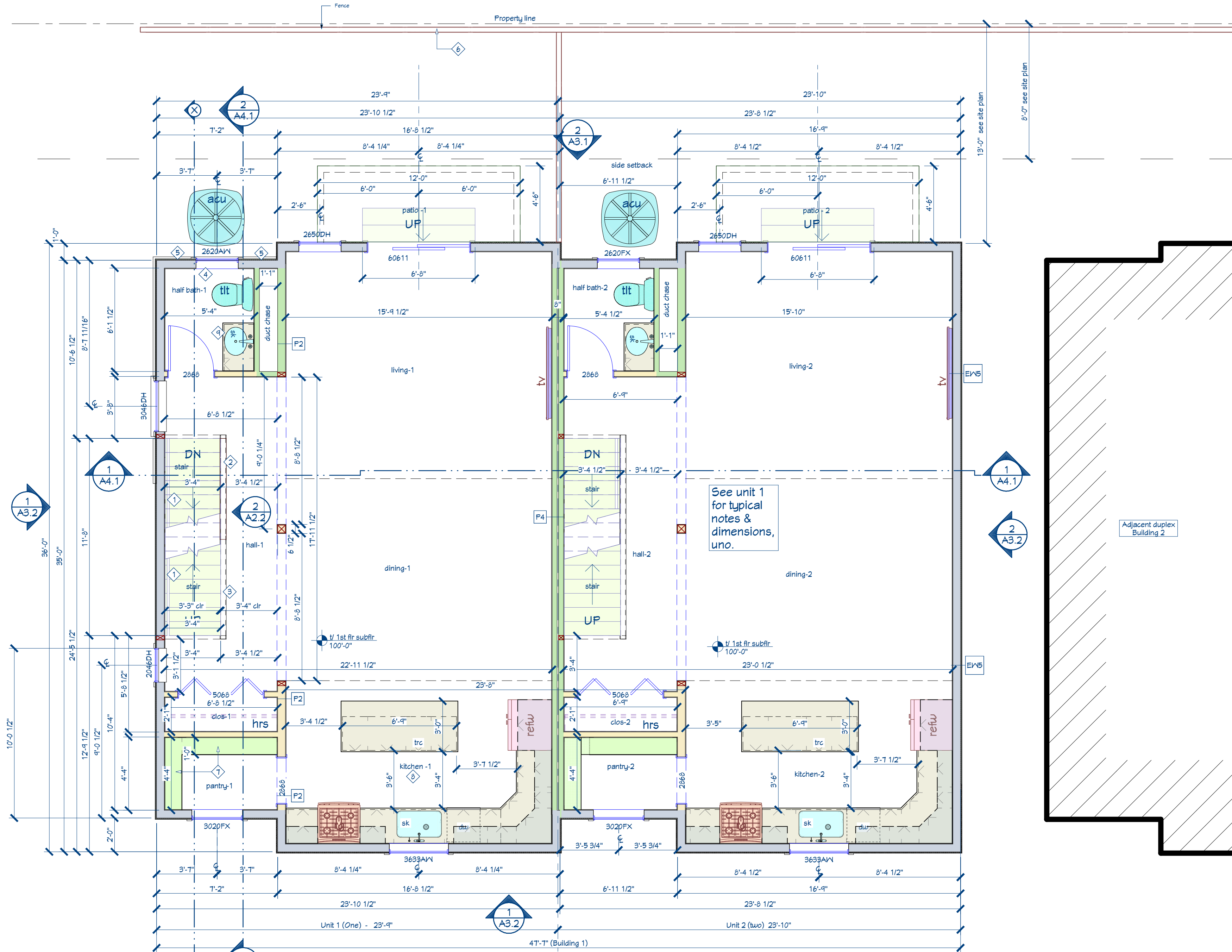
- See title sheet T1 for symbols, material identification and abbreviations.
- See other title sheets for specifications if provided.
- See wall sections / plans for exterior wall types.
- All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
- All materials to be installed per manufacturers current printed instructions.

Key Notes - first floor plan

- 1 Text
- 2 34" high stair handrail above stair nosing w/ support brackets @ 48" oc min.
- 3 36" high aff half wall, (guardrail) w/ wd top cap
- 4 36" high aff half wall above stair nosing w/ wd top cap
- 5 header to be 11 1/4" high for portal frame
- 6 portal frame wall
- 7 fence
- 8 pantry shelves, coord. type and number w/ owner
- 9 coord. kitchen cabinet design w/ owner
- 10 coord. half bath cabinet design w/ owner

First Floor - Floor Finish Schedule

Room Name	Area, Interior	Floor Finish	Dimensions
hall-1	61	LVP	6'-9"X9'-5"
half bath-1	32	LVP	5'-9"X6'
clo-1	13	LVP	6'-8"X2'
patio-1	94	conc	12'X4'-6"
living-1	211	LVP	15'-9"X13'-5"
dining-1	189	LVP	15'-9"X11'-11"
kitchen-1	151	LVP	15'-9"X9'-5"
pantry-1	28	LVP	6'-5"X4'-3"
hall-2	61	LVP	6'-9"X9'-5"
half bath-2	32	LVP	5'-9"X6'
clo-2	13	LVP	6'-8"X2'
patio-2	94	conc	12'X4'-6"
living-2	211	LVP	15'-9"X13'-5"
dining-2	189	LVP	15'-9"X11'-11"
kitchen-2	152	LVP	15'-9"X9'-5"
pantry-2	28	LVP	6'-5"X4'-3"
Totals	1517		



1 First Floor Plan

SCALE: 1/4" = 1'-0" (22"x34" - Full size)
1/8" = 1'-0" (11"x11" - Half size)

revision index		
#	date	reference

project: 25/058
date: 4/10/2026
drawn by: jjm

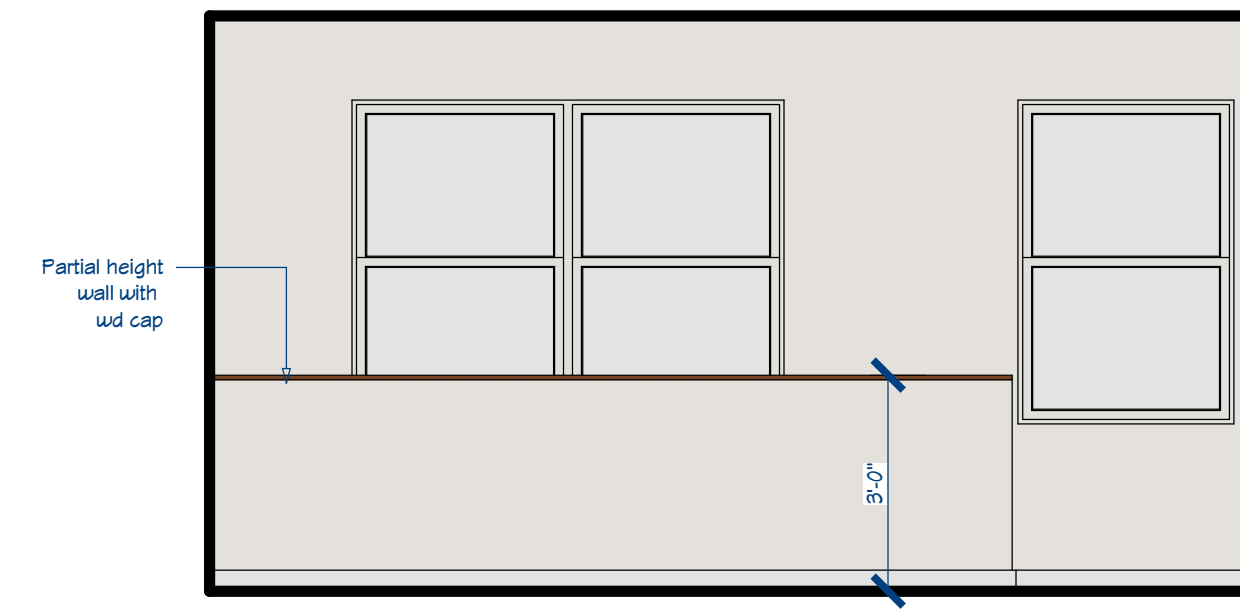
A2.2

- General Notes - Second Floor Plan**
- See title sheet T1 for abbreviations, and symbols.
 - See other title sheets for specifications if provided.
 - See wall sections / plans for exterior wall types.
 - All interior partitions to be type "P1" unless noted otherwise. Refer to partition schedule.
 - All materials to be installed per manufacturers current printed instructions.

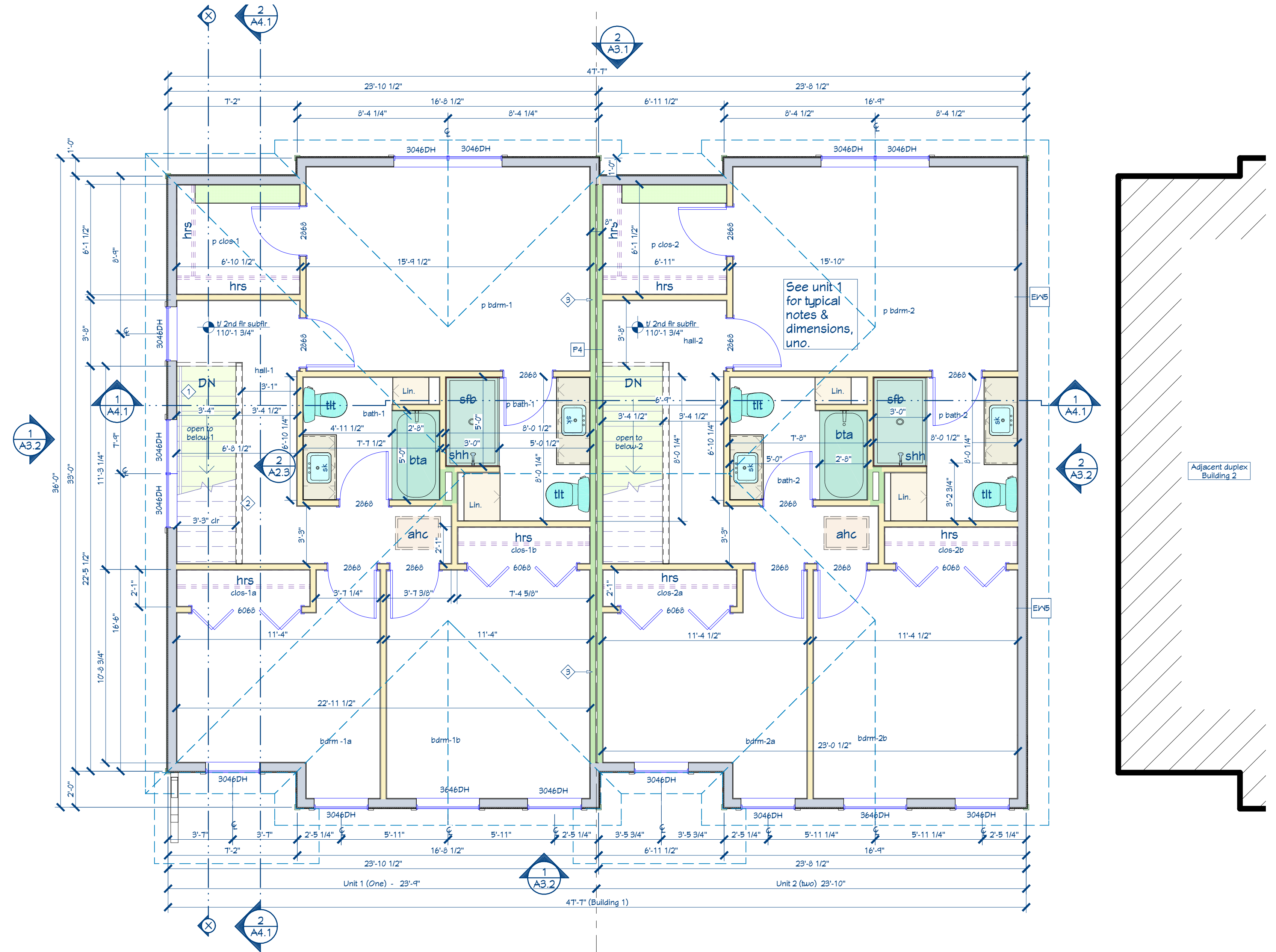
- Key Notes - Second Floor plan**
- 34" high stair handrail above stair nosing w/ support brackets @ 48" oc min.
 - 36" high aff half wall, (guardrail) w/ wd top cap
 - Draftstopping in attic. Above and in line the unit separation wall provide truss with 1/2" gab on one side from ceiling to underside of roof deck.

Second Floor - Floor Finish Schedule

Room Name	Area, Interior (sq ft)	Floor Finish	Dimensions
open to below-1	36		3'-3"X10'-11"
hall-1	35	LVP	6'-0"X3'-5"
p bdrm-1	117	cpt & pad	15'-4"X11'-3"
p bath-1	60	tile & undmt	7'-11"X7'-11"
p clos-1	41	cpt & pad	6'-0"X6'-0"
bath-1	50	tile & undmt	7'-6"X6'-9"
bdrm-1a	110	cpt & pad	11'-3"X8'-3"
clo-1a	15	cpt & pad	7'-4"X2'
bdrm-1b	142	cpt & pad	11'-3"X12'-8"
clo-1b	15	cpt & pad	7'-4"X2'
open to below-2	36		3'-3"X10'-11"
hall-2	35	LVP	6'-0"X3'-5"
p bdrm-2	117	cpt & pad	15'-4"X11'-3"
p bath-2	60	tile & undmt	7'-11"X7'-11"
p clos-2	41	cpt & pad	6'-0"X6'-0"
bath-2	50	tile & undmt	7'-6"X6'-9"
bdrm-2a	110	cpt & pad	11'-4"X8'-3"
clo-2a	15	cpt & pad	7'-4"X2'
bdrm-2b	143	cpt & pad	11'-3"X12'-8"
clo-2b	15	cpt & pad	7'-4"X2'
Totals	1464		



Second floor, hall-1, southwest wall
2 Interior elevation
 SCALE: 3/8" = 1'-0" (22"x34" Full size)
 3/16" = 1'-0" (11"x17" Half size)



1 Second floor plan
 SCALE: 1/4" = 1'-0" (22"x34" - Full size)
 1/8" = 1'-0" (11"x17" - Half size)

Preliminary Budget Set Not for Construction

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 Madison, Wisconsin 53714
 608-895-9400 www.bourildesign.com

KNow Prime Properties LLC
Two duplexes (4 units)
 Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin,

revision index

#	date	reference

project: 25058
 date: 4/10/2026
 drawn by: jjm

A2.3



1 Exterior southeast elevation
 SCALE: 1/4" = 1'-0" (22"x34" - Full size)
 1/8" = 1'-0" (11"x17" - Half size)



2 Exterior northwest elevation
 SCALE: 1/4" = 1'-0" (22"x34" - Full size)
 1/8" = 1'-0" (11"x17" - Half size)

General Notes - Exterior Elevation

1. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
2. All final material selections, colors, finishes, and other options to be coordinated with the Owner.
3. Final downspout locations shall be confirmed with owner.

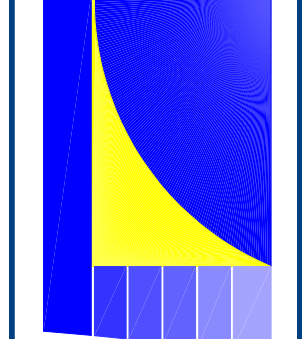
Key Notes - Exterior Elevations

#	Text
1	Asphalt shingles
2	Aluminum fascia, at gables include formed shadow reveal
3	Prefinished metal gutter
4	Prefinished metal downspout, match siding
5	Thin stone Veneer
6	Cut limestone cap stone
7	Cut limestone window sill
8	Vinyl lap siding. Color 1 as selected by owner.
9	Vinyl lap siding. Color 2 as selected by owner.
10	Vinyl corner trim, match adjacent siding
11	Prefinished 4" Composite window trim
12	Prefinished 4" composite door trim
13	Cedar wood structural bracket
14	wood beam wrapped with Prefinished composite wd trim
15	Rain chain for entry roof

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KNown Prime Properties LLC
Two duplexes (4 units)
 Lot 2, 1384-1354 Field Court, Mt. Horeb, Wisconsin,

revision index		
#	date	reference

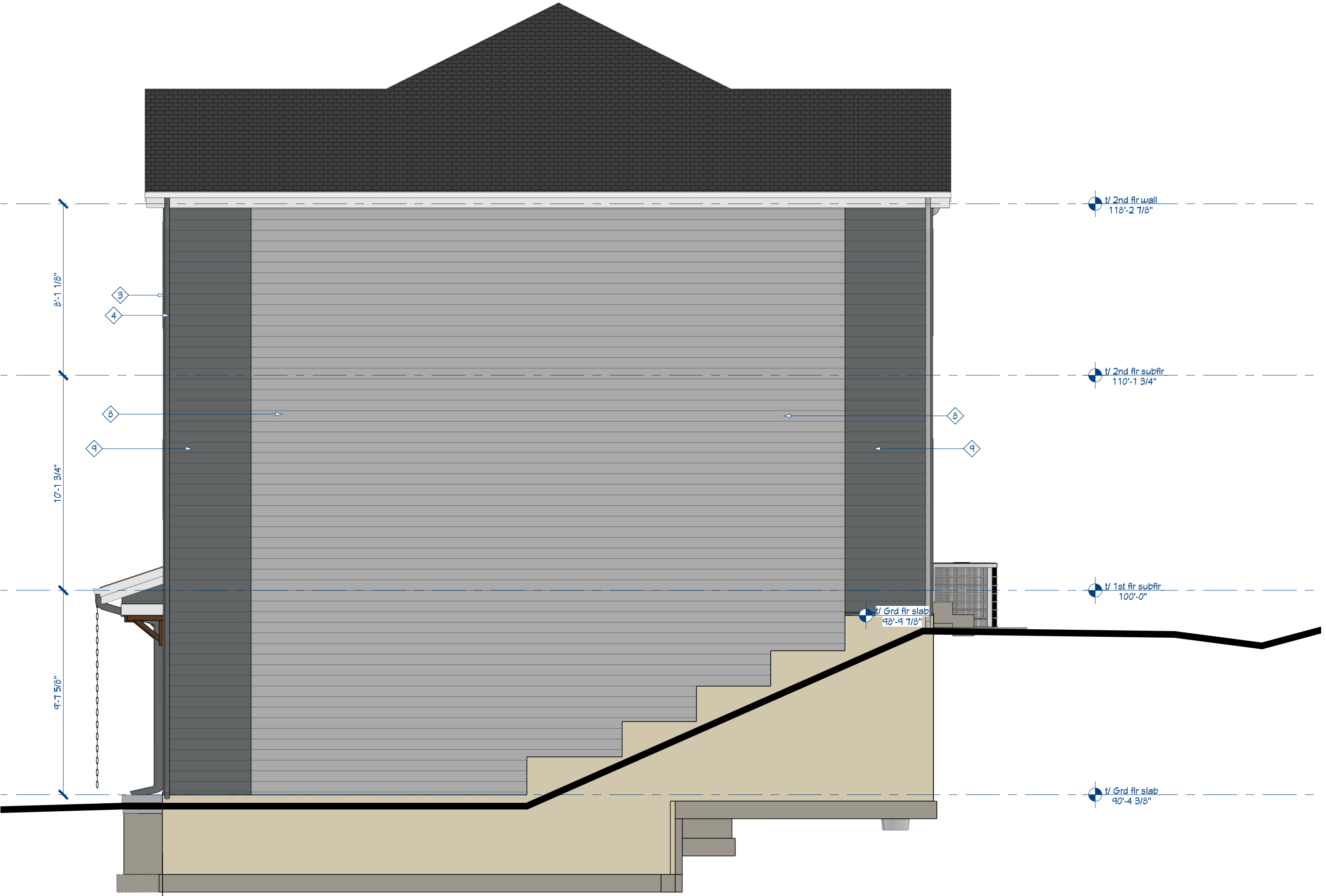
project: 25058
 date: 4/10/2026
 drawn by: jjm

A3.1

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1 Exterior southwest elevation
 SCALE: 1/4" = 1'-0" (22"x34" - Full size)
 1/8" = 1'-0" (11"x17" - Half size)



2 Exterior northeast elevation
 SCALE: 1/4" = 1'-0" (22"x34" - Full size)
 1/8" = 1'-0" (11"x17" - Half size)

General Notes - Exterior Elevation

1. Typical exterior materials are noted on Front Elevation only. Only unique materials are noted on other Exterior Elevations.
2. All final material selections, colors, finishes, and other options to be coordinated with the Owner.
3. Final downspout locations shall be confirmed with owner.

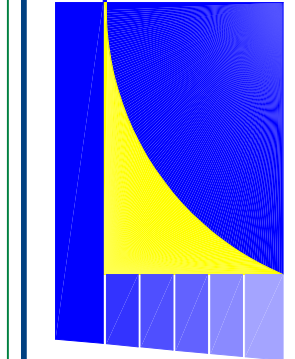
Key Notes - Exterior Elevations

#	Text
1	Asphalt shingles
2	Aluminum fascia, at gables include formed shadow reveal
3	Prefinished metal gutter
4	Prefinished metal downspout, match siding
5	Thin stone Veneer
6	Cut limestone cap stone
7	Cut limestone window sill
8	Vinyl lap siding. Color 1 as selected by owner.
9	Vinyl lap siding. Color 2 as selected by owner.
10	Vinyl corner trim, match adjacent siding
11	Prefinished 4" Composite window trim
12	Prefinished 4" composite door trim
13	Cedar wood structural bracket
14	wood beam wrapped with Prefinished composite wd trim
15	Rain chain for entry roof

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revision index		
#	date	reference

project: 25058
 date: 4/10/2026
 drawn by: jjm

A3.2



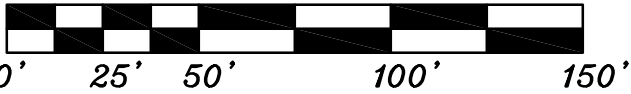
CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Lot 30, Field Addition, Located in the SE ¼ of the NE ¼ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

SCALE 1" = 50'



NOTES:

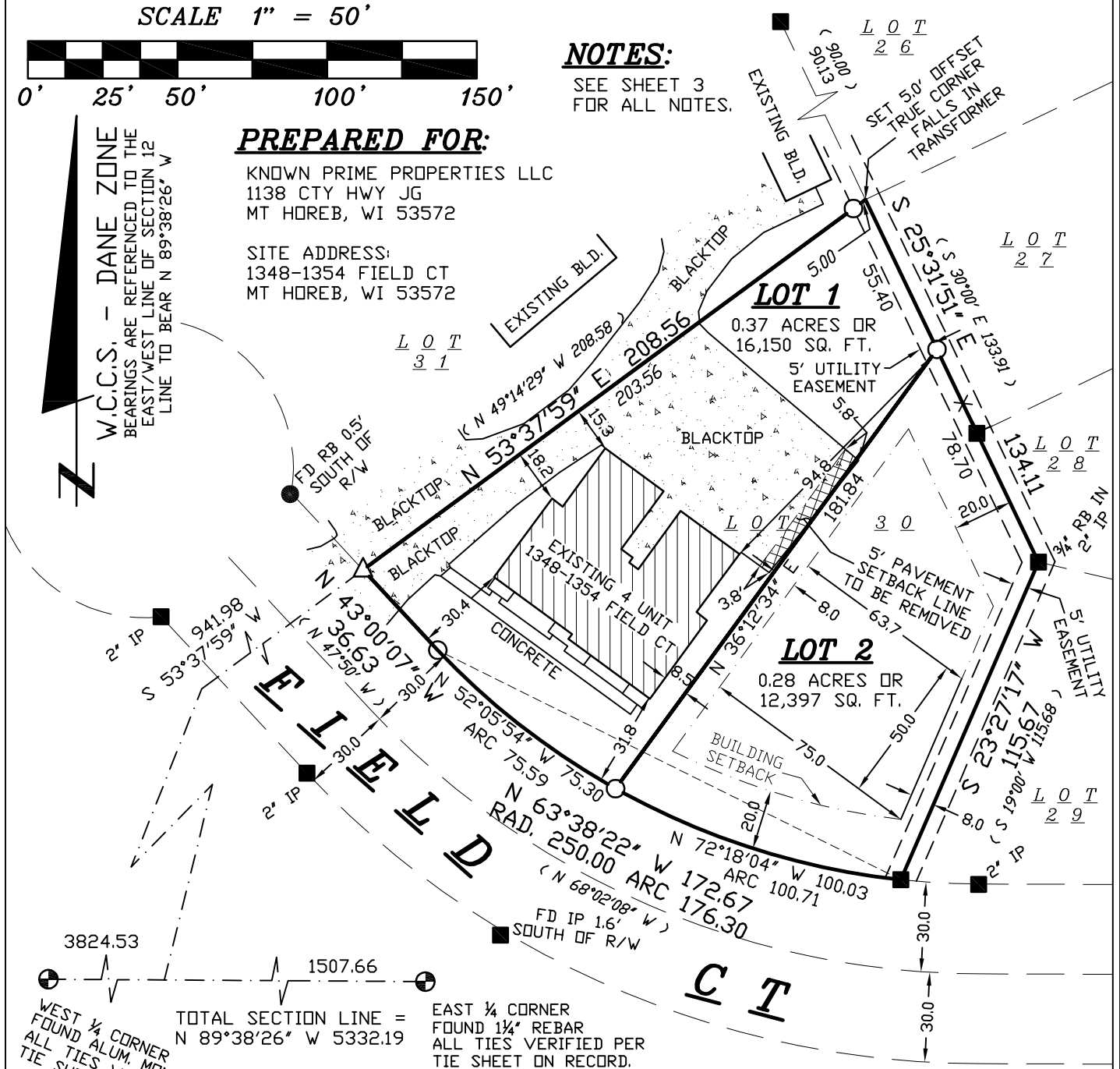
SEE SHEET 3 FOR ALL NOTES.

PREPARED FOR:

KNOWN PRIME PROPERTIES LLC
1138 CTY HWY JG
MT HOREB, WI 53572

SITE ADDRESS:
1348-1354 FIELD CT
MT HOREB, WI 53572

W.C.C.S. - DANE ZONE
BEARINGS ARE REFERENCED TO THE
EAST/WEST LINE OF SECTION 12
LINE TO BEAR N 89°38'26" W



WEST ¼ CORNER
FOUND ALUM. MON.
ALL TIES VERIFIED PER
TIE SHEET ON RECORD.

TOTAL SECTION LINE =
N 89°38'26" W 5332.19

EAST ¼ CORNER
FOUND 1¼" REBAR
ALL TIES VERIFIED PER
TIE SHEET ON RECORD.

LEGEND

- = SET 3/4"x24" REBAR
WT 1.5 LB PER LIN FT
- = FOUND 3/4" REBAR
- = FOUND 1" PIPE (UNLESS NOTED)
- △ = SET MAGNETIC SURVEY SPIKE
- ⊕ = FOUND SECTION CORNER
- (##) = RECORDED AS

SURVEYORS SEAL

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NDA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Lot 30, Field Addition, Located in the SE ¼ of the NE ¼ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

SURVEYOR'S CERTIFICATE

I, Chris W. Adams, Professional Land Surveyor hereby certify that this survey is correct to the best of the professional surveyor's knowledge and belief and is in full compliance with the provisions of Chapter A-E 7 and Chapter 236.34 Wisconsin Statutes, the subdivision regulations of the Village of Mt Horeb, and by the direction of the owners listed below, I have surveyed, divided, and mapped a correct representation of the exterior boundaries of the land surveyed and the division of that land, being Lot 30, Field Addition, Located in the SE ¼ of the NE ¼ of Section 12, T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

Williamson Surveying and Associates, LLC
by Chris W. Adams

Date _____

Chris W. Adams S-2748
Professional Land Surveyor

OWNERS' CERTIFICATE:

As owner, I hereby certify that I caused the land described on this certified survey map to be surveyed, divided and mapped as represented on the certified survey map. I also certify that this certified survey map is required to be submitted to the Village of Mt Horeb for approval.

WITNESS the hand seal of said owners this _____ day of _____, 20____.

Known Prime Properties LLC

Nick Olday

STATE OF WISCONSIN)
DANE COUNTY)

Personally came before me this _____ day of _____, 20____ the above named Nick Olday to me known to be the person who executed the foregoing instrument and acknowledge the same.

_____ County, Wisconsin.

My commission expires _____

Notary Public

Print Name

Sheet 2 of 3

SURVEYORS SEAL

25W-148



CERTIFIED SURVEY MAP

WILLIAMSON SURVEYING AND ASSOCIATES, LLC

NOA T. PRIEVE // CHRIS W. ADAMS // NEIL F. BORTZ, PROFESSIONAL LAND SURVEYORS
104 A WEST MAIN STREET, WAUNAKEE, WISCONSIN, 53597 PHONE: 608-255-5705

Lot 30, Field Addition, Located in the SE ¼ of the NE ¼ of Section 12,
T6N, R6E, Village of Mt Horeb, Dane County, Wisconsin

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) FLOOD PLAIN, IF PRESENT, HAS NOT BEEN LOCATED OR SHOWN.

VILLAGE OF MT HOREB APPROVAL

Resolved that this certified survey map is hereby acknowledged and approved by the Village of Mt Horeb on this ____day of _____, 20____.

Village Clerk

REGISTER OF DEEDS:

Received for recording this ___ day of _____, 20___ at ___ o'clock ___.M. and recorded in Volume _____ of Dane County Certified Surveys on pages _____ through _____.

Kristi Chlebowski
Register of Deeds

SURVEYORS SEAL

DOCUMENT NO. _____

CERTIFIED SURVEY MAP NO. _____



Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	11W
120V	0.09A	Color Temp	2700K
208V	N/A	Color Accuracy	92 CRI
240V	N/A	L70 Lifespan	50,000 Hours
277V	N/A	Lumens	901 lm
Input Watts	10W	Efficacy	85.71428571

Technical Specifications

<p>Compliance</p> <p>UL Classified: Suitable for wet locations</p> <p>Energy Star Approved: ENERGY STAR® Version 2.2 Certified</p> <p>Certification Model Number: DLR0060</p> <p>Energy Star ID: 2350018</p> <p>NEC Compliant: Suitable for use in closets. Compliant with NEC Sec. 410.16 (A)(1) and 410.16 (C5).</p> <p>California Title 24: Can be used to conform with the requirements of California Title 24 Part 6.</p> <p>California Title 20 Compliant: Compliant LED Product</p> <p>Electrical</p> <p>Dimming Driver: TRIAC compatible dimmer with dimming as low as 5%. See dimmer compatibility guide here.</p>	<p>THD: <20%</p> <p>Power Factor: ≥0.9</p> <p>THDi: Produces less than 20% THD</p> <p>PF: ≥0.9</p> <p>Input Voltage: 120V</p> <p>Flicker: Silent and flicker free operations of less than 30%</p> <p>Operating Frequency (Hz): 60Hz</p> <p>Performance</p> <p>Lifespan: 50,000-Hour LED lifespan based on IESIm-80 results and TM-21 calculations</p> <p>Wattage Equivalency: 75W Incandescent</p>	<p>Construction</p> <p>Shape: Round</p> <p>Trim Style: Smooth Trim</p> <p>Housing: Constructed from durable steel sheet metal</p> <p>Cold Weather Starting: The minimum starting temperature is -22°F (-30°C)</p> <p>Maximum Ambient Temperature: Suitable for use in up to 104°F (40°C)</p> <p>Lens: Frosted polycarbonate diffusion lens. Regressed lens. Constructed from durable sheet metal construction.</p> <p>Green Technology: Mercury and UV free. RoHS-compliant components.</p> <p>Socket Adapter: Edison 26 Medium Base Socket adapter included in box</p> <p>Finish: Matte White</p>
---	---	--

Technical Specifications (continued)

LED Characteristics

Beam Angle:

95°±10°

LEDs:

Long-life, high-efficacy, surface-mount LEDs

R9 Value:

High color performance with R9 greater than or equal to 50

Installation

Mounting:

Easy installation with friction clips (4") and torsion springs (5"/6")

Other

Compatibility:

Compatible with most 5" and 6" recessed housings

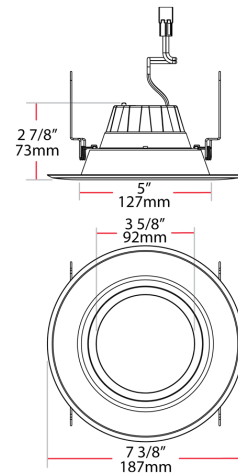
5-Year, No-Compromise Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

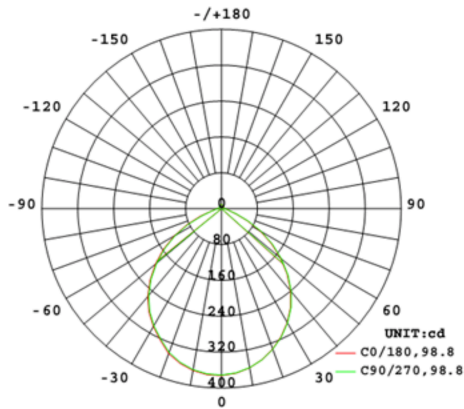
Case and Pallet Dimensions

	QTY	LENGTH (in)	WIDTH (in)	HEIGHT (in)
CASE	4	15.47	7.99	8
PALLET	600	7.56	3.82	82.28

Dimension



Light Distribution



Features

- High Performance LEDs up to 100 lm/w
- Use to replace up to 100W traditional light sources
- Durable metal construction: dent and scratch resistant
- UL wet location rated
- Compatible with most standard recessed housings
- Dimmable down to 5% on compatible dimmers
- Available in Round 4" 850lm and 6" 850lm, 1050lm and 1400lm
- Available in 5 color temperatures: 2700K, 3000K, 3500K, 4000K, & 5000K
- Available in a smooth and baffle trim option
- Color designer trims as optional accessories available
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Size	Shape	Wattage	CRI/Color Temp	Driver	Finish	Trim
R	6	R	11	927	120	W	S
	6 = 6"	R = Round	7 = 7W	940 = 90 CRI, 4000K	120 = 120V	W = White	B = Baffle
	4 = 4"	S = Square	8 = 8W	827 = 80 CRI, 2700K			S = Smooth
			9 = 9W	830 = 80 CRI, 3000K			
			10 = 10W	835 = 80 CRI, 3500K			
			11 = 11W	840 = 80 CRI, 4000K			
			14 = 14W	927 = 90 CRI, 2700K			
				930 = 90 CRI, 3000K			
				935 = 90 CRI, 3500K			
				950 = 90 CRI, 5000K			



UPC: 019813748443

Color: White

Weight: 0.0 lbs

Project:	Type:
Prepared By:	Date:

Technical Specifications

Performance

Product Type:

A-line, 80 CRI Non-Dimmable

Description:

The classic bulb shape you know, reimagined with efficient LED technology for consistent, dependable lighting.

Wattage Equivalency:

60W Incandescent

Input Wattage:

9W

Lumens (Nominal):

800lm

Efficacy:

89lm/W

L70 Lifespan:

15,000-Hour LED lifespan based on IES LM-70 results

Electrical

Driver:

Constant Current 120V 50/60 Hz; 120V: 80mA

THD:

<120%

Power Factor:

0.7

Dimmable:

No

Input Voltage:

120V

Operating Frequency:

50/60Hz

Input Current @ 120V (mA):

80mA

Flicker:

_85%

Construction

Operating Temperature Range:

-4°F - 104°F (-20°C - 40°C)

Shape:

A19

Finish:

White

Endcap Material:

Nickel-plated aluminum

Lens Finish:

Frosted

LED Characteristics

Beam Angle:

160°

Color Temperature:

2700K

Color Accuracy (CRI):

≥80 CRI

R9 Value:

High color performance with R9 greater than 0

Color Consistency:

<7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Installation

Base Type:

E26 Edison

Compliance

ETL Listed:

This product has been tested by Intertek and found in compliance with accepted national standards.

Technical Specifications (continued)**Environment:**

Suitable for use indoors in dry and damp environments.

Fixture Rating:

Suitable for use in enclosed fixtures

Energy Star Approved:

No

DLC Listed:

This product family is listed with the DesignLights Consortium (DLC). Individual SKUs within this family may carry either a DLC Standard or DLC Premium qualification. Please refer to the individual product specification sheet or the DLC Qualified Products List (QPL) at designlights.org to confirm the qualification status of a specific SKU prior to specification or purchase.

Certification Model Number:

A30005(A19-9-E26-827-ND)

California Title 20 Compliant:

No

California Title 24 JA8 Compliant:

No

California Energy Commission (CEC) Status:

Lawful for Sales in California

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

RoHS:

Mercury and UV free. RoHS-compliant components.

FCC:

Complies with Part 15 of the FCC Rules

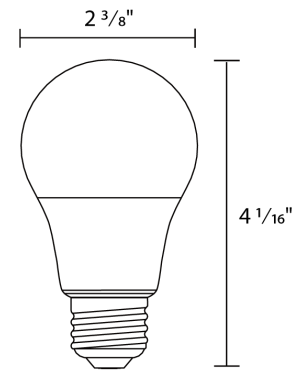
Other**3-Year, No-Compromise Warranty:**

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of three (3) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Case and Pallet Dimensions

	QTY	LENGTH (in)	WIDTH (in)	HEIGHT (in)
CASE	12	10	7.6	5
PALLET	3456	45.4	40	46.1

Dimension



Features

- Energy-efficient replacement for incandescent and halogen lamps
- Durable plastic construction reduces risk of breakage
- Rated for use in enclosed and open fixtures in dry or damp locations
- Frosted lens delivers smooth, diffuse light
- Longer lifespan compared to legacy equivalents minimizes replacement and maintenance costs

Ordering Matrix

Family	Wattage	Base Type	CRI/Color Temp	Dimmable
A19	9	E26	827	ND
	6 = 6W 9 = 9W 12 = 12W 15 = 15W	E26 = E26 Edison	827 = 80 CRI, 2700K 830 = 80 CRI, 3000K 840 = 80 CRI, 4000K 850 = 80 CRI, 5000K	ND = 120V; Non-Dimmable DIM = 120V; TRIAC/ELV

LAMPS PLUS.

\$15 off Orders \$99+ \$40 off Orders \$199+ Code: SPRING26 Valid until 4/20/2026 Shop Now >

🏠 / Wave White Wall Sconce / Style # 7286P



Wave Lighting Artisan 13" 3000K White Outdoor Wall Light with Frosted

[Wave Lighting Artisan White Collection](#)

\$59.47

Pay in 4 interest-free payments of \$14.87 with **PayPal**. [Learn more](#)

Free Shipping* | [Price Matching Policy](#)

Arrives Apr 17 to Apr 22 to [53593](#)

1

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Wave Lighting Artisan 13" 4000K White Outdoor Wall Light with Frosted
\$59.47



Wave Lighting Artisan 15" 4000K White Outdoor Wall Light with Frosted
\$67.00



Wave Lighting Artisan 15" 3000K White Outdoor Wall Light with Frosted
\$67.00



Wave Lighting Artisan Round 15" 3000K Bronze Outdoor Light with Frosted
\$66.00

TAKE \$40 OFF

Product Details

- Product Dimensions: 5.8 inches wide, 12.8 inches high, 1.3 pounds in weight.
- Uses 1 light bulbs.
- Uses Standard Base type bulbs.
- Wave Lighting Artisan 13" 3000K White Ou is produced by Wave Lighting, LLC.



[Shop all Wave Lighting](#)

Product Attributes

Finish	White
Style	Contemporary
Brand	Wave Lighting

Technical Specifications

Height	12.75 inches
Width	5.75 inches
Weight	1.25 pounds
#of Bulbs	1

Questions & Answers

Ask a question

1 Question

Sort by: **Most Helpful**

Q: Projection from wall? Kristina F. Mar 10, 2026

A: Kristine, thank you for reaching out. The light extends 7.1" from the wall.

Brent S. STAFF Mar 22, 2026

[See 1 Answer](#) [Answer](#)

Related Items

Results

2.1 fc 1 luminaires 0.02 W/ft²

Luminaire

r6r11927120ws-r6r11927120wb.ies

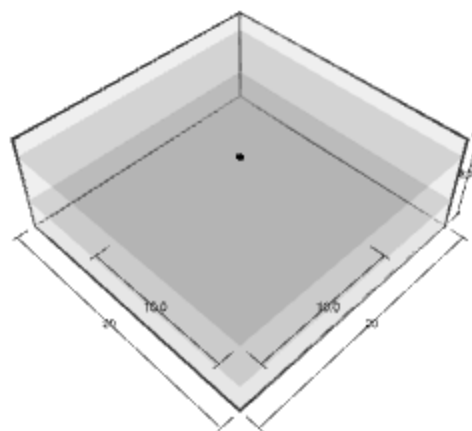
R6R11927120WS&R6R11927120WB 5&6IN ROUND DOWNLIGHT 2700K

Luminaire Watts	10	W
Ballast/Driver Factor	1.00	
Light Loss Factor	1.00	
Total Proration Factor	1.00	
Luminaire Lumens	898	lms



Room

Length	20	ft
Width	20	ft
Height	8.00	ft
Workplane Height	2.50	ft
Suspension Length	1.50	ft

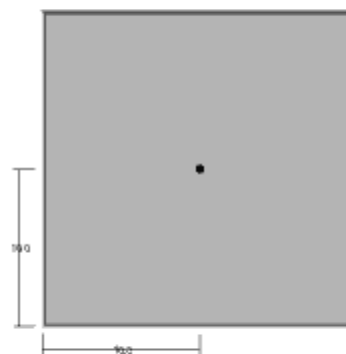


Reflectance

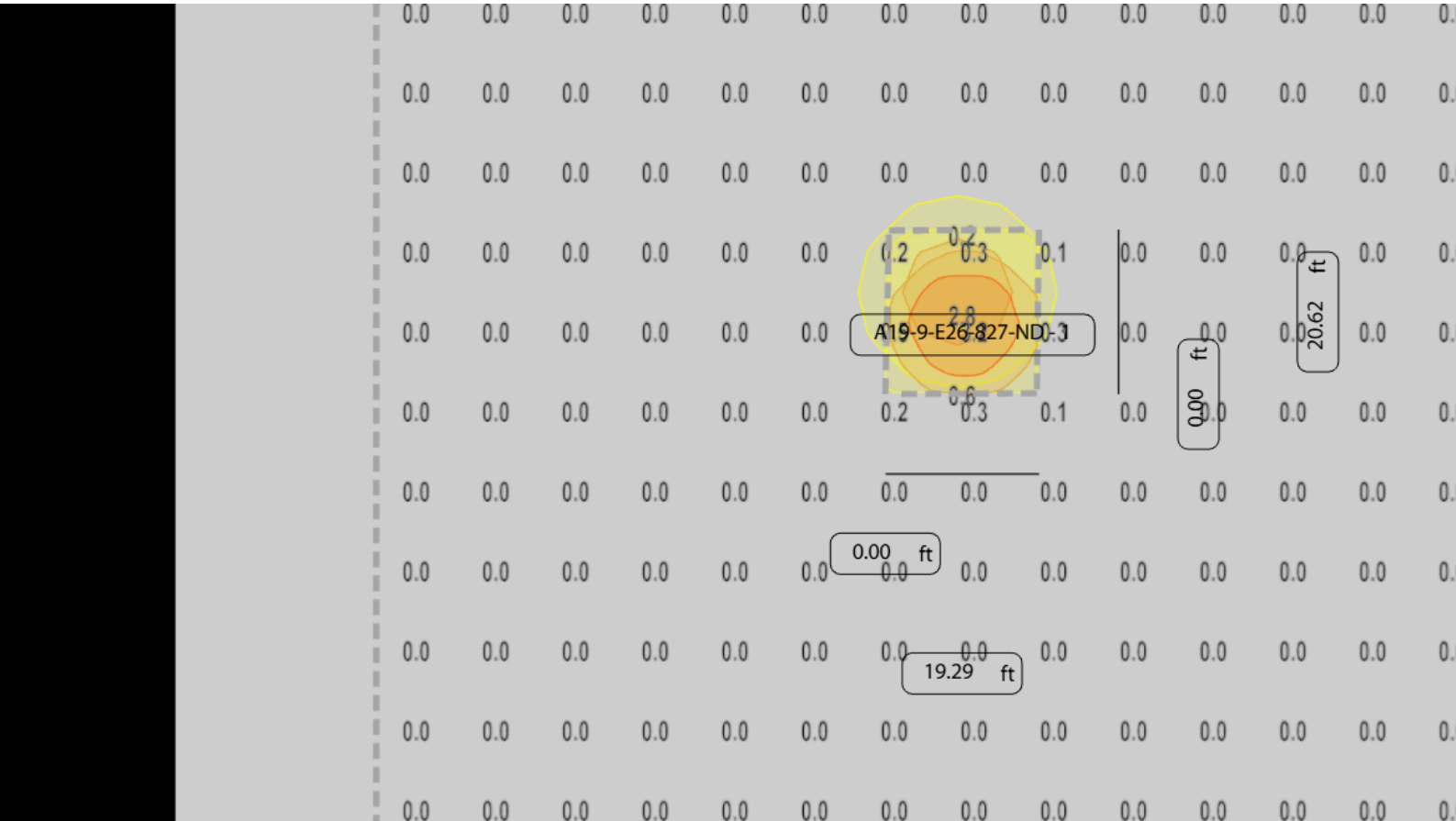
Ceiling	80	%
Walls	50	%
Floor	20	%

Layout

	⋮	⋯
Layout	1	1
Spacing	0	0 ft
Offset	10.0	10.0 ft
Spacing Criteria	⚠ 1.20	⚠ 1.20



	Avg. Illum	Max	Min	Max/Min	Power Density
Area 3	0.02fc	3.19fc	0fc	N/A	01.W/ft ²
Area 4	1.22fc	2.82fc	0.23fc	12.26 : 1	01.W/ft ²



Luminaires

	Quantity	Lumens	Watts	LLF	IES
A19-9-E26-827-ND	1	800 lm	9	1	a19-9-e26-8xx-nd.ies



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 5.f

Recommendation of Certified Survey Map for 1348 Field Court

BACKGROUND

RECOMMENDATION

ATTACHMENTS

None



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 5.g

Concept Presentation for 100 Lillehammer Lane

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. MOUNT HOREB - MULTI-TENANT 4.17.26

PROPOSED FACILITY FOR: _____

MOUNT HOREB - MULTI-TENANT

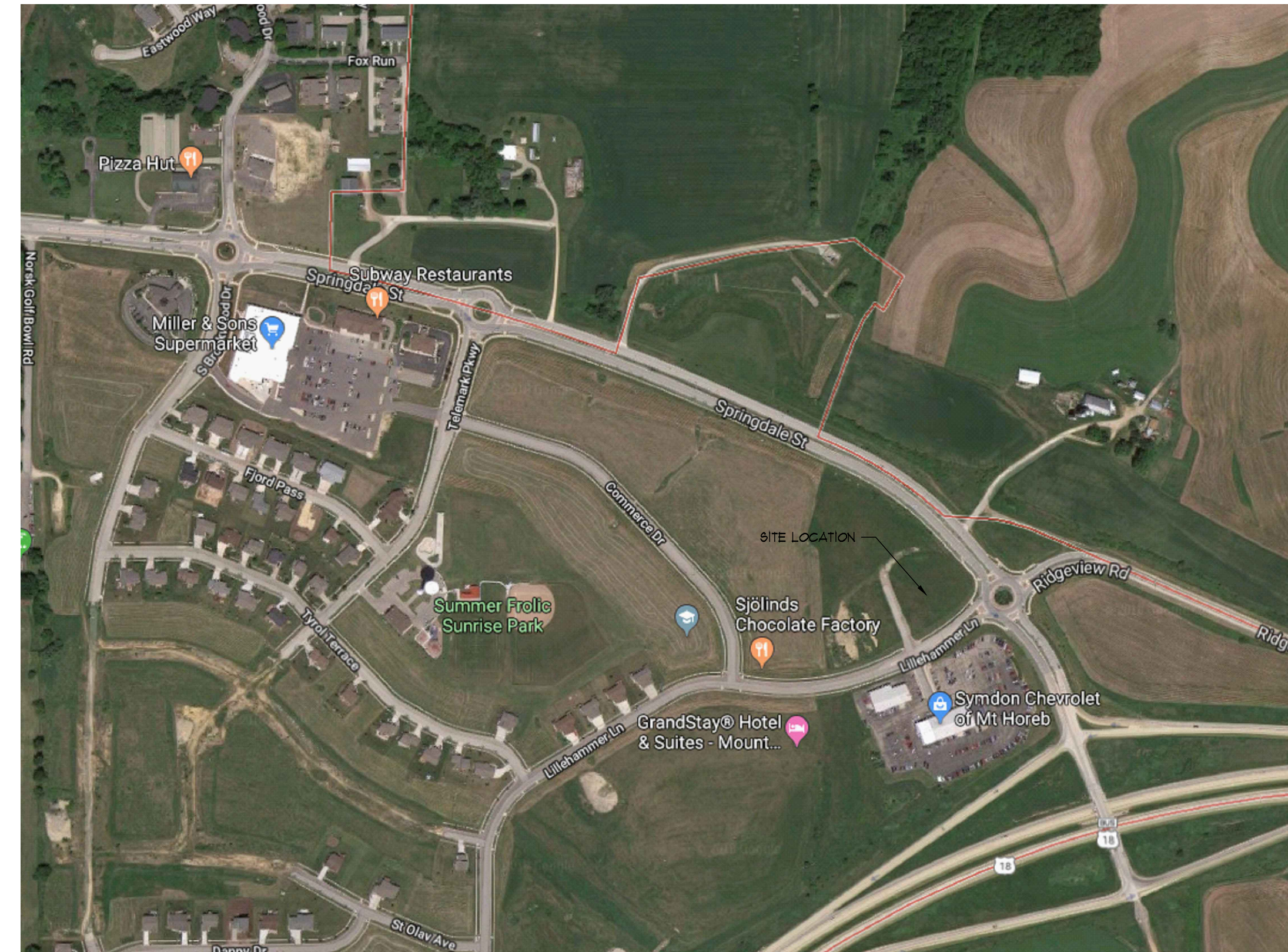
SITE ADDRESS:

100 LILLEHAMMER LANE
MOUNT HOREB, WISCONSIN 53572

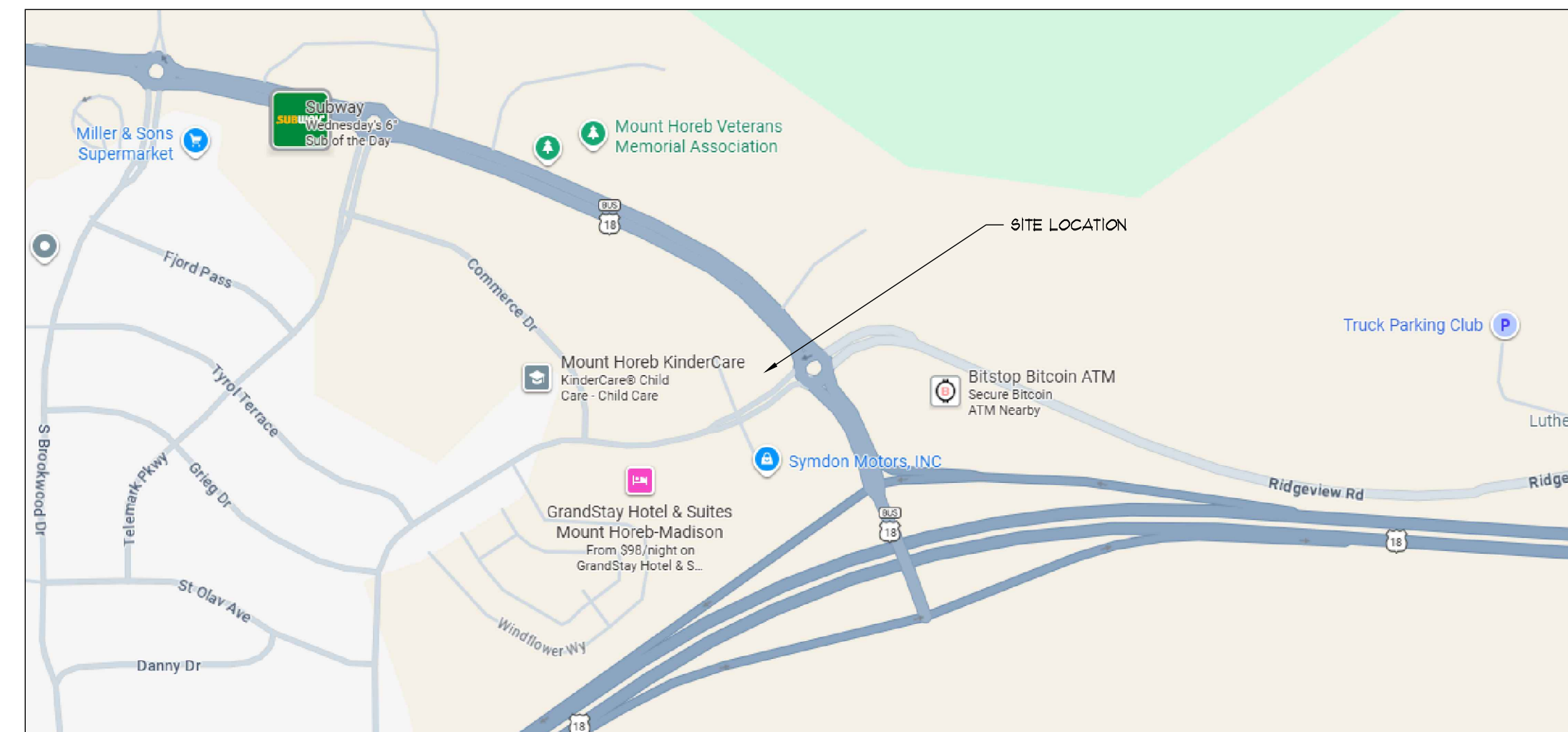
TJK TJK Design Build
612 W. Main
Madison, WI 53703
DESIGN BUILD 608-257-1090 FAX 608-257-1092

INDEX OF DRAWINGS:

SHEET #	SHEET TITLE
C-1.1	PROPOSED SITE PLAN
C-1.2	PHOTOMETRIC SITE PLAN
C200	GRADING PLAN
C300	UTILITY PLAN
P-1	PUBLIC SANITARY SEWER EXTENSION
A-1.1	FLOOR PLAN
A-1.2	ROOF PLAN
A-2.1	EXTERIOR ELEVATIONS
A-4.1	WALL SECTION



SITE LOCATION MAP



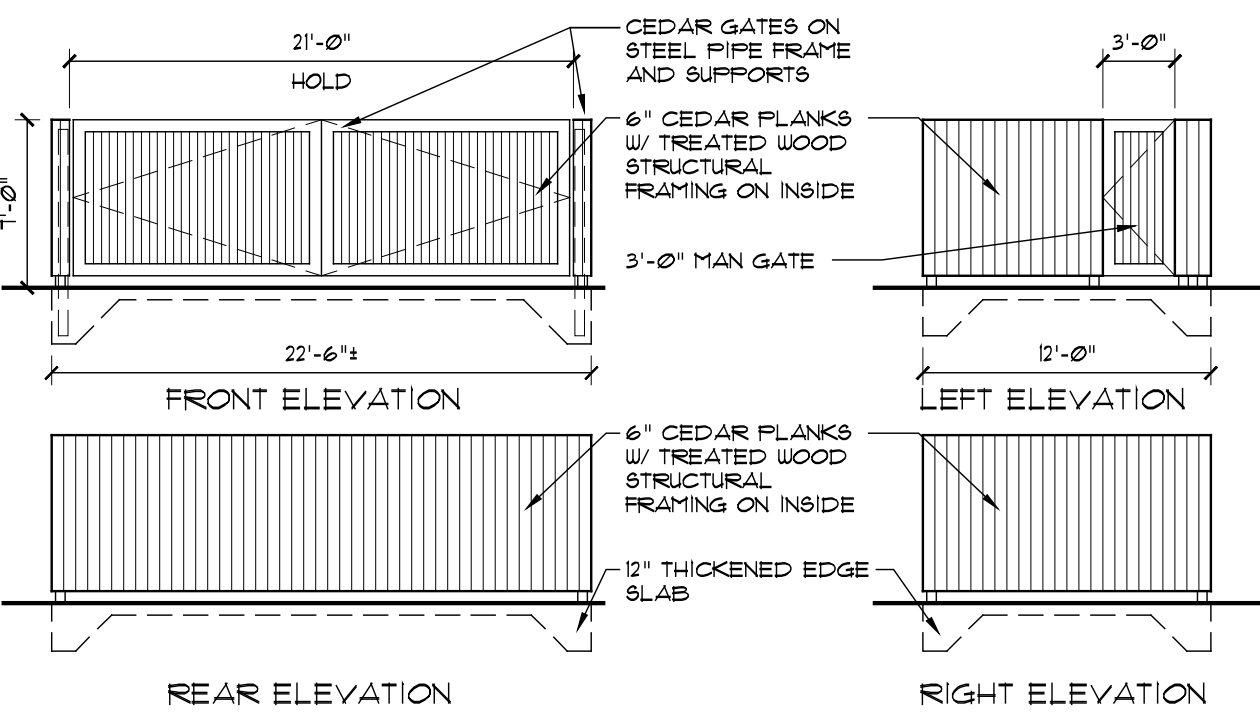
SITE LOCATION MAP

PROPOSED FACILITY FOR:
MOUNT HOREB - MULTI-TENANT

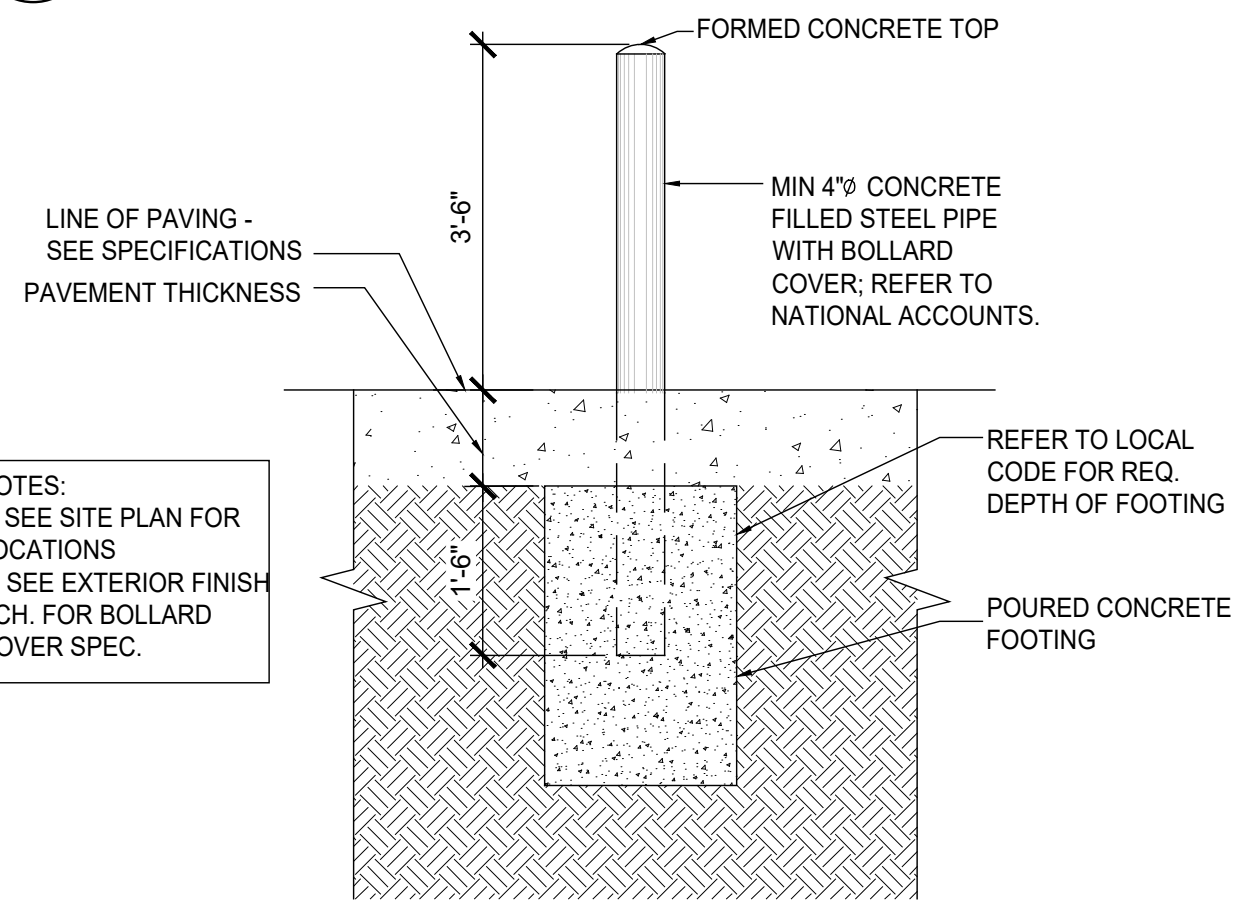
PARKING LOT PLAN SITE INFORMATION BLOCK	
100 LILLEHAMMER LANE MOUNT HOREB, WISCONSIN	
SITE ADDRESS	
SITE ACREAGE (TOTAL) 69,311 SQ FT + 1.59 ACRES	
NUMBER OF BUILDING STORIES (ABOVE GRADE) 1	
BUILDING HEIGHT - PARAPET 21'-10"	
TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS) 50% NOT SPRINKLED	
TOTAL SQUARE FOOTAGE OF BUILDINGS 9,164 SQ FT	
USE OF PROPERTY MULTI-TENANT RETAIL	
NUMBER OF BICYCLE STALLS SHOWN 4	
NUMBER OF PARKING STALLS (TOTAL SITES) SHOWN	
PARKING RATIO REQD. 1800	
STALLS REQD. 30	
STALLS SHOWN 30	
ACCESSIBLE 2	
TOTAL 32	
NUMBER OF TREES SHOWN - SEE LANDSCAPE PLAN	

SITE INFORMATION	
SITE SIZE	69,311 SQ FT
BLDG AREA	9,164 SQ FT
PARKING AND WALKS	29,828 SQ FT
FLOOR AREA RATIO	14.1%
IMPERVIOUS SURFACE RATIO	51.3%

- GENERAL NOTES:**
- ALL PAINT STRIPPING SHALL BE 4" WIDE, COLOR TBD
 - H.C. CURB CUTS AND RAMPS PER ADA SEC. 411 MAX. SLOPE TO BE 1:12, MIN. WIDTH TO BE 36", FLARE SIDES 12" EACH SIDE WITH MAX. SLOPE OF 1:10. AREA TO BE COLORED CONCRETE WITH TEXTURE IN COMPLIANCE WITH ADA REQUIREMENTS
 - ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
 - BITUMINOUS PAVING IS 3" SURFACE COURSE ON 8" COMPACTED STONE BASE
 - ALL EXTERIOR CONCRETE SIDEWALKS TO BE 6" BAG MIX 4" THICK W/ W/F REINFORCING ON 6" COMPACTED FILL.
 - SEWER AND WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH LOCAL STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION
 - SIDEWALKS AND DRIVEWAY APRON CONSTRUCTION WITHIN THE PUBLIC RIGHTS OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
 - DURING CONSTRUCTION REMOVE CASTING GRATE ON ALL CATCH BASINS INSTALL WATER PERMEABLE MEMBRANE FOR SILT INFILTRATION PROTECTION AND REINSTALL CASTING GRATE. SECURE MEMBRANE IN THE FLOW LINE WITH 2X4 MATERIAL, MINIMUM
 - EXISTING WATER MAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION
 - SLOPES GREATER THAN 3:1 SHALL BE LINED WITH EROSION MATTING
 - TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY/VILLAGE/TOWNSHIP
 - PROVIDE KNOX BOX FOR THE FIRE DEPARTMENT. COORDINATE LOCATION WITH FIRE DEPARTMENT PRIOR TO INSTALLATION
 - ALL "STOP" SIGNS ARE TO BE INSTALLED AT A HEIGHT OF 7 FEET AT ALL DRIVEWAY APPROACHES BEHIND THE PROPERTY LINE
 - THE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS BEFORE THE START OF WORK IN THE RIGHT OF WAY OR UTILITY CONNECTIONS

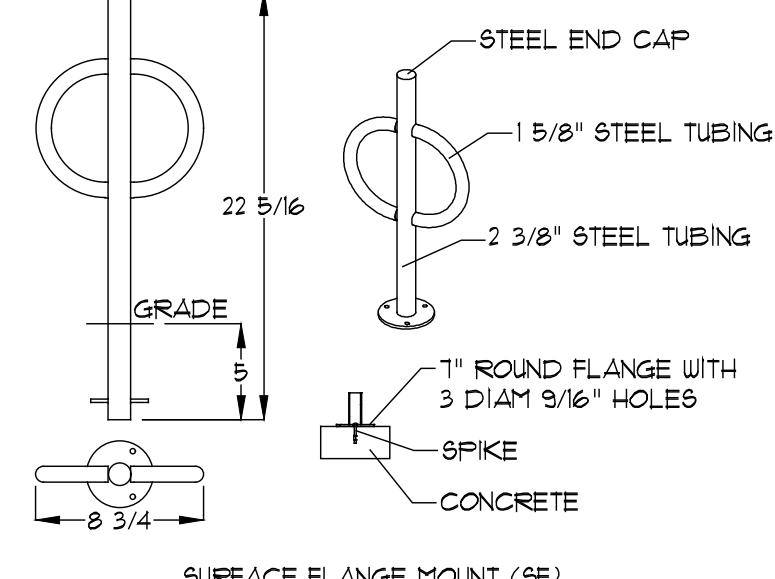


5 DUMPSTER ENCLOSURE ELEVATIONS
SCALE: 1/8" = 1'-0"

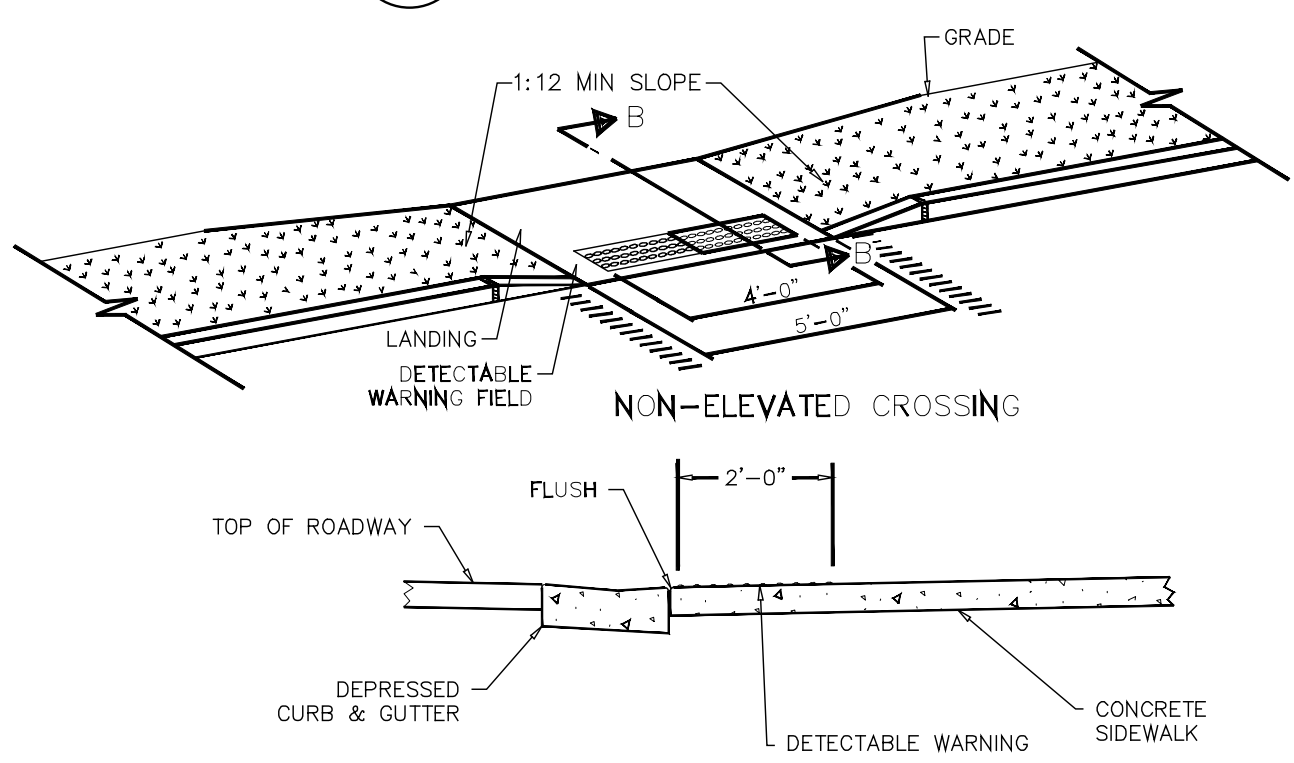


3 TYPICAL BOLLARD DETAIL
SCALE: #####

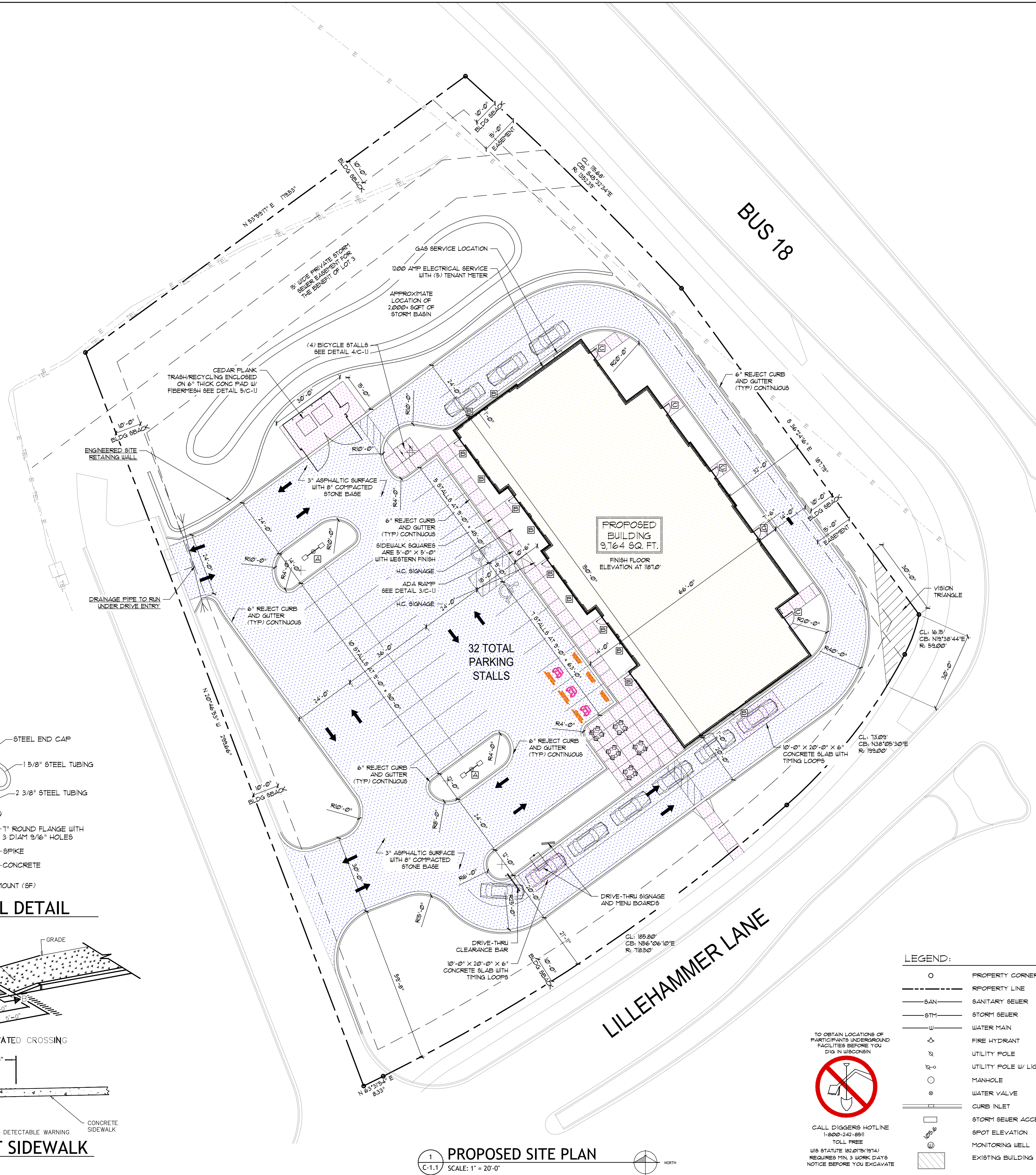
- LIGHT FIXTURE KEY**
- COOPER LIGHTING INDUSTRIES, LUMARK FREYVAIL D/SIGRETE LED - DOUBLE HEAD ON 5' X 15' POLE ON 3'-0" CONC. PIER MODEL FRV-F42A-140-U-T4W (18'-0" FROM GRADE)
 - COOPER LIGHTING INDUSTRIES, HALO 6" LED RECESSED CAN LIGHT MODEL FR6R91ZD20 (11'-0" FROM GRADE)
 - COOPER LIGHTING INDUSTRIES, LUMARK CROSSFOUR SERIES, WALL MOUNT LUMINAIRE MODEL M4TOR2B (9'-0" FROM GRADE)



4 BIKE STALL DETAIL
SCALE: 1" = 1'-0"



2 ADA RAMP AT SIDEWALK
SCALE: N.T.S.

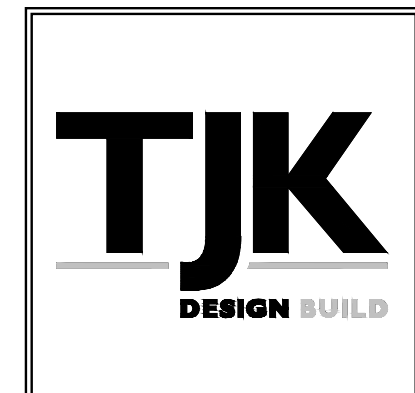


1 PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

LEGEND:

○	PROPERTY CORNER
---	PROPERTY LINE
---	SANITARY SEWER
---	STORM SEWER
---	WATER MAIN
○	FIRE HYDRANT
○	UTILITY POLE
○	UTILITY POLE W/ LIGHT
○	MANHOLE
○	WATER VALVE
○	CURB INLET
○	STORM SEWER ACCESS COVER
○	SPOT ELEVATION
○	MONITORING WELL
○	EXISTING BUILDING

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE 1-800-242-8811 TOLL FREE
WIS STATUTE 90.07(1)(14) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



612 WEST MAIN STREET
MADISON, WI 53703
608-257-1090
FAX 608-257-1092

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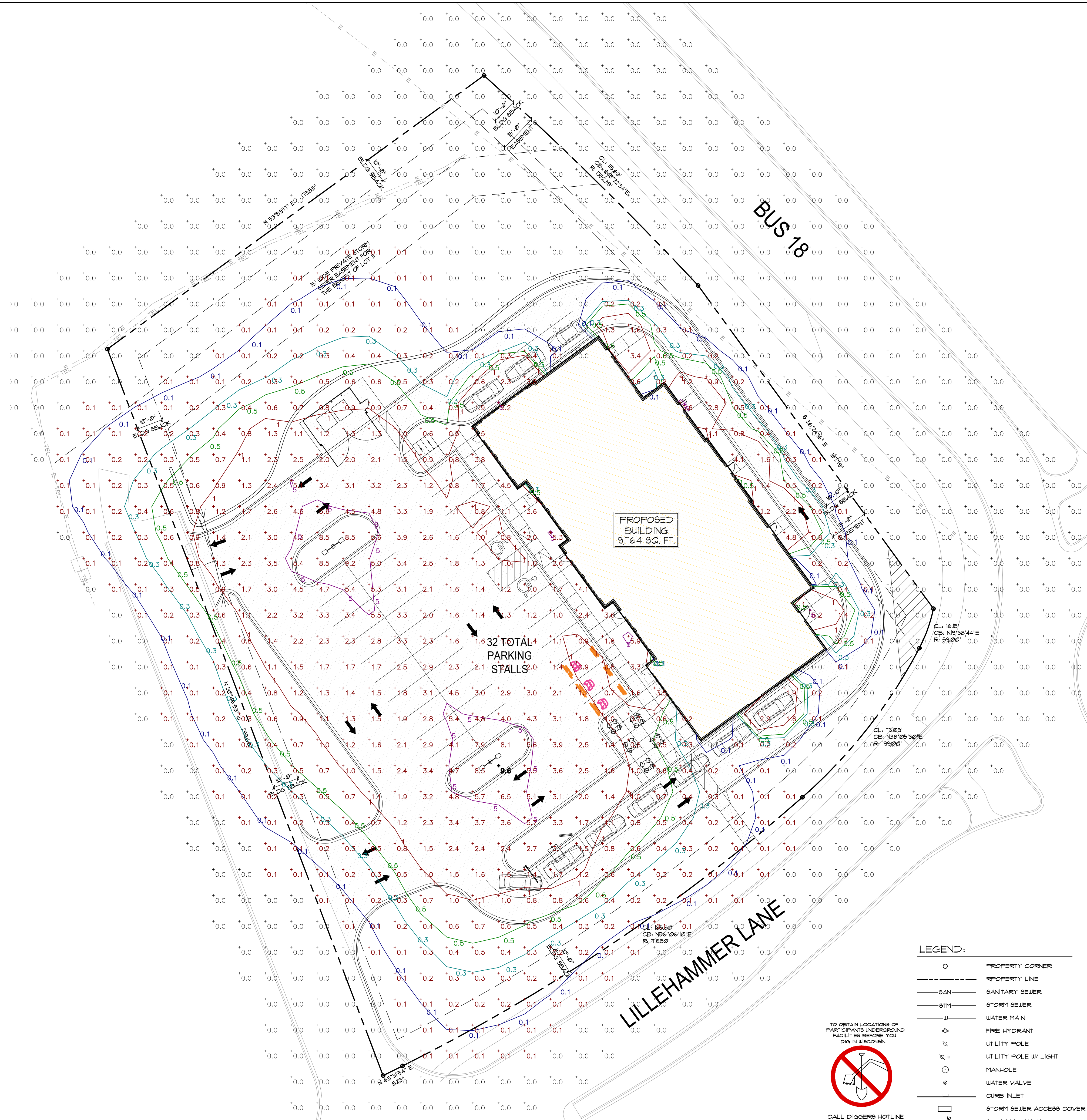
REV	DATE

PROPOSED FACILITY FOR:
MOUNT HOREB - MULTI-TENANT
100 LILLEHAMMER LANE
MOUNT HOREB, WISCONSIN 53572

C-1.1
4.17.26

LIGHT FIXTURE KEY

- A COOPER LIGHTING INDUSTRIES, LUMARK FREYVAL DISCRETE LED - DOUBLE HEAD ON 5' X 15' POLE ON 3'-0" CONC. PIER MODEL FRV-FA2A-140-U-T4W (18'-0" FROM GRADE)
- B COOPER LIGHTING INDUSTRIES, HALO 6" LED RECESSED CAN LIGHT MODEL FR691ZD02 (11'-0" FROM GRADE)
- C COOPER LIGHTING INDUSTRIES, LUMARK CROSSFOUR SERIES, WALL MOUNT LUMINAIRE MODEL *1TOR12 (9'-0" FROM GRADE)

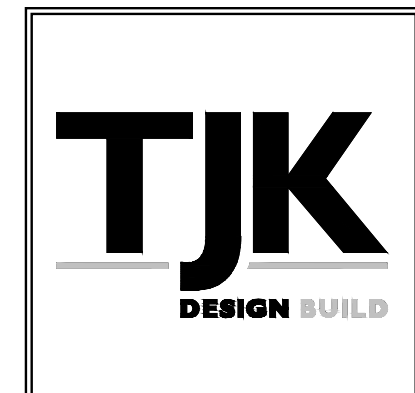


- LEGEND:**
- PROPERTY CORNER
 - PROPERTY LINE
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - FIRE HYDRANT
 - UTILITY POLE
 - UTILITY POLE W/ LIGHT
 - MANHOLE
 - WATER VALVE
 - CURB INLET
 - STORM SEWER ACCESS COVER
 - SPOT ELEVATION
 - MONITORING WELL
 - EXISTING BUILDING

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

 CALL DIGGERS HOTLINE 1-800-242-8811 TOLL FREE
 WIS STATUTE 90.07(1)(24) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

PHOTOMETRIC SITE PLAN
 SCALE: 1" = 20'-0"



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REV	DATE

PROPOSED FACILITY FOR:
MOUNT HOREB - MULTI-TENANT
 100 LILLEHAMMER LANE
 MOUNT HOREB, WISCONSIN 53572

C-1.2
 4.17.26

NOTE:
 SPOT GRADES ARE AS FOLLOWS:
 FFE - FINISHED FLOOR GRADE
 EP - EDGE OF ASPHALT PAVEMENT
 EC - EDGE OF CONCRETE PAVEMENT
 BC - BACK OF CURB
 SW - EDGE OF SIDEWALK
 FG - FINISH GRADE
 TW - FINISH GRADE ADJACENT TOP OF WALL
 BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- - - EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- STM
- PROPOSED STORM SEWER
- SILT FENCE
- INLET PROTECTION
- DITCH CHECK
- SPOT GRADE
- DRAINAGE GRADE BREAK
- DRAINAGE ARROW



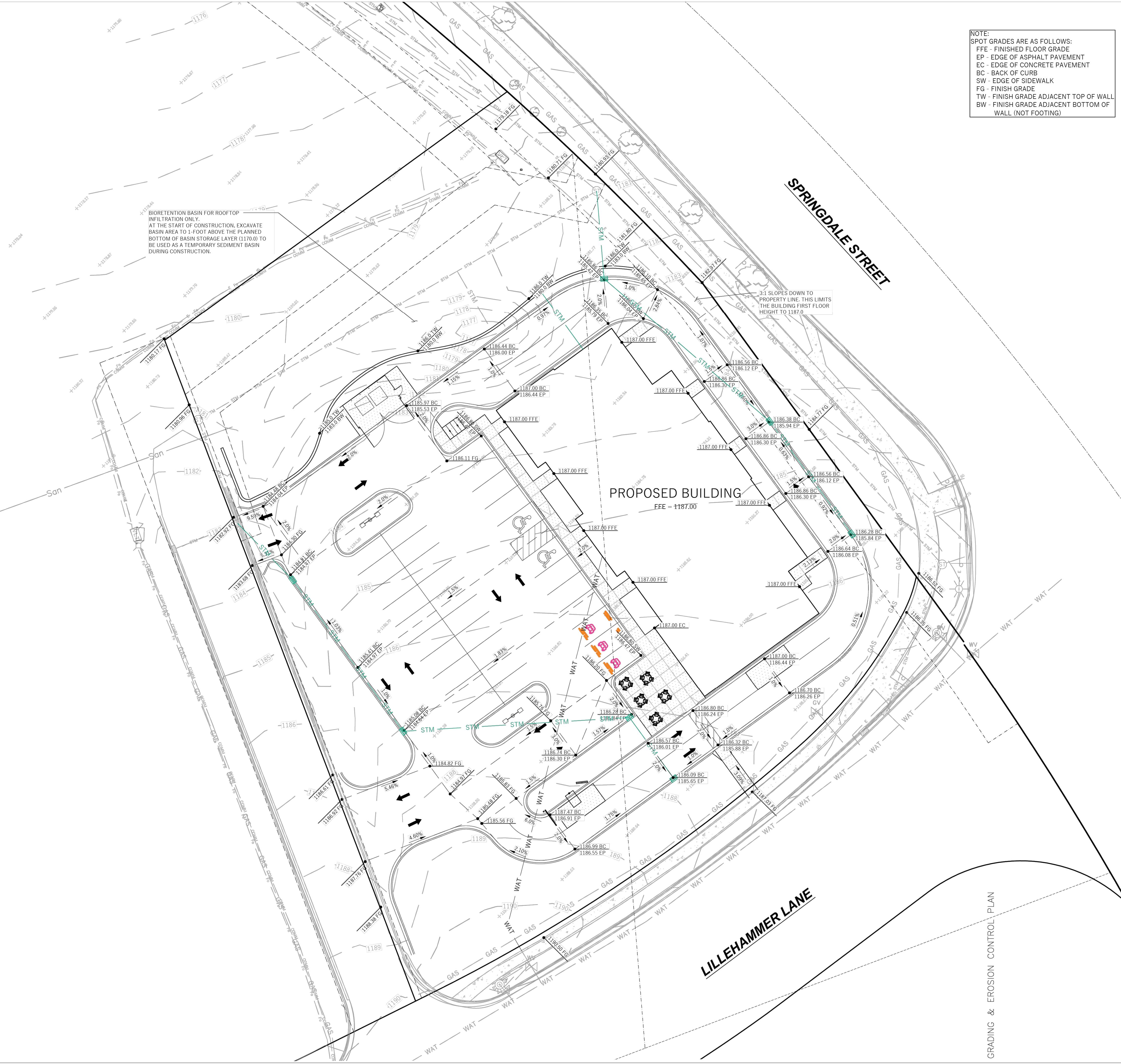
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REV DATE

PROPOSED FACILITY FOR:
 #####
 100 LILLEHAMMER LANE
 VILLAGE OF MOUNT HOREB

C200
 04/15/2026



GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JANUARY 7, 2026. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF CHRONIC OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE VILLAGE'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH VILLAGE OF MOUNT HOREB STANDARDS.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- POST WDRN CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDRN.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- ENGINEER / VILLAGE OF MOUNT HOREB / DANE COUNTY LAND CONSERVATION / WDRN HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE VILLAGE OF MOUNT HOREB BUILDING INSPECTOR TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
- SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDRN AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE, PRESERVE EXISTING VEGETATION ESPECIALLY ADJACENT TO SURFACE WATERS. MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL.
- REFER TO THE WDRN STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wis.gov/topic/stormwater/standards/const_standards.html.
- INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDRN TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDRN TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
- CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
- STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDRN TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
- PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL. IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDRN TECHNICAL STANDARD DEWATERING #1063.
- COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET PONDS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDRN TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1063.
- CONSTRUCT AND PROTECT THE BIOPINFILTRATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDRN TECHNICAL STANDARD BIOPINFILTRATION FOR INFILTRATION # 1004.
- INSTALL AND MAINTAIN SILT FENCING PER WDRN TECHNICAL STANDARD SILT FENCE #1055. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDRN TECHNICAL STANDARD DITCH CHECKS #1062.
- INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDRN TECHNICAL STANDARD INTERM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXES WITH WINTER WHEAT, ANNUAL GRASS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDRN TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERM).
- FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS II TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDRN TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDRN TECHNICAL STANDARD CHANNEL EROSION MAT #1053.

GRADING & EROSION CONTROL PLAN
GRADING & EROSION CONTROL PLAN
 TOLL FREE (800) 242-8511 or 811
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF CONTAMINATED MATERIALS.

NEW OUTSIDE DROP MANHOLE CONNECTION INTO EXISTING 8" PUBLIC PVC SANITARY SEWER MAIN. RIM = 1167.5 I.E. (EX N & S) = 1137.9 ± (8" PVC) I.E. (PRO E) = 1158.0 CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

SANITARY MANHOLE RIM = 1179.25 I.E. (NW) = 1169.25 (8" PVC) I.E. (SE) = 1169.42 (6" PVC)

STORM SEWER MANHOLES / PIPE RUN NOT FIELD VERIFIED. ANY MANHOLES APPEAR TO BE BURIED. NOT LOCATED WITHIN STORM EASEMENT.

ROOF DRAIN TO BE CAPTURED AND DISCHARGED TO BIORETENTION BASIN TO THE NORTHWEST OF THE BUILDING.

CONNECT INTO WESTERN STORM SEWER SYSTEM INTO EXISTING INLET

CONNECTION INTO EXISTING 6" DUCTILE IRON WATER SERVICE STUB LOCATED IN THIS AREA. CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

CONNECT EASTERN STORM SEWER SYSTEM INTO EXISTING STORM MANHOLE.

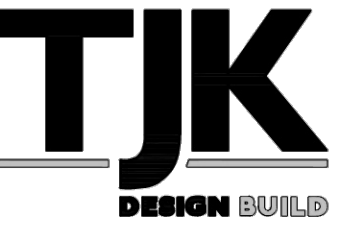
SANITARY BUILDING CONNECTION LOCATION I.E. = 1171.64 COORDINATE WITH INTERIOR PLUMBING PLANS.

PROPOSED BUILDING FFE = 1187.00

NOTE: CURB INLET RIM ELEVATION IS TO FLAG OF CURB. ADD 0.44- FEET TO GET TO BACK OF CURB.

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- WAT PROPOSED WATER MAIN
- SAN PROPOSED SANITARY SEWER
- STM PROPOSED STORM SEWER
- GAS PROPOSED GAS SERVICE (DESIGN BY OTHERS)
- E PROPOSED ELECTRIC SERVICE (DESIGN BY OTHERS)
- STORMWATER TREATMENT FACILITY



612 WEST MAIN STREET
MADISON, WI 53703
608-257-1090
FAX 608-257-1092

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GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JANUARY 7, 2026. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE VILLAGE'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH VILLAGE OF MOUNT HOREB STANDARDS.

UTILITY NOTES

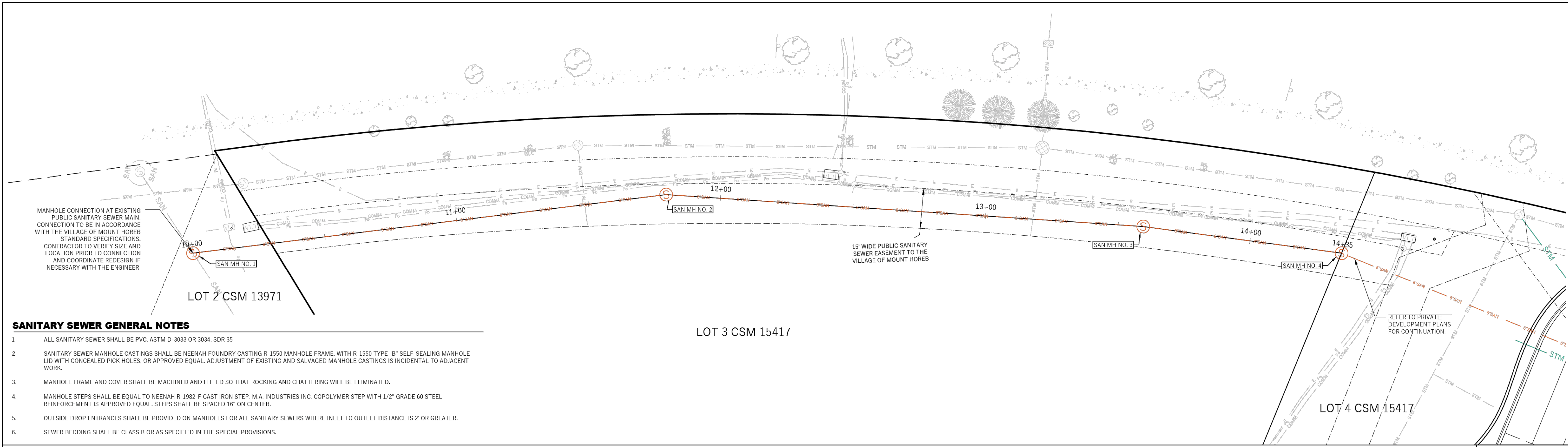
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDRN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
- ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6' MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
- GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE VILLAGE OF MOUNT HOREB STANDARDS. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
- CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
- ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE IN ACCORDANCE WITH SPS 382.30(1)(b) AND SPS 382.36(7)(g). TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
- EXTERIOR CLEANOUTS SHALL BE PROVIDED AS REQUIRED BY SPS 384.35. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.30(2)(c).
- ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
- ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
- ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SEPARATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
- THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
- INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. THE INLET SHALL BE SET TO GRADE ON A BED OF MORTAR WHICH SHALL BE A MINIMUM OF TWO INCHES THICK. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ONCE THE CASTING ADJUSTMENT IS COMPLETE, THREE FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
- THE CURB INLET SHALL HAVE A CATCH-ALL HR-1 OIL AND GREASE FILTER OR APPROVED EQUIVALENT INSTALLED WITHIN THEM.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE VILLAGE EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

REV DATE

PROPOSED FACILITY FOR: ###
100 LILLEHAMMER LANE
VILLAGE OF MOUNT HOREB

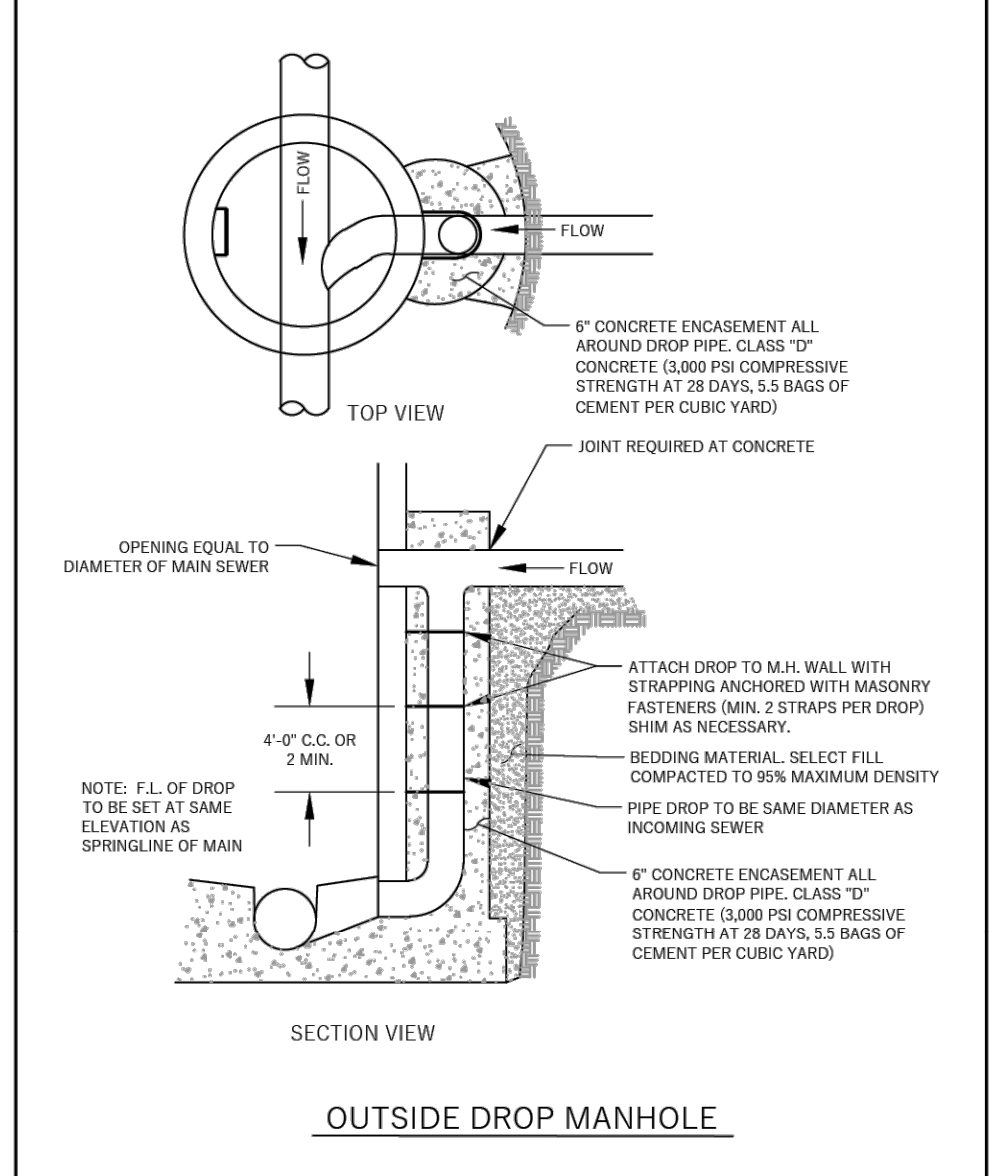
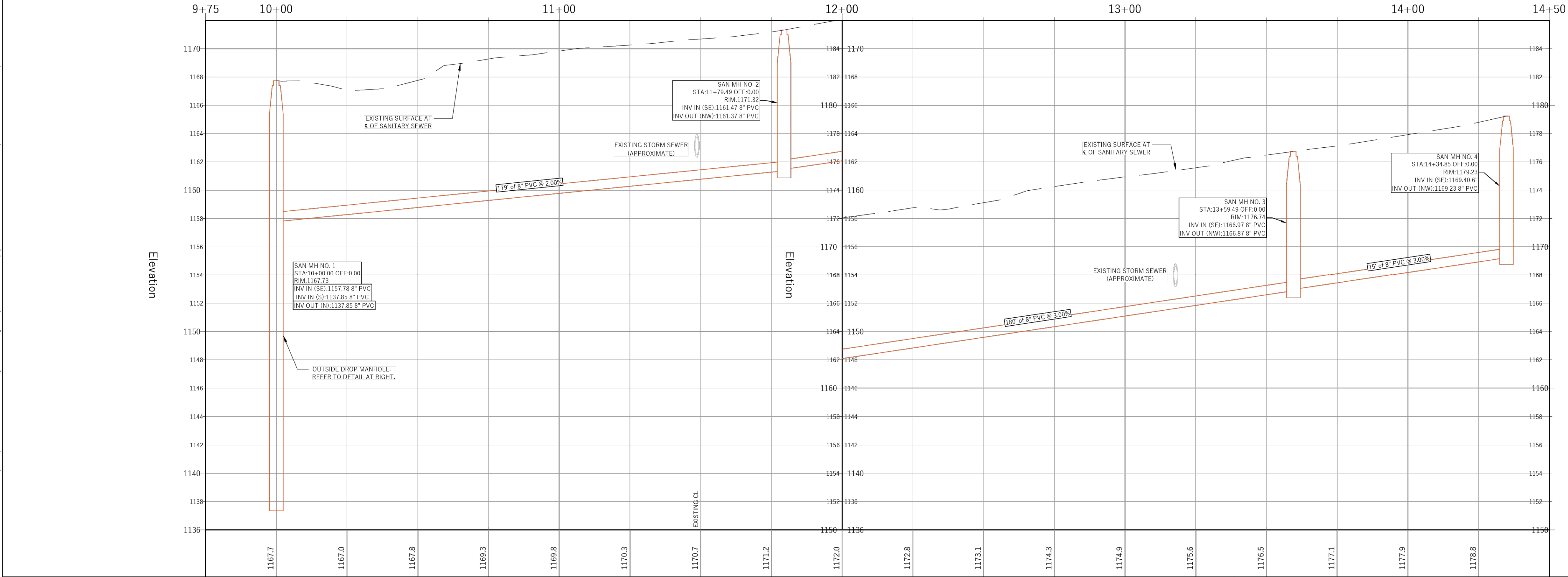
DIGGERS HOTLINE UTILITY PLAN
Toll Free (800) 242-8511 or 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

C300
04/15/2026



SANITARY SEWER GENERAL NOTES

1. ALL SANITARY SEWER SHALL BE PVC, ASTM D-3033 OR 3034, SDR 35.
2. SANITARY SEWER MANHOLE CASTINGS SHALL BE NEENAH FOUNDRY CASTING R-1550 MANHOLE FRAME, WITH R-1550 TYPE "B" SELF-SEALING MANHOLE LID WITH CONCEALED PICK HOLES, OR APPROVED EQUAL. ADJUSTMENT OF EXISTING AND SALVAGED MANHOLE CASTINGS IS INCIDENTAL TO ADJACENT WORK.
3. MANHOLE FRAME AND COVER SHALL BE MACHINED AND FITTED SO THAT ROCKING AND CHATTERING WILL BE ELIMINATED.
4. MANHOLE STEPS SHALL BE EQUAL TO NEENAH R-1982-F CAST IRON STEP, M.A. INDUSTRIES INC. COPOLYMER STEP WITH 1/2" GRADE 60 STEEL REINFORCEMENT IS APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.
5. OUTSIDE DROP ENTRANCES SHALL BE PROVIDED ON MANHOLES FOR ALL SANITARY SEWERS WHERE INLET TO OUTLET DISTANCE IS 2' OR GREATER.
6. SEWER BEDDING SHALL BE CLASS B OR AS SPECIFIED IN THE SPECIAL PROVISIONS.



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**100 LILLEHAMMER LANE
PUBLIC SANITARY SEWER EXTENSION**
VILLAGE OF MOUNT HOREB, DANE COUNTY, WI

Sheet Title:
PLAN AND PROFILE
PUBLIC SANITARY SEWER
STA 10+00 TO END

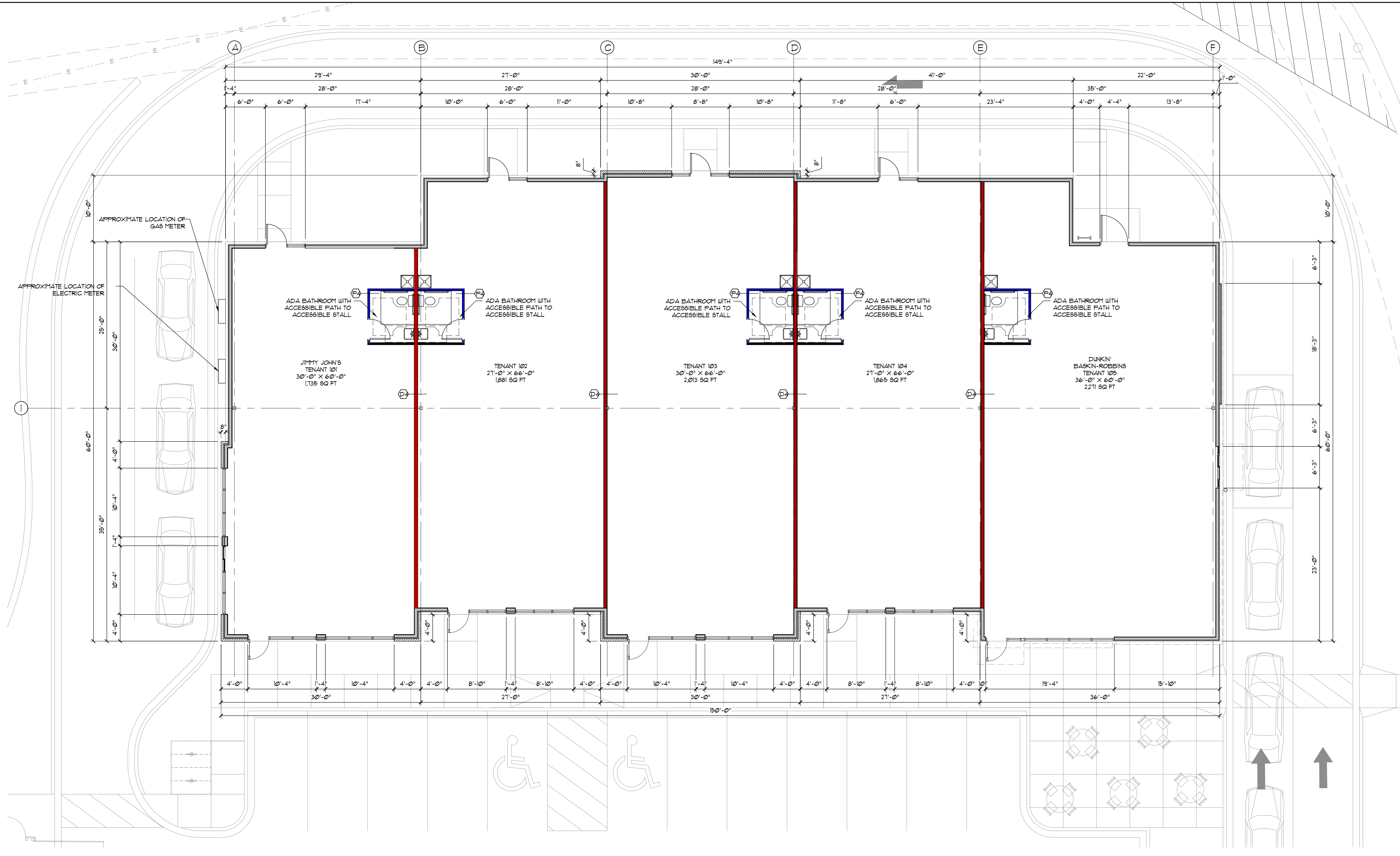
100 LILLEHAMMER LANE
MOUNT HOREB, WI 53572



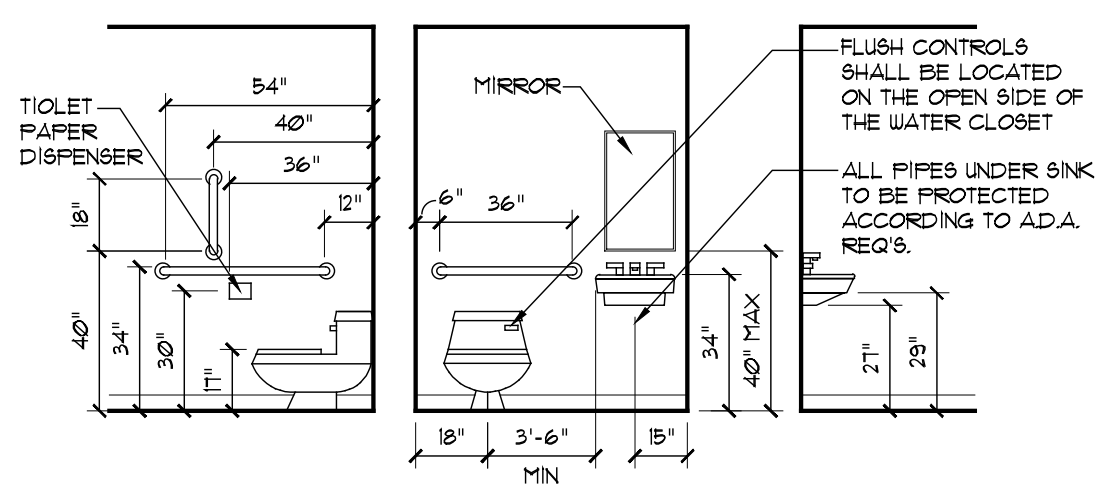
Graphic Scale	0' 5' 10' 20' 30' 40'
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Set Type	REVIEW
Date Issued	04/16/2026
Sheet Number	P-1

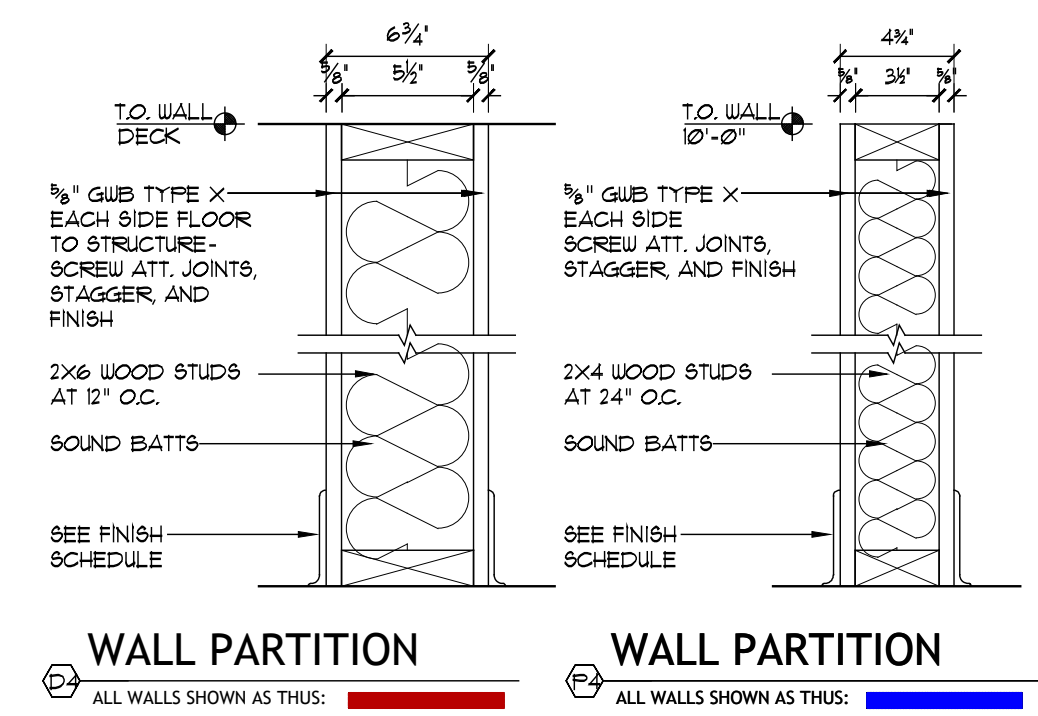
- GENERAL NOTES:**
- CONSTRUCTION TYPE SB, NOT SPRINKLED
 - ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION CONTRACTORS TO PROVIDE COMPLETE SYSTEMS WITH ALL NECESSARY PLAN REVIEW AND PERMITS.
 - EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES.
 - PROVIDE AN EMERGENCY ILLUMINATION POWER ALONG EGRESS PATHS IN ACCORDANCE W/ ICC ELECTRICAL CODE. ILLUMINATION IS TO LAST FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES (INTERIOR & EXTERIOR)
 - ELECTRIC CONTRACTOR TO PROVIDE SUFFICIENT TEMPORARY POWER AND LIGHTING DURING CONSTRUCTION.
 - TENANT SPACE IS TO HAVE AN ACCESSIBLE WATER BOTTLE DRINKING FOUNTAIN WITH INDIVIDUAL DRINKING CUPS FURNISHED BY TENANT (NO PLUMBING) ELECTRICIAN TO PROVIDE OUTLET FOR COOLER.
 - ALL PERIMETER WINDOW SILLS ARE TO BE FLOASER LAMINATE WITH DRYWALL RETURNS. (COLOR BY ARCHITECT)
 - ALL WALLS TO RECEIVE PRIMER WITH ORANGE PEEL TEXTURE BY DRYWALL CONTRACTOR AND (2) COATS OF LATEX PAINT BY PAINTING CONTRACTOR.
 - ALL INTERIOR DOORS ARE TO BE 3'-0" X 1'-0" PREFINISHED WOOD DOORS IN HOLLOW METAL FRAMES. PAINTING CONTRACTOR TO PAINT ALL HOLLOW METAL FRAMES AND HOLLOW METAL DOORS (2 COATS), UNO.
 - ALL GLAZING WITHIN A 2'-0" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 5'-0" ABOVE THE WALKING SURFACE ARE TO BE TEMPERED SAFETY GLASS (TYPICAL)
 - FURNISH AND INSTALL DOORS AND WINDOW ASSEMBLIES AS INDICATED ON THE PLANS ALONG WITH ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. ALL DOORS AND WINDOWS SHALL OPERATE SMOOTHLY WITHOUT BIND AND BE INSTALLED PLUMB AND TRUE. ALL HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED. ALL FRAMES SHALL MEET OR EXCEED AAMA 8013 AND ASTM 183. SEE SCHEDULES FOR MORE INFORMATION.
 - ALL LOCKSETS SHALL BE LEVER TYPE AS REQUIRED TO MEET REQUIREMENTS OF THE ADA. ALL OTHER HARDWARE SHALL CONFORM TO THE REQUIREMENTS OF ADA. ALL EXIT DOORS SHALL BE EQUIPPED WITH LEVER TYPE EXIT HARDWARE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A LATCH, KEY OR BOLT. SCHLAGE "A" SERIES OR APPROVED EQUAL.
 - DRYWALL CONTRACTOR TO INSTALL DRYWALL PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" GA-216 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. NOTE: PROVIDE CONTROL JOINTS PER THESE REQUIREMENTS. PROVIDE VINYL EDGE TRIM & EXTERIOR DRYWALL CEILING IF REQUIRED.
 - TOILET ROOMS TO MEET A.D.A. REGULATIONS AND TO HAVE STANDARD ACCESSORIES AND DISPENSERS.
 - ALL EXHAUST FAN VENTING THROUGH ROOF BY HVAC CONTRACTOR. COORDINATE INSTALLATION WITH JOB SUPERINTENDENT.
 - ALL ROOF TOP PENETRATIONS ARE TO BE PREFINISHED METAL OR PAINTED TO MATCH THE ROOF. VERIFY COLOR WITH ARCHITECT PRIOR TO INSTALLATION. COORDINATE INSTALLATION WITH JOB SUPERINTENDENT.
 - ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF THE ADA.
 - WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO LATCH SIDE OF THE DOOR WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR. INCLUDING AT THE DOUBLE LEAF DOORS SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. SUBMIT TEXT FOR APPROVAL PRIOR TO FABRICATION.
 - MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SIGN UNLESS INDICATED OTHERWISE.
 - GENERAL CONTRACTOR TO FURNISH AND INSTALL EXTINGUISHERS PER I.B.C. SECTION 906 AND NFPA 1010-1918 MOUNT FIRE EXTINGUISHER NOT HIGHER THAN 48" ABOVE FINISH FLOOR UNLESS LOCAL REGULATIONS REQUIRED DIFFERENT HEIGHT. ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF THE ADA.
 - MASON TO USE COLORED MORTAR TO MATCH ADJACENT BLOCK COLOR. VERIFY COLOR WITH ARCHITECT PRIOR TO INSTALLATION.
 - MASON IS TO USE DUR-O-WALL TRIANGLE TIE MODEL # D1A 101 AND DUR-O-WALL MODEL # D1A 210 ANCHOR, SCREW TO STUDS WITH (2) SCREWS, TRIANGLES AND ANCHORS ARE TO BE HOT DIPPED FINISH MASON IS TO UTILIZE (1) TIE ASSEMBLY FOR EVERY 225 SQ FT OR WALL AREA (MAXIMUM).



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH

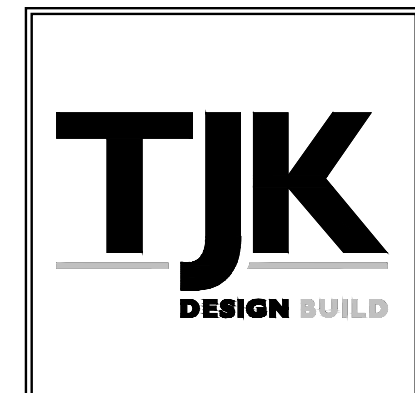


TYPICAL RESTROOM ELEVATIONS
SCALE: 1/4" = 1'-0"



WALL PARTITION
ALL WALLS SHOWN AS THIS: [Red Line]

WALL PARTITION
ALL WALLS SHOWN AS THIS: [Blue Line]



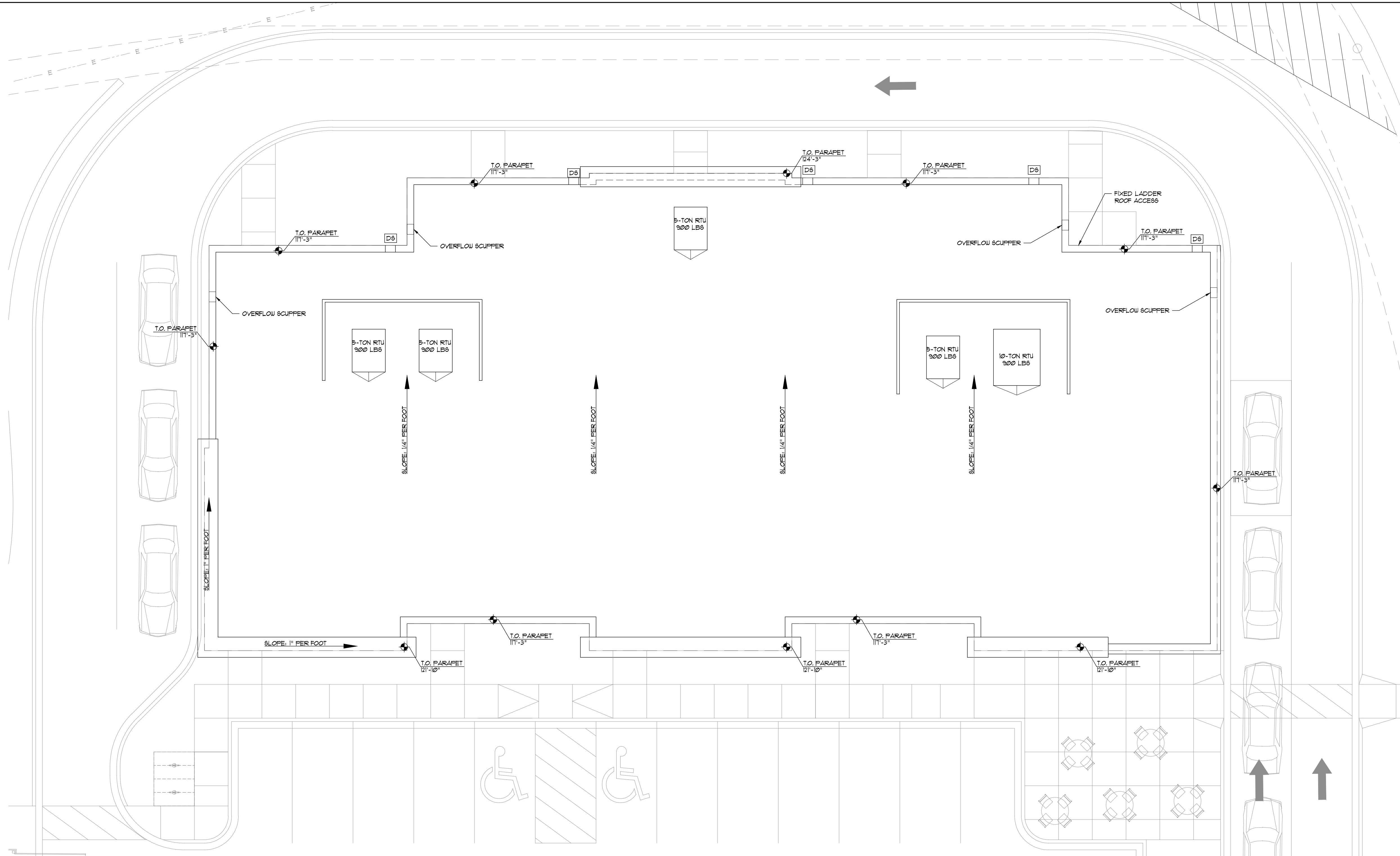
612 WEST MAIN STREET
MADISON, WI 53703
608-257-1090
FAX 608-257-1092

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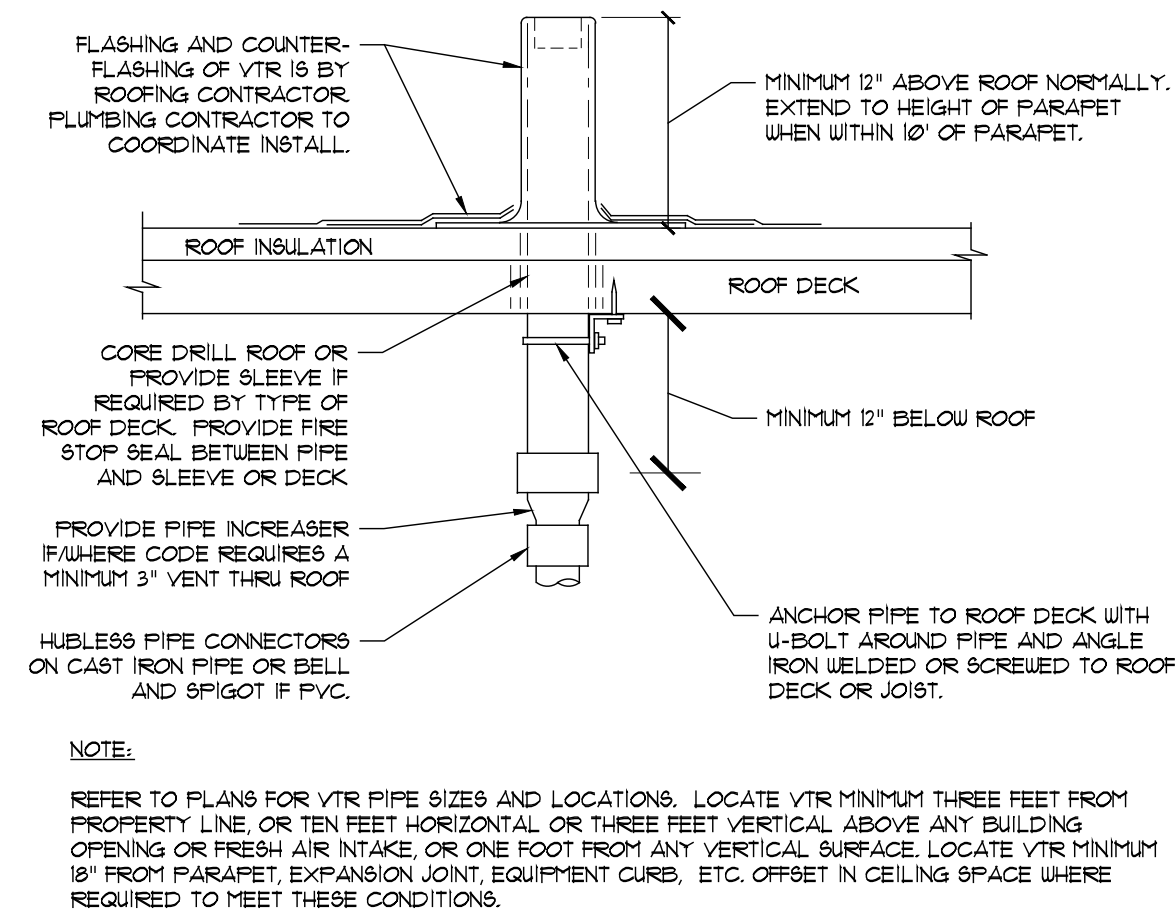
REV	DATE

PROPOSED FACILITY FOR:
MOUNT HOREB - MULTI-TENANT
100 LILLEHAMMER LANE
MOUNT HOREB, WISCONSIN 53572

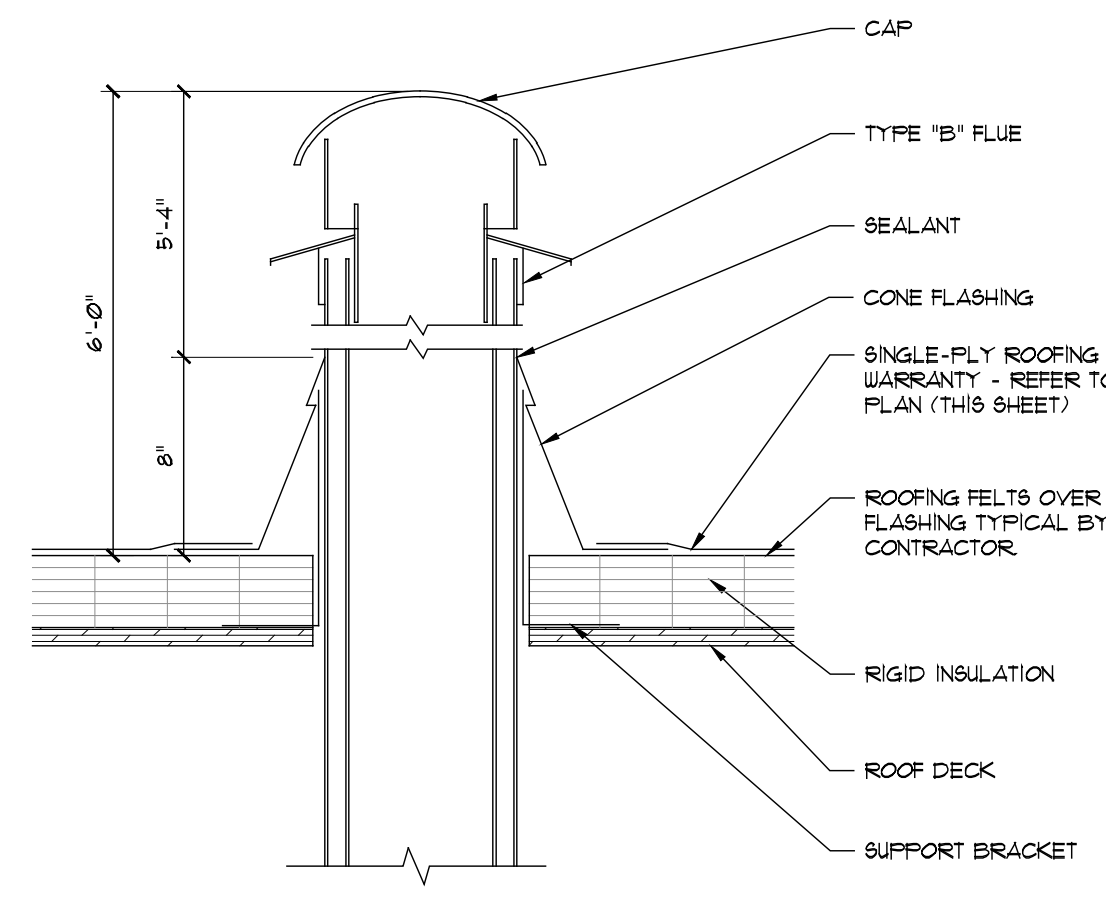
A-1.1
4.17.26



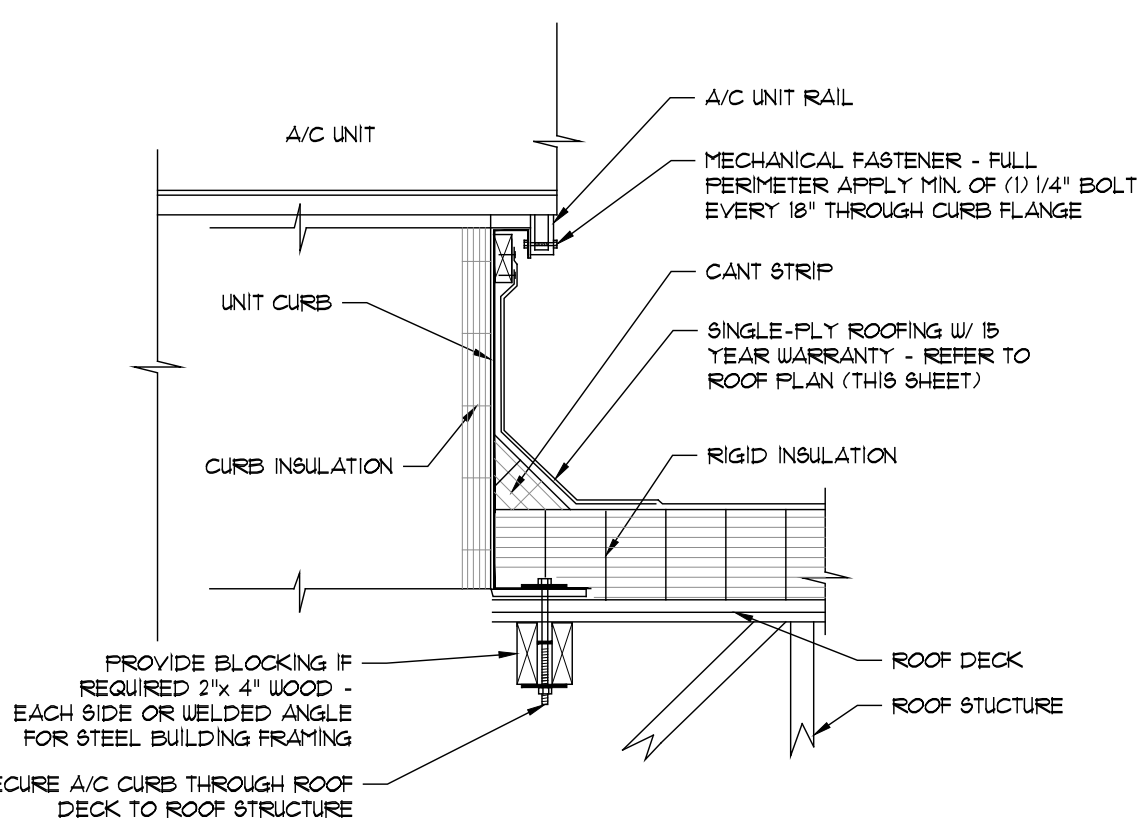
1 ROOF PLAN
SCALE: 1/8" = 1'-0"



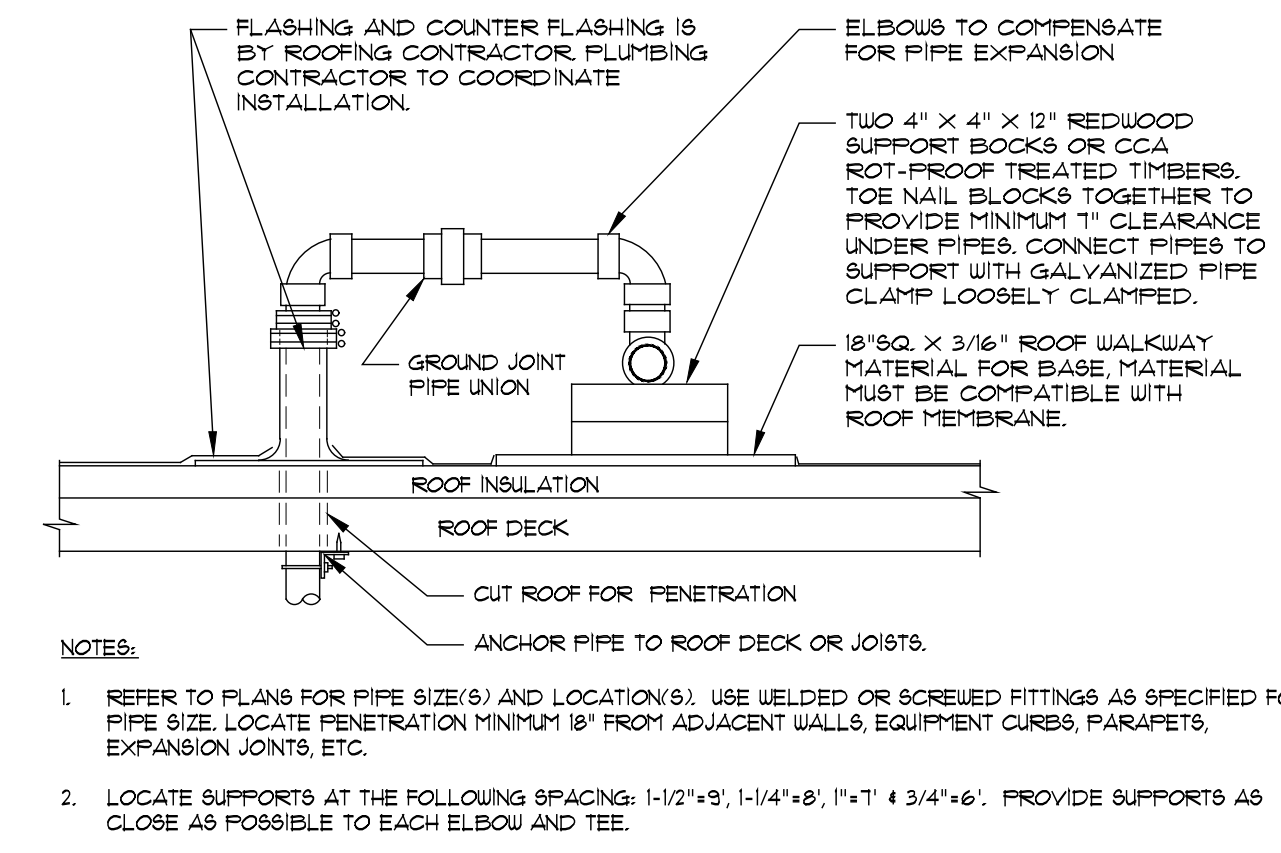
5 VENT THRU ROOF
SCALE: NTS



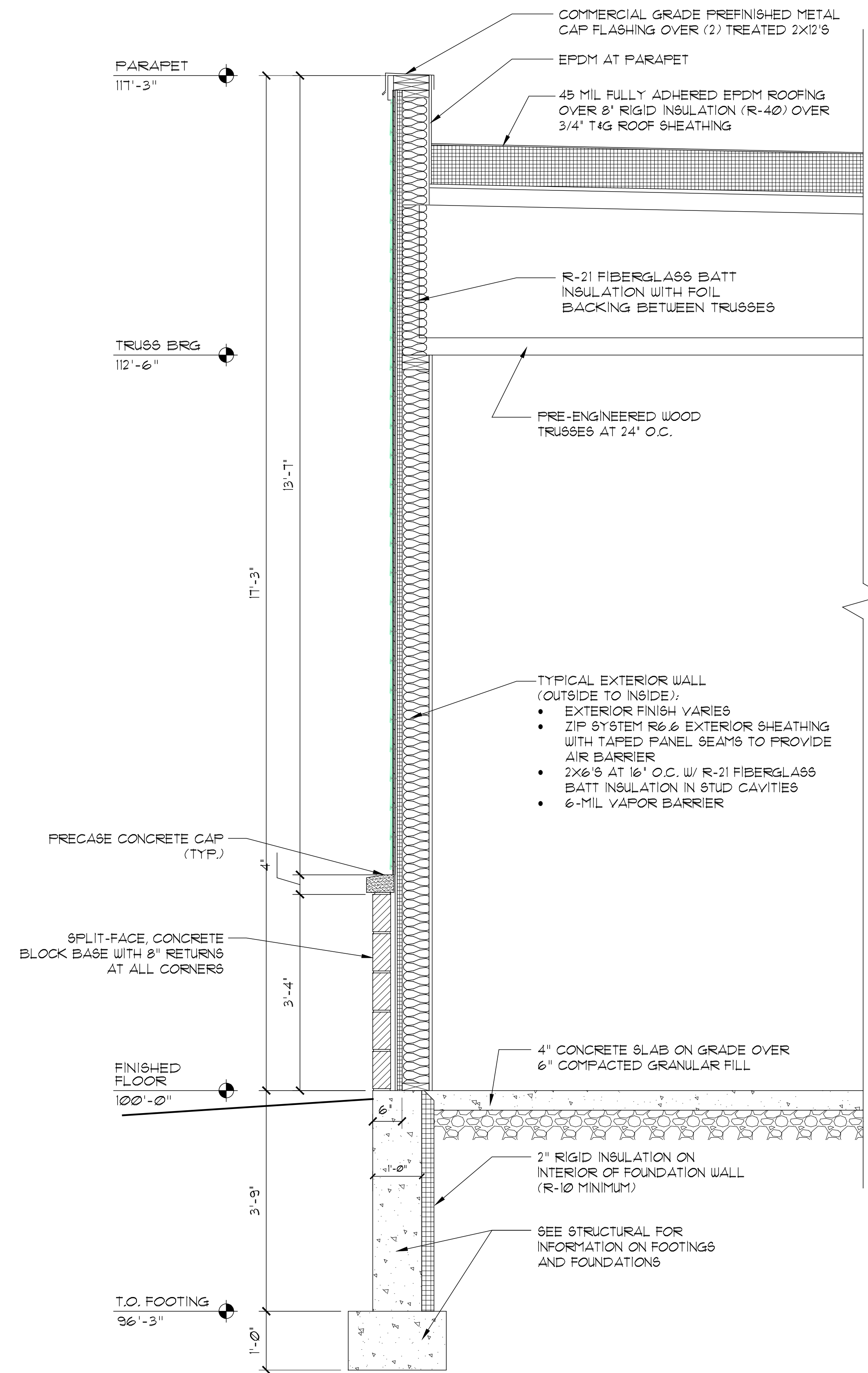
4 EXHAUST PIPE PENETRATION
SCALE: NTS



3 DETAIL AT CURB
SCALE: NTS



2 ROOF PENETRATION
SCALE: NTS



1
A-4.1 WALL SECTIONS
SCALE: 3/4" = 1'-0"



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 5.h

Recommendation of Public Art Ordinance 2026-06

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Public Art Ordinance Memo 4.22.26



VANDEWALLE & ASSOCIATES INC.

To: Village of Mount Horeb Plan Commission
From: Village Planner: Ben Rohr, AICP
Date: April 22, 2026
Re: Public Art Ordinance

BACKGROUND

An example Public Art Ordinance from the City of Delevan was introduced and discussed during the March meeting. The following feedback was provided by the Plan Commission:

- Remove references to moral standards.
- Need to create an easy-to-use application for this process and nominal application fees.
- The Village Attorney should weigh-in on the proposed ordinance. In particular, what legal restrictions should we be aware of and is the definition of public art considered legal.
- Ensure that the process is not burdensome on applicants.
- Need to ensure that public art is public accessible if located on private property.
- Need to accommodate both short-term temporary installations and long-term permanent installations.
- Reduce approval timelines and expedite the approval process for applicants.
- Include the requirement for a maintenance plan.
- Gather information for the Wisconsin Arts Board and incorporate that into the next version of the ordinance.

ADDITIONAL RESEARCH

Peggy was able to contact Anne Katz, Director of Create Wisconsin, for guidance. She provided helpful tools and examples from other communities in Wisconsin. The Public Art Guidelines document is attached for reference.

Additionally, Anne provided an example that she helped the [City of Verona](#) worked on last year.

In reviewing both the guidelines and the Verona model, it is apparent that the City of Delevan's model was utilized to create several of these examples. However, strategic changes were made by various communities to improve upon and further customize the ordinance to best fit the community. The draft Mount Horeb version now includes several of the elements that other communities have incorporated or changed from the Delevan example.

REVISED ORDINANCE CHANGES

The following changes were made to the City of Delevan's model ordinance to reflect Plan Commission feedback, additional research, and Village Attorney input.

- Section (1): New goal added to provide consistency with adopted Village plans and removed redundant language addressed in other areas of the ordinance.
- Section (2): Reduced the defined terms to reflect only those needed for Mount Horeb's version (alteration, applicant, and public art).
- Section (3): Removed previous list of factors and instead created references to other standards within the ordinance. This should simplify which types of projects are eligible.
- Section (4): Revised the location criteria to be a shorter list of tangible criteria verses a longer list of less tangible criteria (ex. expresses values, illustrates building heritage, enriches experience, etc.).
- Section (5): Removed references to artist compensation, minimum number of years for installation (now short or long-term projects permitted), and a requirement for Plan Commission and Council approval (now staff approval only).
- Section (6): Retained the requirement for a maintenance agreement.
- Section (7): Reduced the application requirements to be more simplified for users.
- Section (8): Created a permit review and approval process that can be completed by Village staff with the option for staff to seek guidance from the Plan Commission as needed. Added a reference to local historically designated properties needing HPC review and approval. Reduced the permit time to 30 days.
- Section (9)-(11): Retained most of the model language, but customized it to reflect Mount Horeb including reducing the time for starting the project (90 days) and finishing the project (1 year).



Date: April 16, 2026

From: Jon Hochkammer, Interim Village Administrator

To: Plan Commission Members

Re: Draft Public Art Ordinance

Included in the packet is a revised draft of the Public Art Ordinance. We have incorporated the changes discussed at the March Plan Commission meeting. In addition, I had Village Attorney Bryan Kleinmaier review the draft regarding any legal concerns.

Mr. Kleinmaier does not see any legal concerns with the ordinance as currently written. In his opinion, the revised draft does not include any verbiage that would violate any constitutional concerns. Bryan strongly suggests that language not be added that in any way could or would create a violation of anyone's constitutional rights. If the Village adopts this ordinance, it will need to be careful with how the ordinance is applied. With a few exceptions, the Village cannot make decisions based on the content of the public art or, if it does, it risks a claim under the Constitution.

Staff recommends approval of the ordinance in its current form.



PUBLIC ART GUIDELINES AND ORDINANCES FOR MUNICIPALITIES

Compiled by Create Wisconsin

Updated March 2026

Public art guidelines for municipalities establish framework policies, procedures, and standards for incorporating art into public spaces to enhance community identity, culture, and aesthetics. Key elements include artist selection, site selection, safety, maintenance, and funding, often utilizing a "Percent for Art" program. Effective guidelines turn everyday infrastructure like roads, sidewalks, and utility buildings into valuable community assets.

Key Components of Municipal Public Art Guidelines:

- **Administration & Selection:** Establish a Public Art Committee to oversee policies and a selection process based on artistic quality, site appropriateness, and community fit.
- **Artist Selection Methods:** Utilize open calls (RFQs), limited competitions, or direct selection, focusing on qualifications, experience, and artistic merit.
- **Site Criteria:** Select locations that are accessible, highly visible, and do not hinder pedestrian flow or public safety.
- **Community Engagement:** Involve residents, stakeholders, and artists in the design process to ensure the art resonates with the neighborhood's history and character.

- Maintenance & Deaccessioning: Define responsibilities for long-term maintenance and procedures for the removal or relocation of damaged, unsafe, or inappropriate art.
- Funding Mechanisms: Implement a "Percent for Art" ordinance (usually 1-2% of capital improvement project budgets).
- Legal & Liability: Include policies for copyright, structural safety, insurance, and compliance with zoning laws.

Sample Guidelines by City:

- [City of Madison, WI](#): Focuses on integrating art into public infrastructure like bridges, parks, and libraries to reflect community identity.
- [City of Tacoma, WA](#)
- [City of Cedarburg, WI](#): Emphasizes high artistic quality, safety, and durability, considering all styles of art.
- [City of South Pasadena, CA](#): Highlights the need for a diverse range of artistic styles and equitable distribution throughout the city.
- [City of Mill Valley, CA](#): Focuses on a formal process for accepting public art gifts and ongoing maintenance obligations.

Public art ordinances are municipal regulations that create frameworks for integrating art into public spaces, often establishing funding, maintenance, and approval processes. Common components include "Percent for Art" policies (e.g., 1% of public project funds over \$5M in [Madison](#)), selection procedures, and guidelines on maintenance.



Key elements of public art ordinances include:

- Funding Mechanisms: "Percent for Art" programs set aside a percentage of municipal capital improvement project budgets for art.

- Administration & Approval: Establishing an arts commission to review designs, oversee artist selection (via Requests for Proposals/Qualifications - RFP/RFQ), and make recommendations to the city council, as seen in [Cedarburg, WI](#).
- Definition & Scope: Clearly defining what constitutes public art, typically restricting it to projects on public property or accessible privately owned land, noted in [Delavan, WI rules](#).
- Maintenance & Stewardship: Regulations often address the long-term upkeep of public art, ensuring sustainability and care for city collections.
- Location & Safety: Standards covering where art can be placed to avoid hazards and ensure public accessibility.
- Temporary Art & Murals: Policies often address specific types of art, such as allowing for temporary installations or regulating murals, to enhance the "arts destination" status of a city.

Ordinances examples in Wisconsin

- Approval Processes: In [Cedarburg](#), a public art commission advises the council, which maintains final approval and removal authority.
- Permitting and Zoning: [Oshkosh](#) requires a mural permit approved by the planning department, prohibiting murals on primary façades.
- Signage Constraints: [Eagle River](#) requires that murals be exempt from sign fees but prohibits them from containing commercial advertising.
- Definition of Art: [Delavan](#) defines public art broadly to include murals, sculptures, mosaics, and functional art (e.g., artistic railings or seating).
- Frameworks: [Madison](#) and [Middleton](#) use comprehensive planning, with committees guiding art projects to align with city values

Village of Mount Horeb
DRAFT Chapter 12.075 Public Art Permits

(1) Purpose.

(a) The purpose of this chapter is to establish a permitting process that will allow for and encourage the installation of public art throughout the community. Art contributes to livable, aesthetically pleasing and pedestrian-friendly streetscapes. The experience of public art makes a space seem more welcoming. It helps a community remember its past, honor an ideal, and express its values and concerns to future generations. Public art makes a community more livable and more visually stimulating.

(b) Specific goals of public art are to:

1. Further the goals Village Comprehensive Plan and applicable area plans.
2. Enhance the Village's sense of place in the region by providing unique artwork throughout the community in a manner unlike any other place in the area.
3. Celebrate the Village's history and cultural spirit and identity through the creation of art that is accessible to the public.
4. Create a recognizable icon.
5. Enhance the appearance and livability of public spaces through the placement of site-specific art projects that respond to the natural and built landscape.
6. Enliven public spaces.
7. Enhance overall quality and identity of the place and/or building.
8. Strengthen community identity, spirit and collective cultural experience through the placement of public art throughout the Village.
9. Allow local, regional, national and international artists to share their creations with the community.
10. Stimulate the economic success of businesses.
11. Attract visitors and leave them with a positive impression and a desire to return.
12. Create a more livable community by linking arts and everyday life with the objective of making Mount Horeb the place of choice to live, work, recreate and raise a family.

(2) Definitions. As used in this chapter, the following terms shall have the meaning indicated:

(a) **Alteration.** Includes any change to a permitted public art, including but not limited to any change to the image(s), materials, colors, or size of the public art. "Alteration" does not include naturally occurring changes caused by exposure to the elements or the passage of time. Minor changes that result from the maintenance or repair of the public art shall not constitute "alteration." Such minor changes may include

slight and unintended deviations from the original image, colors, or materials that occur when the art piece is repaired due to the passage of time or as a result of vandalism.

(b) **Applicant.** Any person, firm, corporation or association who applies for and secures a public art permit for the purpose of installing public art as provided for in this chapter. The sponsor shall be responsible for ensuring compliance with all requirements and obligation of the permit including but not limited to obligations relating to maintenance of the public art and its removal if a permit is revoked or terminated. The sponsor shall be a party to any and all agreement(s) provided herein.

(c) **Public Art.** Includes temporary or permanent works of art in any media that have been planned and executed with the specific intention of being sited or staged in or have the ability to be viewed from the physical public domain, usually outside and accessible to all. Public art includes all forms of visual art that is located outdoors and is visible to the general public. Works of public art to be placed in the community may include:

1. SCULPTURE AND KINETIC ART. Freestanding, wall supported or suspended; in any appropriate material or combination of materials.
2. MURALS AND PAINTINGS. In any appropriate material or variety of materials, with or without collage.
3. MOSAICS. Including tiled composites on walkway, street furniture and wall surfaces.
4. WATER FEATURES. Including fountains, waterfalls and decorative pools.
5. EARTHWORKS. Environmental works in appropriate outdoor sites.
6. GLASS. Including but not limited to ceramics and lighted glass, including neon and plastic.
7. FUNCTIONAL ART. Including decorative furnishings or fixtures, but not limited to gates, railings, streetlights or seating, if created or decorated by artists as unique elements.

(3) Eligibility criteria.

(a) To be considered "public art," the art must be located either upon public property or upon private property and must be freely viewable by the general public during the normal hours of operation of the premises upon which the art is located. All public art projects must be reviewed and approved by Village staff. The following factors are to be considered in approving "public art":

1. Alignment with the Purpose Statement in Section 12.075(1).

2. Consistency with the requirements of the Public Art Location Criteria in Section 12.075(4), Public Art Program Criteria in Section 12.075(5), and Public Art Maintenance Criteria in Section 12.075(6).

(4) Public art location criteria.

(a) Display of public art throughout the Village is encouraged. There may, however, be areas that are not appropriate for an art display. The following criteria will be considered in determining whether a proposed location for public art can be approved:

1. Meets the required setbacks of the applicable zoning district.
2. Provides visibility from a publicly accessible location.
3. Does not impede traffic patterns, vision triangles, or public safety.
4. Is located outside of any easement or area utilized for public infrastructure.

(5) Public art program criteria.

(a) A public art project shall:

1. Not be moved or have any alterations to the permitted public art, outside of normal maintenance such as cleaning, repainting, or replacing identical structural components, materials, etc.
2. Not, if attached to a building:
 - a. Exceed the height of the structure.
 - b. Extend more than six inches from the building facade.
 - c. Cover windows, doors, vents or other architectural elements such as cornices and pilasters.
3. Not contain changing images to include flashing or sequential lights or other automated methods that result in movement, the appearance of movement, or change of imaging. This does not include static illumination turned on during nighttime hours.
4. Not contain any brand name, product name, or abbreviation of the name of any product, company, profession or business, or any logo, trademark, trade name or other commercial message that would fall within the Zoning Ordinance's definition of Sign (see Section 17.09.03).
5. Shall be durable, permanent, and easily protected from vandalism and weathering; consideration shall be given to the structural and surface integrity and stability of the building façade (if the public art is a painting or mural), the permanence and durability, and resistance to weathering, theft, and vandalism.

(6) Public art maintenance criteria.

(a) The applicant shall retain responsibility for maintenance and regular upkeep of the approved public art per the maintenance plan reviewed and approved in conjunction with the approval of the public art project.

(b) If, for any reason, a public art piece is removed, destroyed, or has deteriorated, the property owner on which the art is located is responsible for removal or repair.

(7) Permit application process.

(a) A public art permit must be secured for all public art installations. See the Village of Mount Horeb fee schedule for permit application fees.

(b) Application for a permit for public art must be completed by the applicant, submitted to the Village, and shall include the following information:

1. Completed Village application form for a public arts permit.
2. Project information on the program including:
 - a. Each art installation location and the time in which the art will be displayed.
 - b. A dimensioned sketch for each location identifying the boundaries within which the public art element is to be located.
 - c. Pictures depicting the relationship of the public art element to adjacent buildings and spaces.
3. Information on the materials to be utilized for the project and the durability of these materials.
4. A maintenance plan meeting the requirements of Section 12.075(6).

(8) Permit review process.

(a) Once submitted, a public art permit application shall be reviewed for completeness by the Zoning Administrator as follows:

1. The Building and Zoning Administrator shall determine whether the application is complete and whether the proposed project meets the eligibility criteria to be considered a public art project.
 - a. If the Zoning Administrator determines that the application is not complete or does not fulfill the eligibility criteria to be considered public art, they shall return the application to the applicant.
 - b. If the Zoning Administrator determines that the application is complete, they shall notify the applicant.
2. Upon notifying the applicant that the application is complete, the Zoning Administrator shall review the application and evaluate whether the public art project meets the criteria established under the program.
3. Within 30 days of submission of a completed application, the Zoning Administrator may approve the public art permit application as originally proposed, may approve the application with modifications, may deny approval of the application, or may recommend the project be reviewed and acted upon by the Plan Commission or Historic Preservation Commission.

- a. Any public art project proposed to be located on a locally-designated historic property shall also obtain approval from the Historic Preservation Commission prior to the issuance of a public art permit.
 - b. If recommended to the Plan Commission, the project will be placed on the next available meeting agenda for consideration.
 - i. The Plan Commission shall base its decision upon a report provided by the Zoning Administrator and the project's consistency with the Purpose Statement in Section 12.075(1) and in meeting the requirements of the Public Art Location Criteria in Section 12.075(4), Public Art Program Criteria in Section 12.075(5), and Public Art Maintenance Criteria in Section 12.075(6).
- (9) Effect of denial. No application which has been denied shall be resubmitted for a period of 12 months from the date of said order of denial, except if new information is submitted to the Zoning Administrator, Historic Preservation Commission, or Plan Commission sufficient to change their recommendation.
- (10) Time limits on completion. Once a permit for a public art project has been approved, the project must commence within 90 days of said approval of the permit, and shall be completed within 365 days of the project initiation date. The failure to initiate or complete the project within the periods set forth herein shall automatically constitute a revocation of the public art permit.
- (11) Termination or revocation of an approved permit.
 - (a) Any public art project found not to be in compliance with the terms of this chapter and/or the conditions under which a permit for the project was issued under this chapter shall be considered in violation of this chapter and shall be subject to the penalties set forth under Chapter 25.04. A public art permit may be revoked for such a violation.
 - (b) Public art created or installed under a public art permit that has been terminated or revoked must be removed within 60 days of the date of notice. If said public art is not removed within the time period provided in the notice, the Village shall have the right, but not the obligation, to either remove or contract for the removal of the non-project and shall bill the property owner for all costs incurred in taking this action. Any costs incurred shall be in addition to the penalties set forth in Chapter 25.04.



AGENDA ITEM REPORT

MEETING DATE

April 22, 2026

PREPARED BY

AGENDA ITEM # 6.c

Building Inspector Report

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. March Permits & Inspector Update



Building Department Report

March 2026 Permits

- 1 Addition – Primary Center
- 4 general commercial permits
- 1 Single Family Residential – Brookstone Hills
- 10 general residential permits

Commercial Project Progress Report

Date: April 15, 2026

Subject: Ongoing Commercial Construction Updates

1881 Springdale Street

Mechanical work and insulation have been completed for the majority of the building, except for the commercial tenant area, which will be for Edward Jones.

105 W Front Street

Construction has started. Footings have been completed, and work is underway on the foundation walls.

100 South Washington Street

A certificate of occupancy has been issued. Erosion control is to be maintained until lawn is established.

Prepared by: Ryan Lindsey, 3C Inspect LLC