



VILLAGE OF MOUNT HOREB

E. Main Street

Mount Horeb, WI 53572

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PLAN COMMISSION AGENDA **Wednesday, June 24, 2026 at 7:00 PM**

Municipal Building Board Room
138 E. Main Street
Mount Horeb, WI

- 1) Call to order
- 2) Roll call
- 3) Public Comments on Non-Agenda Items*
- 4) Agenda Items
 - a. Consideration of May 27, 2026 Meeting Minutes
 - b. Consideration Heirloom Craftsman Mural at 212 E Lincoln Street
 - c. Encore-Brookstone Hills Pocket Neighborhood
 1. Public Hearing for Encore-Brookstone Hills Pocket Neighborhood Amendment GDP - CANCELED
 2. Consideration of SIP Encore Brookstone Hills Pocket Neighborhood
 3. Consideration of Modified Certified Survey Map for Encore Brookstone Hills Pocket Neighborhood
 - d. Consider the issue of sale/transfer of Village owned land for stormwater purposes
- 5) Committee Reports:
 - a. Plan Commission Chair Report
 - b. Village Planner Report
 - c. Building Inspector Report
- 6) Meeting adjournment.

***Public Comment Policy**

Members of the public are invited to speak at meetings of all Mount Horeb Public Bodies. To comment, please complete a Public Comment Form at the Meeting Room entrance and submit it to staff before the meeting begins. Comments are limited to **three minutes**, must be made from the podium, and the speaker must return to the audience after speaking.

- **Non-agenda item comments** are heard at the start of the meeting. Public Body members and staff will not engage in discussion during public comment but may consider topics for future agendas.

- **Agenda item comments** are heard during the relevant item, after the proposers or staff present the item and before Public Body discussion. All public comments on the item will be heard before any discussion by the Public Body.

Members of the public will only be allowed to speak outside these public comment times if they are invited by the meeting chair to share additional information requested by the Public Body. If so invited to speak, the member of the public must do so from the podium.

Written comments are also welcome. Written comments shall include the name and address of the submitter and should be submitted to the Deputy Treasurer/Governance Coordinator by email at niki.erickson@mounthorebwi.info (subject line: *Public Comment Request-Name of Public Body*) or delivered by to the Village at: 138 E Main Street, Mount Horeb WI, 53572, ATTN *Public Comment Request-Name of Public Body*.

UPON REASONABLE NOTICE, EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS AND SERVICES. FOR INFORMATION OR TO REQUEST THIS SERVICE, CONTACT ALYSSA GAFFNEY, CLERK, AT 138 E MAIN STREET, MOUNT HOREB, WI (608) 437-9404.



AGENDA ITEM REPORT

MEETING DATE

June 24, 2026

PREPARED BY

AGENDA ITEM # 4.a

Consideration of May 27, 2026 Meeting Minutes

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. 05 27 26 Draft Minutes

PLAN COMMISSION AGENDA
Wednesday, May 27, 2026 at 7:00 PM

DRAFT MEETING MINUTES

1) **Call to order**

Chair Ryan Czyzewski was absent and Commissioner Sara Best called the meeting to order at 7:00 pm in the Board Room of the Municipal Building, 138 East Main Street, Mount Horeb, WI.

2) **Roll call**

Members Present: Sarah Best, Stephanie Gauthier-Phillips, Ben Vondra, Peggy Zalucha

Absentee Members: Ryan Czyzewski, Andrew Kidd, Jill Remmert-Willis

Others Present: Village Planner Sonja Kruesel, Interim Village Administrator Jon Hochkammer, Assistant Clerk Jean Culberson

3) **Public Comments on Non-Agenda Items**

None.

4) **Agenda Items**

a. **Consideration of April 22, 2026 Meeting Minutes**

Vondra Motioned to approve the minutes of the April 22, 2026 meeting and Gauthier-Phillips seconded. Motion carried by unanimous voice vote.

b. **Staff Presentation on Governance & Professional Standards Training**

Hochkammer gave a presentation on the Governance & Professional Standards Training.

100 Lillehammer Lane

Kruesel summarized the five-unit commercial project and the Village Planner's recommendations in the May 27, 2026 Conditional Use and Site Plan Review Report in the packet. Representative for TJK Design Build Jon Hefner spoke on the revisions to the project.

1. **Public Hearing 100 Lillehammer Lane Conditional Use Permit**

Best Motioned to open the public hearing at 7:22 pm and Gauthier-Phillips seconded. No one spoke. Resident Aaron Thomas registered in support of the project. Best Motioned to close the public hearing at 7:23 pm and Vondra seconded. Motion carried by unanimous voice vote.

2. **Consideration of Resolution 2026-11 Conditional Use Permit for 100 Lillehammer Lane Code Design Exception**

Kruesel explained that the conditional Use Permit is for an exception to the code that states: within the Springdale Street corridor the entire street side of buildings shall be located at or within 30 feet of all abutting street right-of-way and no on-site traffic circulation shall occur within that 30-foot area. The proposed decorative tower element meets the code and will not need an exception. Vondra Motioned to allow the building to be greater than 30 feet from the right-of-way and allow on-site traffic circulation to occur between the right-of-way and the building. Zalucha seconded and Motion carried by unanimous voice vote.

3. **Consideration 100 Lillehammer Lane Design Review**

Kruesel summarized the review and the Commission discussed the landscaping and roof revisions. The project meets the overall landscaping requirements with exception to the building foundation planting. The Commission recommended a sidewalk connection to the north. Kruesel stated there was no cause for concern regarding the stormwater permits and the CARPC sewer service extension. Gauthier-Phillips Motioned to approve the site plan with the condition that the erosion control and stormwater permits are obtained including the CARPC sewer

service extension. Zalucha seconded and the Motion carried by unanimous voice vote.

c. **101 Perimeter Road - JT Klein**

Kruesel summarized the past approval for 40 apartments and the applicant's request for 41 apartments in Building 2. Danny Afable from JT Klein spoke on the request.

1. **Public Hearing for JT Klein 101 Perimeter Road GDP Amendment**

Best Motioned to open the public hearing at 7:49 pm and Vondra seconded. No one spoke. Best Motioned to close the public hearing at 7:50 pm and Vondra seconded. The Motion carried by unanimous voice vote.

2. **Recommendation of 101 Perimeter Road GDP Amendment**

Gauthier-Phillips Motioned to approve the GDP Amendment allowing the additional unit. Zalucha seconded and the Motion carried by unanimous voice vote.

3. **Recommendation of 101 Perimeter Road SIP Amendment**

Gauthier-Phillips Motioned to approve the SIP Amendment. Zalucha seconded and the Motion carried by unanimous voice vote.

d. **Consideration: AquaShine Carwash, 101 N Brookwood Dr Design Review Amendment**

Kruesel summarized the request to remove the white vinyl privacy fence. Applicant Kurt Wedig spoke on the maintenance and snow plowing issues. The neighboring property to the north was in approval of the removal. Zalucha Motioned to remove the fence. Vondra seconded and the Motion carried by unanimous voice vote.

e. **Wyser Engineering Concept Review of the Hidden Ridge Neighborhood Development**

Kruesel summarized the proposal to develop a residential subdivision with 26 lots. There were no changes to the adjacent park land area and no current concerns. Developer Brian Durtschi and General Contractor Reed Jones spoke on the project. The project is intended to be an affordable single-story with 2-bedroom units. The Commission discussed sidewalk, pedestrian connections and parking. Resident Aaron Thomas registered to speak and requested pedestrian connections. The Developer will proceed with a neighborhood meeting.

Recommendation of Public Art Ordinance 2026-06

Kruesel Summarized the draft Ordinance and the Commission discussed it. Resident Destinee Udelhoven registered and questioned: What problem is this solving and is there other code that would resolve any potential issues? Resident Jill Schuettpelz registered and questioned: Where is the line drawn on what is public art and what about existing art? Kruesel spoke that the draft is not intended to be cumbersome to staff or the existing code. Existing art is grandfathered and further research would be needed regarding on what is public art.

Zalucha Motioned that the ordinance is not necessary and then rephrased the Motion to no longer entertain it. A discussion took place and Vondra seconded the Motion. An additional discussion took place. Zalucha clarified the Motion rephrasing the Motion to go no further and not have a public art ordinance. Vondra seconded. A discussion took place and Zalucha rephrased the Motion to create a registration and only for art on public property or using public money. Further Discussion took place. Zalucha withdrew her motion and Motioned to table it indefinitely. Vondra removed his seconded. Motion Failed.

Vondra Motioned to recommend approval of the Public Art Ordinance 2026-06 and Zalucha seconded. Motion denied by voice vote.

5) **Committee Reports:**

a. **Plan Commission Chair Report**

No Report.

b. **Village Planner Report**

No Report.

c. **Building Inspector Report**

In Agenda Packet.

6) **Meeting adjournment.**

Vondra Motioned to adjournment at 9:11pm and Zalucha seconded. The Motion carried by unanimous voice vote.

Minutes by Clerk Jean Culberson



AGENDA ITEM REPORT

MEETING DATE

June 24, 2026

PREPARED BY

AGENDA ITEM # 4.b

Consideration Heirloom Craftsman Mural at 212 E Lincoln Street

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Painting Application
2. 2026 Building & Mural



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: Exterior Painting

Project Address 212 E Lincoln **Parcel Number:** 157/0606-123-8825-5
[Access Dane Link](#)

Zoning Map

Current Zoning Central Business **Future Land Use Zoning:** Central Business
[\(select zoning layer in map\)](#) [\(select future land use layer in map\)](#)

APPLICANT: Dennis Hiorns	
ADDRESS: 212 E Lincoln St, Mt Horeb	
PHONE: 608-658-9724	EMAIL: dennis@heirloom-craftsman.com

OWNER: Dennis Hiorns	
ADDRESS: 212 E Lincoln St, Mt Horeb	
PHONE: 608-658-9724	EMAIL: dennis@heirloom-craftsman.com

PROJECT DESCRIPTION: Paint exterior concrete block walls (east, north and west sides) with Sherwin Williams Roycroft Pewter (SW2848); paint silhouette of a hand plane (16' x 12') in SW Classic White (SW2829) on east side of building as pictured in attached rendition. The silhouette is offered as a work of art and not a sign.

OWNER/APPLICANT SIGNATURE: Dennis Hiorns **DATE:** 5 Feb 26

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-
<input checked="" type="checkbox"/> Certificate of Appropriateness (for Central Business Zoning)	No Fee	
<input type="checkbox"/> Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule	
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two
<input type="checkbox"/> Design Review	\$100.00	
<input type="checkbox"/> General Development Plan (GDP)	\$200.00	
<input type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00	
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two

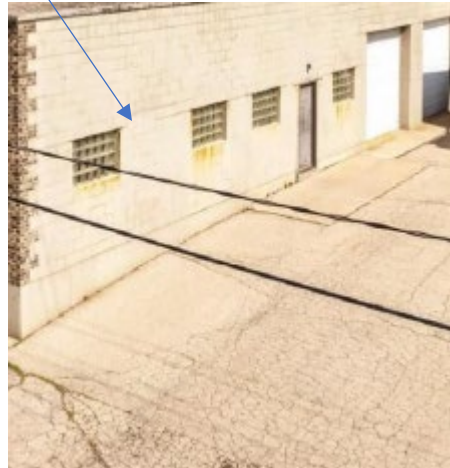
Developer Deposit:

An escrow deposit is required in accordance with the Development Application Agreement.

Total Fee Paid:

Date: _____

Fee Waived By:





AGENDA ITEM REPORT

MEETING DATE

June 24, 2026

PREPARED BY

AGENDA ITEM # 4.c.1

Public Hearing for Encore-Brookstone Hills Pocket Neighborhood Amendment GDP - CANCELED

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Brookstone Hills GDP Amendment CANCELED

As I was reviewing the Encore materials, I discovered an error. Wade has since corrected that error, and this project will no longer be requesting a GDP amendment for the impervious surface. They are under the maximum now.

Ben Rohr email 6/9/2026

VILLAGE OF MOUNT HOREB
PUBLIC HEARING - **canceled**
June 24, 2026

The Plan Commission of the Village of Mount Horeb will hold a public hearing on the above date at 7:00pm in the Board Room of the Municipal Building, 138 E Main Street, Mount Horeb, WI.

The purpose of the hearing is to consider an application from Brookstone South LLC, for an amendment to the General Development Plan (GDP) Cottages at Brookstone Hills, a Pocket Neighborhood as phase 2 of the Brookstone Hills subdivision. Further described as a common lot parcel 0606-141-4177-1. The applicant is requesting an amendment to the GDP regarding the impervious surface ratio. No other changes to the previously approved GDP are proposed.

The Village Board, by its Plan Commission will hear all persons concerning all matters and/or objections written or oral at that time.

PUBLISH: Mount Horeb Mail May 28, 2026
 Mount Horeb Mail June 4, 2026



AGENDA ITEM REPORT

MEETING DATE

June 24, 2026

PREPARED BY

AGENDA ITEM # 4.c.2

Consideration of SIP Encore Brookstone Hills Pocket Neighborhood

BACKGROUND

RECOMMENDATION

ATTACHMENTS

None



AGENDA ITEM REPORT

MEETING DATE

June 24, 2026

PREPARED BY

AGENDA ITEM # 4.c.3

Consideration of Modified Certified Survey Map for Encore Brookstone Hills Pocket Neighborhood

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. Brookstone Hills SIP and Design Review Memo for Plan Commission 6.24.26
2. 2026-05-29_Brookstone Hills Cottage Development - Civil Design Revised
3. 24-1229_CSM (3-25-26)
4. 4010_001
5. Brookstone Hills Condominium 05292026
6. Rainbow Play System
7. _Rosewood Elevation A-Plan Set
8. Rosewood A
9. Rosewood B
10. Sandalwood A[61]
11. Sandalwood B[72]
12. Sandalwood B[92]
13. Tamarind A[54]
14. Tamarind B[18]
15. The Valley At Brookstone A Condominium (colors)(23)



VANDEWALLE & ASSOCIATES INC.

MEMORANDUM

To: Village of Mount Horeb Plan Commission
From: Village Planner: Ben Rohr, AICP
Date: June 24, 2026
Re: Specific Implementation Plan (SIP) and Design Review for 21 Proposed Single-Family Homes at the Southern End of Brookview Trail for Brookstone South, LLC.

Introduction

Brookstone South, LLC (Chad Wuebben of Encore Homes) has submitted a Specific Implementation Plan (SIP) for Plan Commission review. The project is proposed as an extension of the residential neighborhood on the south end of Brookview Trail between developing single-family homes and a regional stormwater basin.

The proposed development includes 21 single-family homes on the same parcel under a condominium form of ownership. Each unit is physically separated and does not share any common wall. The individual units include entries, a two-car garage, and driveway. A private drive is planned to loop around the property and provide access to the public right-of-way (Brookview Trail). Additionally, the developer is planning to create and establish a condominium plat for the property which will enable each unit to be sold separately, and a new condominium association will be formed to fund and perform maintenance within the common areas. This will ensure architectural and aesthetic consistency across the parcel long-term, in addition to maintenance of the shared open space and private streets/sidewalks.

This project received General Development Plan (GDP) zoning approval at the January meeting. The applicant has also formally submitted the proposed SIP for Plan Commission consideration today.

Plan Commission feedback summary from previous meetings:

- Make the private drive one-way to provide additional guest parking spaces along the driveway
- Explore any additional connections between this site and neighboring properties that may develop to the east or west in the future
- Provide more details on the buildout planned for the shared open space
- Include additional landscaping along the south end of the units that directly face the shared open space to provide a buffer
- Explore opportunities to reduce the prominence of the garage along the front facade
- Include variation in unit facades to differentiate each unit and avoid monotonous patterns

Notable changes from the January GDP submittal include:

- One-way private drive with on-street parking provided for guests on one side
- Variation in unit type throughout the project
- Inclusion of a play structure and fire pit within the shared open space
- Unit elevations include varying front façade designs
- Sidewalk along the northern property line was moved 6' to the south
- Landscaping, Utilities, Stormwater Management, Erosion Control, and Grading Plans

To receive final Village approval of the Planned Development, this project requires approval of the SIP and Design Review by the Plan Commission and the Village Board. This report addresses the SIP first, followed by the Design Review.

To note, the proposed project's GDP was approved prior to the adoption of the Village's new Zoning Ordinance. This SIP report has been written to reflect the Village's previous Zoning Ordinance requirements because approval of the GDP occurred under those standards.

Specific Implementation Plan Review

The SIP must meet the zoning requirements, inclusive of the zoning flexibilities approved in the GDP.

Specific SIP Flexibilities Consistent with the Approved GDP include:

1. **Minimum Front and Street Setback:** The GDP approved a minimum front and street setback of 15 feet along the northern property line. The SIP is consistent with the approved GDP.
2. **Minimum Rear Setback:** The GDP approved a minimum rear setback of 2 feet along the southern property line. The SIP is consistent with the approved GDP.
3. **Maximum Impervious Surface Area Ratio:** The GDP approved a maximum impervious surface area for the lot up to 45%. The SIP is consistent with the approved GDP.
4. **Minimum Pavement Setbacks:** The GDP approved minimum pavement setbacks of 0 feet along the northern property line. The SIP is consistent with the approved GDP.
5. **Maximum Number of Residential Buildings Per Lot:** The GDP approved a maximum number of residential buildings on a single lot up to 21. The SIP is consistent with the approved GDP.
6. **Passive Outdoor Recreation Space Land Use:** The GDP approved privately-owned land to be considered a permitted Passive Outdoor Recreational Space land use.

Planner's Recommendation for the Specific Implementation Plan:

I recommend the Plan Commission recommend the SIP for parcel 060614190511 for approval by the Village Board, subject to the waivers and requirements addressed at the end of this report, as discussed and approved by the Plan Commission.

Design Review Requirements per Section 17-14:

Design Review by the Plan Commission is required under Section 17.14 of the Zoning Ordinance. Design Review is required for all development projects in the Village, except residential development with three or fewer dwelling units. The Design Review requirements in Section 17.14(4)(b) identify 27 Design Directives. The Plan Commission has the ability to waive any Design Directive or add additional design requirements upon a finding that the additional design requirement would improve the project.

This review is based on the plan set provided by the applicant. This project complies with most Design Review requirements. Any items that do not comply with the Design Directives or requires Plan Commission discussion have been identified with underlined text.

1. Site Grading:

- a. The grading plan shall preserve existing grades to the greatest extent possible, particularly at the perimeter of the site.
 - This requirement is met. The site includes sloping grades in multiple directions. The Grading Plan works within the existing grade changes to maintain topography to the extent possible.
- b. In no instance shall proposed grading create transitions to adjoining properties or rights-of-way that are unsafe, unstable or create drainage problems.
 - This requirement is met. Existing grade transitions to adjacent properties are maintained to the extent possible.
- c. Site grading shall also preserve or create an attractive site appearance in conjunction with the proposed development.
 - This requirement is met. Existing site grades are maintained to the extent possible.

2. Existing Site Vegetation and Other Natural Features:

- a. The grading and development plans shall preserve, protect, and maintain important existing site vegetation as identified by the Plan Commission. Examples include hedgerows, groves and individual specimen trees.
 - This requirement is met. The majority of the existing site is a vacant lot awaiting development. The creek corridor and existing vegetation on the far east side of the site is planned to be protected long-term.
- b. Topsoil used at the development site should be from on site, to the extent possible, particularly in areas under the drip line of preserved vegetation.
 - This requirement is met. The proposed development works within the site's existing topography to limit grading impacts to the extent possible.

3. Site Layout Relation to Abutting Streets:

- a. In general, the layout of buildings, structures, pavement, parking and landscaping shall be compatible with the general pattern for similar land uses in the vicinity, as determined by the Plan Commission.
 - This requirement is met. The project acts as a transition between single-family homes to the north and the stormwater detention basin to the south. The configuration of units surrounding the shared open central open space creates a common gathering area because individual buildings will have limited open spaces directly surrounding them. While effectively creating a dead-end, there are limited opportunities for south, east, or west

connections from the development due to topography, natural features, stormwater infrastructure, and USH 151. Access has been provided for vehicles, pedestrians, and bicyclists via a private drive and sidewalk connection to Brookview Trail to the north.

- b. The general site layout shall result in an attractive appearance to all abutting streets, as determined by the Plan Commission.
 - This requirement is met. Same as 3.a., above.

4. Building Setbacks:

- a. Building setbacks shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 4.b. and 4.c.
 - This requirement is met. The SIP is consistent with the approved setbacks in the GDP. All other building setbacks are met.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, the entire street side of buildings shall be located at or within 3 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process.
 - This requirement is not applicable, as the subject property is not located in the specified area.
- c. Within the CTH ID corridor between STH 78 and USH 151, the entire street side of buildings shall be located at or within 30 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process. Parking shall not be permitted in this area. Drives for one-way circulation and/or emergency vehicle access may be permitted through the conditional use process.
 - This requirement is not applicable, as the subject property is not located in the specified area.

5. Building Height:

- a. Building heights shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 5.b. and 5.c.
 - This requirement is met. The two-story buildings are 28 feet tall, which is consistent with the maximum heights permitted within the zoning district (35 feet).
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, building heights shall be a minimum of 20 feet and shall be a minimum of 2 stories, unless an exception is granted through the conditional use process.
 - This requirement is not applicable, as the subject property is not located in the specified area.
- c. Within the CTH ID corridor between STH 78 and USH 151, building heights shall provide a functional or decorative building tower or related architectural feature that exceeds the height of the majority of the building facade by at least 7 feet, unless an exception is granted through the conditional use process. Roofs, and roof appurtenances such as cupolas, shall not count toward this requirement.
 - This requirement is not applicable, as the subject property is not located in the specified area.

6. Building Mass:

- a. Buildings over 5,000 square feet of gross floor area shall be subject to the requirements for large developments.
 - This requirement is not applicable, as each structure is less than 5,000 square feet in size.

7. Building Facades:

- a. Long building facades shall be visually broken up and variegated with staggers and offsets as determined appropriate by the Plan Commission.
 - This requirement is met on the front and rear elevations of each unit through varying roof pitches, windows, and doors. This requirement is not met along the side facades of each structure where very little articulation is proposed. Because each unit will be 12 feet apart, limited widow openings are necessary to provide privacy between the units. Additionally, this project is more in line with a single-family neighborhood where there are often longer building facades without articulation. I recommend the Plan Commission waive this requirement for the side facades for these reasons.
- b. All building facades facing streets, drives or parking areas shall provide regularly spaced openings for windows and doors, and regularly spaced decorative elements such as piers and columns. The size and spacing of these features shall be compatible with nearby structures that meet this requirement, as determined by the Plan Commission.
 - This requirement may be met. The prominence of the front-loaded garage was discussed during the GDP and concept review meetings for this project. I recommend the Plan Commission discuss this requirement again.
- c. All building facades facing streets, drives or parking areas shall provide a pattern of upper story openings that is compatible with the pattern established by the ground floor, as determined by the Plan Commission.
 - This requirement may be met. The prominence of the front-loaded garage was discussed during the GDP and concept review meetings for this project. I recommend the Plan Commission discuss this requirement again.
- d. Within the downtown zoning district, and particularly along Main Street and the commercially developed portions of intersecting streets, building facades shall employ traditional storefront design by providing pilasters, transom windows, cornices, lintels and related decorative details to highlight transitions between the ground floor and upper stories and between upper stories and the parapet.
 - This requirement is not applicable, as the subject property is not located in the specified area.

8. Exterior Building Materials:

- a. Exterior materials for multi-family, office, or commercial buildings may not include metal wall panels, concrete panels, plain concrete block, asphalt, or spandrel window panels, unless an exception is granted through the conditional use process.
 - This requirement is met through the use of siding on each unit façade.
- b. Hard and durable materials including decorative block, brick or stone, shall be required on all exterior portions of the structure within 40 inches of the adjacent grade.

- This requirement is not met. No architectural base feature is included within any proposed unit type. I recommend that the Plan Commission discuss this item further.

9. Exterior Building Colors:

- a. Exterior colors of all buildings, structures, appurtenances and paving shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
 - i. Within the downtown area, the Victorian color palette shall be used, or other colors must be approved by the Plan Commission.
 - This requirement is not applicable, as the subject property is not located in the specified area.
 - ii. Throughout the rest of the Village, primary colors including red, blue, green, yellow, black, and fluorescent colors shall not be permitted. Where an integral part of site design, muted versions of these colors may be used, as approved by the Plan Commission.
 - This requirement is met. The proposed exterior building material colors include varying neutral tones.
 - iii. High gloss paints and other exterior finishes are not permitted.
 - This requirement is met on all portions of the building.
 - iv. Color patterns shall be used consistently throughout the property, as determined by the Plan Commission.
 - This requirement is met on all portions of the building with a consistent use of neutral colors proposed.

10. Exterior Doors:

- a. All exterior doors visible from streets, drives or parking areas shall provide decorative design elements.
 - This requirement is met. Each unit includes a front entry doorway.

11. Windows:

- a. Spandrel panels, mirrored glass or heavily-tinted windows are not permitted. Where screening is desired, vertical or horizontal strip blinds may be used.
 - This requirement is met. No such windows are proposed.
- b. Windows may not be obscured by paper or other attached materials on more than 5% of any individual window panel.
 - This requirement is met. No such windows are proposed.

12. Roofs:

- a. Roof forms and materials shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
 - This requirement is met. The pitched roof form proposed matches existing and under construction homes to the north.

- b. Metal roofs shall not be used for multifamily, office or commercial buildings, unless an exception is granted through the conditional use process.
 - This requirement is met. Shingled roofs are proposed.
- c. Roof forms shall be designed to accommodate the requirements in subparagraphs 5.c. and 7.d., above.
 - This requirement is met.
- d. Rooftop mechanical equipment shall not exceed the elevation of the lowest point of the surrounding building parapet or roof.
 - This requirement is met. No rooftop mechanicals are proposed.

13. Exterior Building Appurtenances:

- a. Building facades shall be uncluttered by the minimal use and careful placement of brackets, wiring, meter boxes, antennae, gutters, downspouts and other appurtenances. Where necessary, such features shall be colored to blend in, rather than contrast, with the immediately adjacent building exterior.
 - This requirement is met.

14. Awnings:

- a. Awnings, where approved by the Plan Commission, shall complement the character of the building.
 - This requirement is not applicable. No awnings are proposed.
- b. Soft, weather-treated canvas or vinyl materials which allow for flexible or fixed installation may be used. Metal canopies are prohibited.
 - This requirement is not applicable. No awnings are proposed.
- c. Backlighting is prohibited.
 - This requirement is not applicable. No awnings are proposed.

15. Trash Containment Structures:

- a. Trash containment structures shall be designed to fully conceal trash storage.
 - This requirement is met. The trash containment area for each unit is proposed to be located within the individual unit's garage.
- b. Trash containment structures shall be constructed in the same materials and colors as the ground floor of the principal building.
 - This requirement is not applicable, as trash will be located within the buildings.
- c. Wood or synthetic wood gates shall be used and shall be arranged in a pattern to provide complete opacity. Metal panel gates and metal fence gates with strips are prohibited.
 - This requirement is not applicable, as trash will be located within the buildings.

16. Freestanding Canopy Structures:

- a. Freestanding canopy structures, such as those providing shelter at a gas station or drive-up banking station, shall be designed to complement the design of the principal building, as determined by the Plan Commission.

- This requirement is not applicable. There are no freestanding canopy structures proposed.
- b. Canopy roofs shall employ the same pitch, materials and colors as the roof of the principal building, unless an exception is granted through the conditional use process.
 - This requirement is not applicable. There are no freestanding canopy structures proposed.
- c. Canopy supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
 - This requirement is not applicable. There are no freestanding canopy structures proposed.

17. Other Structures:

- a. Outbuildings shall employ the same high-quality exterior building materials as used on the principal building.
 - This requirement is met. A shared play structure has been identified within the shared open space and an image example has been provided by the applicant.
- b. Walls and fences shall employ high-quality materials such as metal pickets, stone, decorative block or brick which complement the principal building, as determined by the Plan Commission.
 - This requirement is not applicable. There are no fences proposed.

18. Exterior Lighting:

- a. All exterior lighting shall use decorative fixtures, as approved by the Plan Commission. Such fixtures shall be consistent in design theme throughout the site.
 - It is unknown if this requirement is met. No lighting plans have been provided.
- b. All exterior light bulbs shall not be visible from beyond any property line. Directional or cutoff fixtures shall be used to meet this requirement.
 - It is unknown if this requirement is met. No lighting plans have been provided.
- c. Lighting at the property lines shall not exceed 0.5 footcandles over ambient conditions.
 - It is unknown if this requirement is met. No lighting plans have been provided.
- d. Maximum lighting shall not exceed 10.0 footcandles on the site, except in areas serving in-vehicle uses such as drive-up windows and fueling areas. In such locations, maximum lighting shall not exceed 25.0 footcandles.
 - It is unknown if this requirement is met. No lighting plans have been provided.
- e. Freestanding light fixtures shall not exceed a total height of 20 feet.
 - It is unknown if this requirement is met. No lighting plans have been provided.

19. Exterior Signage:

- a. Exterior signage shall complement the design of the overall site, as determined by the Plan Commission.
 - This requirement is not applicable. No signage is proposed.
- b. Freestanding sign supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
 - This requirement is not applicable. No signage is proposed.

20. Outdoor Display or Storage:

- a. All outdoor display and/or storage areas must be clearly depicted and labeled on an approved site plan. Said label shall specify the general types of materials to be displayed or stored, including: retail or rental display; retail or rental vehicle display; long-term business vehicle storage; equipment storage; refuse storage; scrap equipment or vehicle storage.
 - This requirement is not applicable, as there is no outdoor display or storage proposed.
- b. Outdoor storage areas shall be adequately screened from view from adjacent properties and streets, drives and parking areas, as determined by the Plan Commission.
 - This requirement is not applicable, as there is no outdoor display or storage proposed.

21. Pavement Materials:

- a. All traffic circulation, parking and pedestrian areas shall be provided with a hard, durable surface such as concrete, asphalt, pavement blocks or bricks. Gravel is not acceptable.
 - This requirement is met throughout the site.
- b. Durable, porous pavement techniques are encouraged, and the overall coverage of pavement on all sites should be minimized so as to reduce stormwater runoff.
 - This requirement is met. The stormwater management plan will be reviewed by the Village Engineer and be subject to meeting all applicable requirements.

22. Pedestrian Facilities:

- a. Public sidewalks or multipurpose paths shall be required along all street frontages, per Village standards.
 - This requirement is met. A sidewalk connection is provided from the existing sidewalk along Brookview Trail. The private sidewalk is proposed to loop around the shared open space, providing a connection across the private drive to each unit.
- b. Paved pedestrian connections are required between all street frontage pedestrian facilities and public doorways. Said connections shall be a minimum of 5 feet wide.
 - This requirement is met. See 22.a. above.
- c. Where pedestrian connections cross vehicle circulation areas, a crosswalk clearly delineated by color and/or texture is required.
 - This requirement is met. Two sidewalk crossings are provided along the northern private driveway where the sidewalk crosses vehicular traffic.

23. Traffic Circulation:

- a. Traffic circulation patterns shall be safe and understandable by vehicle operators, as determined by the Plan Commission.
 - This requirement is met. Per the Plan Commission's request, the private driveway will be one-way vehicle traffic. This will allow for on-street parking on one side of the drive and a drive lane on the other side.
- b. Traffic patterns which are determined as too complicated by the Plan Commission shall be prohibited. Complications may be identified due to steep grades, inadequate throat depths, offset intersections, too many intersections within a particular area, dangerous and

conflicting traffic movements, movements compromised by limited visibility, or restricted turning radii for the types of vehicles likely present on the site.

- This requirement is met. Access and traffic patterns work well within the proposed site configuration and provide safe, accessible connections for all travel modes.
- c. No traffic circulation shall be permitted within 10 feet of a street or drive right-of-way or easement, nor within 5 feet of any other property line, except within the downtown area, or as approved as through the conditional use process.
- This requirement is met. Traffic circulation is setback from the right-of-way to meet these standards.
- d. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding limitations on drives located adjacent to street rights-of-way.
- This requirement is not applicable, as the subject property is not located in the specified area.

24. Parking:

- a. All parking areas located within required principal building setback areas shall be visually screened from streets by a continuous landscaped hedge, fence, wall or berm with a minimum height of 40 inches over the elevation of the adjacent portion of the parking lot at time of installation. Gaps in this hedge are permitted for pavement approved as part of the site design.
- This requirement is not applicable. No parking lots are proposed.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, parking shall not be located along a street frontage unless an exception is granted through the conditional use process.
- This requirement is not applicable, as the subject property is not located in the specified area.
- c. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding the prohibition of parking adjacent to street rights-of-way.
- This requirement is not applicable, as the subject property is not located in the specified area.
- d. Bicycle parking shall be provided at a rate of one bicycle space for every 10 vehicle parking spaces up to a total of 20 bicycle spaces.
- This requirement is not met. No on-site bicycle parking spaces are proposed. I recommend that the Plan Commission waive this requirement because each unit will have bicycle parking opportunities within the individual unit's garage.

25. Building Foundation Landscaping:

- a. A minimum 10-foot wide landscaping bed or planter shall be provided along at least 50% of each wall facing a street, drive or parking area, except within the downtown area.
- This requirement is not met. No building foundation landscaping is proposed. Instead, the proposed landscaping plan includes a variety of trees around the perimeter of the site, along the private driveway, and within the shared open space area. For this reason, I recommend the Plan Commission waive this requirement.
- b. This bed or planter shall be located adjacent to or within 10 feet of the building foundation.

- See 25.a. above.
- c. This bed or planter shall be landscaped appropriately as determined by the Plan Commission.
 - See 25.a. above.

26. Street Frontage Landscaping:

- a. A minimum 10-foot wide landscaped area shall be provided adjacent to the frontage of all streets and drives, except within the downtown area.
 - This requirement is not applicable. There is no street frontage area where a 10 foot wide landscaping area could be located.
- b. This area shall be landscaped appropriately as determined by the Plan Commission. At minimum, one canopy-type street tree (maple, oak, hickory, ginkgo, honey locust or similar species) shall be required for every 50 feet of street or drive frontage, except within the downtown area. Said trees shall be a minimum 2-inch to 2.5-inch caliper.
 - This requirement is not applicable. There is no street frontage area where a 10 foot wide landscaping area could be located.

27. Parking Lot Landscaping:

- a. Parking lot landscaping shall comply with the requirements of §17.136
 - This requirement not applicable. No parking lots are proposed.
- b. Subsection 24.a., above, shall also apply along street and drive frontages.
 - This requirement is not applicable.
- c. Subsection 24.c., above, shall also apply along CTH ID.
 - This requirement is not applicable, as the subject property is not located in the specified area.

Village Planner’s Recommendations:

I recommend the Plan Commission consider and approve the following requirements for the approval of the Specific Implementation Plan for parcel 060614190511:

1. A recommendation to the Village Board that the Specific Implementation Plan for parcel 060614190511 be approved, subject to any and all requirements identified by the Plan Commission under Design Review.
2. A recommendation to the Village Board that the Site Plan packet be approved, subject to any and all requirements identified by the Plan Commission under Design Review.
3. Design Review as submitted to the Village, including waivers from the Design Review requirements approved by the Plan Commission, including:
 - a. 7.a. for long building facades without articulation on the sides of each structure, as depicted.
 - b. 24.d. for no bicycle parking being provided and instead bicycle parking being provided within each individual unit’s garage, as depicted.

- c. 25.a.-c. for no building foundation landscaping being provided and instead trees being provided throughout the site along the perimeter, private drive, and shared open space, as depicted.
4. Village staff review and approval of the following that meets all Design Review requirements. If any waivers are requested by the applicant from the Design Review requirements, the proposed plans must be reviewed and approved by the Plan Commission.
 - a. 18.a.-e. Require a Lighting Plan for the site to be provided.
5. Plan Commission Discussion and Action on either (related to requirement 7.b. and c.):
 - a. Finding that the proposed front façade of each structure reflects previous Plan Commission comments regarding reducing the prominence of the front-loaded garages.
 - b. Requiring resubmittal with an alternative front façade design that further reduces the prominence of the front-loaded garages.
6. Plan Commission Discussion and Action on either (related to requirement 8.b.):
 - a. Finding that the proposed front façade of each structure does not require a 40” hard durable base material.
 - b. Requiring resubmittal with an alternative front façade design that includes a 40” hard durable base material.
7. Village Engineer review and approval of the proposed Stormwater Management and Grading Plans.
8. Any additional requirements identified by Village Staff, the Village Engineer, the Plan Commission, or the Village Board.



WYSER
ENGINEERING

**BROOKVIEW
VALLEY CIRCLE
PRIVATE DRIVE**

BROOKVIEW TRAIL

**BROOKVIEW
VALLEY CIRCLE
PRIVATE DRIVE**

**BROOKSTONE HILLS
COTTAGE DEVELOPMENT**

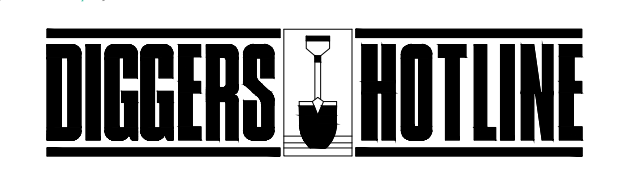
VILLAGE OF MOUNT HOREB, DANE COUNTY, WI

Sheet Title:
DETAILED GRADING PLAN

BROOKVIEW TRAIL
MOUNT HOREB, WI 53572

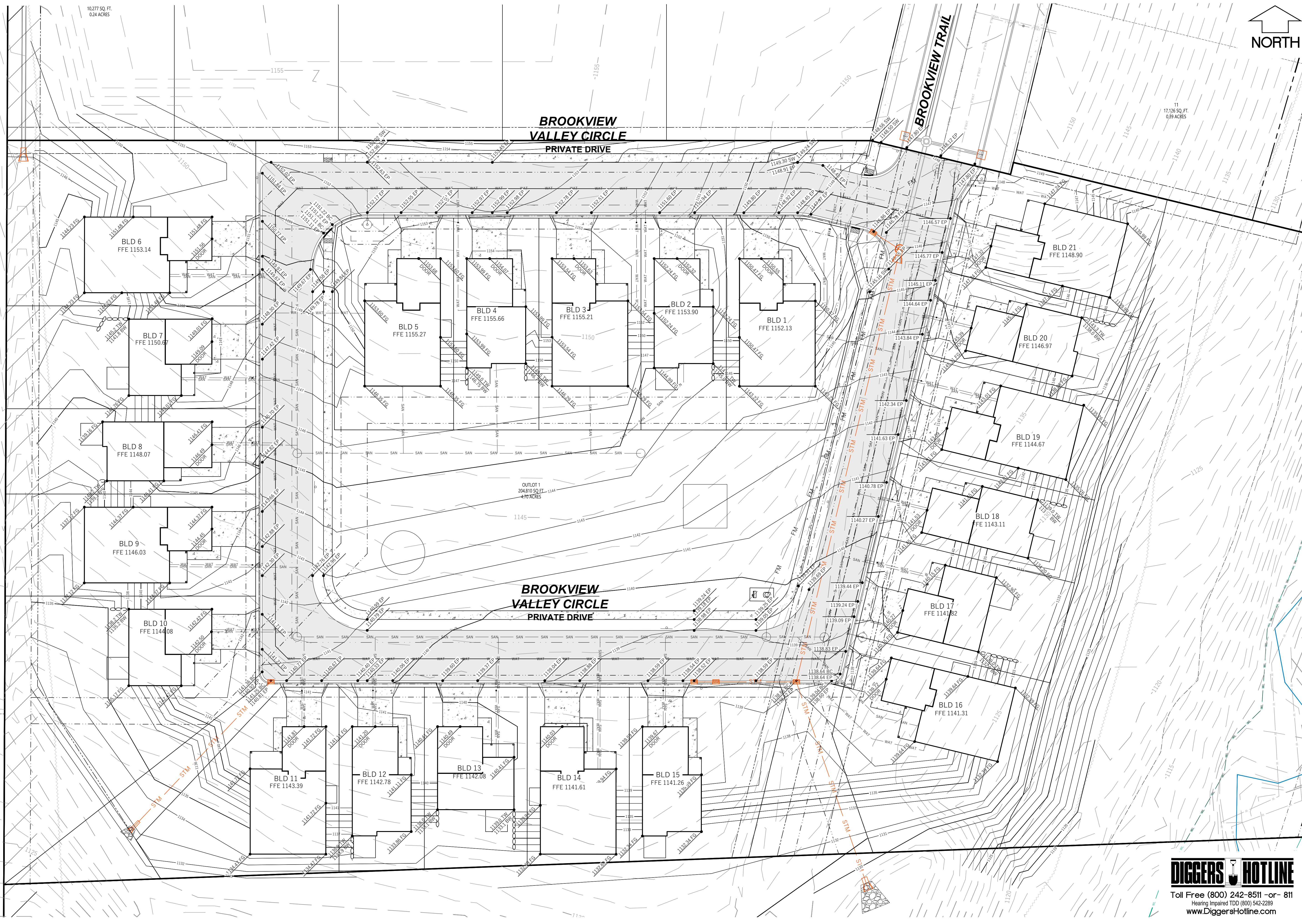
Revisions:		
No.	Date:	Description:

Graphic Scale	0' 10' 20' 30'
Wysers Number	24-1229
Set Type	REVIEW
Date Issued	05/07/2026
Sheet Number	C202



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File: W:\2024\241229_Grading - Fink Parcel, Mt Horeb\dwg\24-1229_Overall Plans_PDD Lot Extension.dwg Layout: Detail Grading User: dschneider Plotted: May 29, 2026 - 10:41am



10277 SQ. FT.
0.24 ACRES

11
17136 SQ. FT.
0.39 ACRES



Revisions:

No.	Date	Description

Graphic Scale 0' 15' 30' 45'

Wyser Number 24-1229
Set Type REVIEW
Date Issued 05/07/2026
Sheet Number C300

NOTE: ASSUMED MASS GRADING / ROADWAY / UTILITY MAIN CONTRACTOR TO INSTALL UTILITIES A MINIMUM OF 10-FEET PAST THE EDGE OF THE PRIVATE DRIVEWAY.

BROOKVIEW VALLEY CIRCLE PRIVATE DRIVE

CONNECTION INTO EXISTING PUBLIC SANITARY SEWER MANHOLE. (RIM = 1147.87)
I.E. (EX. 8" PVC) = 1142.51 (N)
I.E. (EX. 8" PVC) = 1142.51 (S)
I.E. (1.25" PRESSURE PIPE) = 1142.87 (SW)
CONTRACTOR TO VERIFY ELEVATION AND SIZE PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER FOR REDESIGN IF THERE IS ANY DISCREPANCY.

REMOVE EXISTING HYDRANT. SALVAGE FOR REUSE ON SITE. CONNECT NEW MAIN ONTO THE END OF THE EXISTING MAIN.
CURB STOPS TO BE LOCATED 3-FEET BEHIND THE BACK OF CURB, TYP.

CURB STOPS TO BE LOCATED 3-FEET BEHIND THE BACK OF CURB, TYP.

PRIVATE SANITARY PUMP STATION WITH FORCE MAIN UP TO END OF PUBLIC SANITARY MAIN. A DEDICATED BACKUP GENERATOR (KOHLER OR GENERAC) FOR THE STATION IS REQUIRED. REFER TO SHEET C406 FOR PLANS BY LW ALLEN FOR DETAIL.
RIM = 1139.25
I.E. (8" GRAVITY SAN) = 1126.17
I.E. (3" PRESSURE PIPE) = 1132.75
SUMP = 1120.25

BROOKVIEW VALLEY CIRCLE PRIVATE DRIVE

NOTE: SEE PLAN AND PROFILE DRAWINGS FOR WATER AND SEWER DETAILS. SEE THE NOTES ON SHEET C400 FOR WATER AND SEWER SERVICE DETAILS.

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PROPOSED STORM SEWER STRUCTURES SCHEDULE

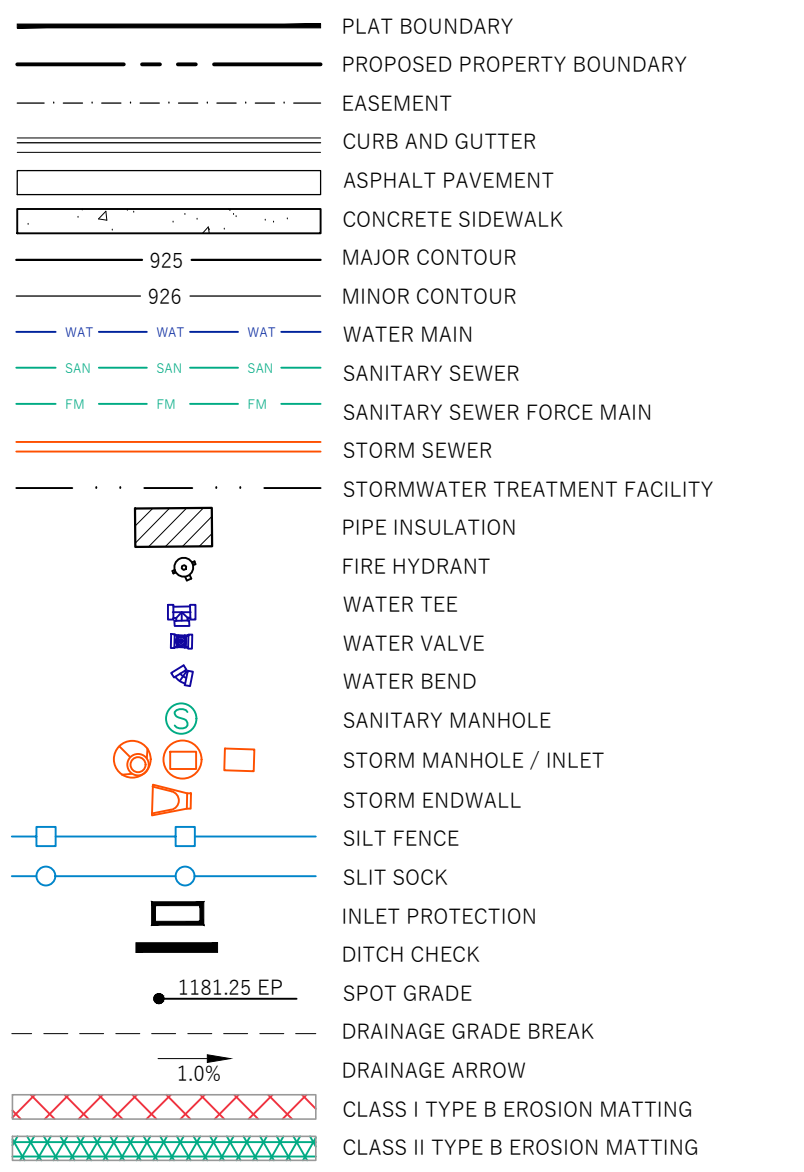
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
STM AES NO. 1	1127.00	-	-	21" FLARED END SECTION	STANDARD TRASH GUARD
STM INL NO. 2	1131.03	1138.42	7.39	48" MANHOLE	R-3067, TYPE R GRATE
STM INL NO. 2.1	1134.93	1138.53	3.60	2'X3' BOX	R-3067, TYPE R GRATE
STM INL NO. 2.2	1135.08	1138.52	3.44	2'X3' BOX	R-3067, TYPE R GRATE
STM MH NO. 3	1138.40	1146.00	7.60	60" MANHOLE	R-1550, SOLID LID
STM INL NO. 3.1	1142.62	1146.86	4.24	2'X3' BOX	R-3067, TYPE L GRATE
STM AES NO. 4	1132.00	-	-	12" FLARED END SECTION	STANDARD TRASH GUARD
STM INL NO. 5	1136.69	1140.81	4.12	48" MANHOLE	R-3067, TYPE L GRATE

PROPOSED STORM SEWER / CULVERT PIPE SCHEDULE

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEV. (FT)	DISCHARGE ELEV. (FT)	SLOPE (%)	PIPE SIZE & TYPE	MANNING'S NUMBER	DESIGN RUNOFF (GPM)	PIPE CAPACITY (GPM)
P - 1	STM INL NO. 2	STM AES NO. 1	101	1131.03	1127.00	4.00%	21" RCP	0.013	10437.04	14223.50
P - 1.1	STM INL NO. 2.1	STM INL NO. 2	37	1134.93	1133.28	4.50%	12" RCP	0.013	2111.86	3392.20
P - 1.2	STM INL NO. 2.2	STM INL NO. 2.1	10	1135.08	1134.93	1.50%	12" RCP	0.013	1055.93	1958.49
P - 2	STM MH NO. 3	STM INL NO. 2	203	1138.40	1131.28	3.50%	18" RCP	0.013	7024.76	8820.35
P - 2.1	STM INL NO. 3.1	STM MH NO. 3	15	1142.62	1141.90	5.00%	12" RCP	0.013	1253.71	3575.69
P - 3	STM INL NO. 5	STM AES NO. 4	94	1136.69	1132.00	5.00%	12" RCP	0.013	1700.03	3575.69

NOTE: CURB INLET RIM ELEVATION IS TO FLAG OF CURB. ADD 0.44-FEET TO GET TO BACK OF CURB.

LEGEND



GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEK OF JUNE 14, 2024 AND ORIGINAL DESIGN DRAWINGS FOR THE BROOKSTONE HILLS PUBLIC IMPROVEMENTS. NO AS-BUILT OF THE PUBLIC IMPROVEMENTS WERE COMPLETED TO VERIFY IF THEY MATCH THE DESIGN PLANS. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH VILLAGE OF MOUNT HOREB STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WISCONSIN STATUTES. ANY UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY.
- FOR SPOT REPAIR OF CURB & GUTTER, THE CONTRACTOR SHALL PLACE AGGREGATE BASE COMPACTED TO A MINIMUM THICKNESS OF 5 INCHES UNDER ALL CURB AND GUTTER. AGGREGATE BASE SHALL EXTEND 12 INCHES BEYOND BACK OF CURB.
- THE CONTRACTOR SHALL PLACE 4-INCH DEEP AGGREGATE BASE UNDER ALL SIDEWALKS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT CONTRACTORS EXPENSE. STREETS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- ALL UTILITY TRENCHES SHALL HAVE COMPACTED BACKFILL MEETING THE DENSITY REQUIREMENTS OF PART 8, DIVISION III, SECTION 9 OF THE SPECIFICATIONS. EXISTING TRENCH MATERIAL USED FOR BACKFILL MAY CONTAIN STONES UP TO 6 INCHES IN THEIR GREATEST DIMENSION, PROVIDED THE MATERIAL IS WELL-GRADED SO AS NOT TO PRODUCE VOIDS. WHERE REQUIRED BY THE VILLAGE ENGINEER, SAND SHALL BE MIXED WITH EXISTING MATERIAL TO IMPROVE THE GRADATION AND PREVENT THE FORMATION OF VOIDS.
- BACKFILL MATERIAL SHALL BE FREE OF VEGETATION, ORGANIC MATTER, TOPSOIL, FROZEN SOIL, CLODS AND STONES OVER 6" IN DIAMETER, OR ANY OTHER UNSUITABLE MATERIAL. ALL BACKFILL SHALL BE CAREFULLY PLACED TO PREVENT DAMAGE TO OR DISPLACEMENT OF THE PIPE.
- NO BLASTING SHALL OCCUR WITHIN 30 FEET OF EXISTING UTILITIES.
- ALL TRAFFIC SIGNING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. EXISTING STREET AND TRAFFIC SIGNS AND MAIL BOXES SHALL BE REMOVED AND REPLACED IN A SAFE LOCATION BY THE CONTRACTOR AS NECESSARY TO COMPLETE THE WORK. THE METHOD OF REPLACEMENT SHALL BE APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL KEEP DRIVEWAYS OPEN TO VEHICLES AT ALL TIMES EXCEPT WHEN NEW CURB OR WALK IS BEING CONSTRUCTED AND CURING. THE CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS 24 HOURS IN ADVANCE OF CURB AND SIDEWALK CONSTRUCTION SO THAT PROPERTY OWNERS CAN REMOVE VEHICLES FROM THEIR DRIVEWAYS PRIOR TO CONSTRUCTION. DRIVEWAYS SHALL BE RESTORED WITH 6 INCHES OF AGGREGATE BASE IMMEDIATELY AFTER REMOVAL.
- THE CONTRACTOR SHALL INSTALL DOT TYPE D INLET PROTECTION IN ALL EXISTING INLETS WITHIN THE PROJECT SITE AND IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE, AND AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL MAINTAIN THE INLET PROTECTION DEVICES DURING CONSTRUCTION AND THROUGH THE ONE-YEAR GUARANTEE PERIOD AS REQUIRED BY THE VILLAGE ENGINEER. THE COST OF INLET PROTECTION IS INCIDENTAL TO CONSTRUCTION.
- THIRTY DAYS PRIOR TO PLACING AGGREGATE BASE, THE CONTRACTOR SHALL PROVIDE COPIES OF CURRENT TEST RESULTS (TESTS RUN WITHIN THE PREVIOUS 12 MONTHS) FROM THE SOURCE STOCK PILES TO BE USED ON THE PROJECT SHOWING THE MATERIAL MEETS THE GRADATION, SOUNDNESS, AND WEAR REQUIREMENTS OF THE SPECIFICATION. IF CURRENT TEST RESULTS ARE NOT AVAILABLE, THE CONTRACTOR, AT THEIR EXPENSE, SHALL HAVE THE REQUIRED TESTS RUN. THE VILLAGE ENGINEER, AT THE CONTRACTOR'S EXPENSE, WILL COLLECT SAMPLES DURING THE PLACEMENT OF THE BASE COURSE FOR TESTING TO CONFIRM THE MATERIAL MEETS THE SPECIFICATIONS. ANY MATERIAL FOUND TO BE OUT OF SPECIFICATION SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIAL AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE VILLAGE ENGINEER TWO (2) WORKING DAYS PRIOR TO PLACING AGGREGATE BASE.
- THE CONTRACTOR SHALL PROTECT ALL CURBS AND WALKS FROM EROSION AND UNDERCUTTING. THE CONTRACTOR SHALL CONSTRUCT DIVERSION BERMS AS NECESSARY TO PREVENT UNDERCUTTING. ANY CURB OR WALK WHICH IS UNDERCUT SHALL BE REMOVED AND REPLACED, AT THE EXPENSE OF THE CONTRACTOR.
- ACCESSIBLE RAMPS AND DETECTABLE WARNING FIELD PANELS SHALL BE INSTALLED AT ALL INTERSECTIONS PER SSD 805 WISDOT CURB RAMP DETAIL.
- WHERE PROPOSED PAVEMENT, SIDEWALK, OR CURB AND GUTTER ABUT EXISTING, MATCH EXISTING GRADE.
- CONTRACTOR TO NOTIFY FIRE AND EMS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE ENGINEER SHALL BE NOTIFIED AND WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
- PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
- TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC.
- SECURE ALL NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
- ESTABLISH AND MAINTAIN SITE SECURITY UNTIL PROJECT ACCEPTANCE.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- DISPOSE ALL ELEMENTS DESIGNATED FOR REMOVAL IN A LEGAL MANNER.
- COORDINATE WORK OF SUBCONTRACTORS AND ALL OTHER CONTRACTORS TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF ALL WORK.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL NOTIFY THE VILLAGE ENGINEER 2 DAYS IN ADVANCE OF ANY SOILS DISTURBING ACTIVITY.
- POST CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- SUBMIT PLAN REVISIONS OR AMENDMENTS AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT https://dnr.wis.gov/topic/stormwater/standards/const_standards.html
- INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND THE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
- CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
- STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
- INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
- INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
- FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: <http://dnr.wis.gov/botw/>

GRADING, SEEDING & RESTORATION NOTES

- ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
- ALL DISTURBED AREAS EXCEPT TERRACES SHALL BE RE-TOPSOILED TO A MINIMUM DEPTH OF 4 INCHES. SEEDED, FERTILIZED, AND MULCHED BY THE CONTRACTOR WITHIN 14 DAYS OF INITIAL DISTURBANCE.
- AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMTATIC.
- MULCH SHALL BE WEED-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION"
- PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
- IF THE CONTRACTOR IS UNABLE TO SEED AND MULCH THE TERRACE AREAS WITHIN 48 HOURS OF THE PLACEMENT OF TOPSOIL, THE CONTRACTOR SHALL INSTALL 6-FOOT WIDE EROSION MAT BEHIND THE CURB AND GUTTER. THE COST OF PLACING THIS EROSION MAT IS INCIDENTAL TO TERRACE RESTORATION.
- SEED MIXTURES SHALL MEET THE FOLLOWING REQUIREMENTS:
 - ALL DISTURBED AREAS OUTSIDE THE STREET RIGHT-OF-WAY SHALL BE SEEDED WITH OLDS LAWN SEED, QUICK-TO-GROW, OR APPROVED EQUAL, AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET AND MULCHED WITH CLEAN STRAW MULCH AT THE RATE OF 10-30 POUNDS PER 1,000 SQUARE FEET. ALL DISTURBED AREAS SHALL BE DEEP TILLED PRIOR TO SEEDING AND MULCHING. MULCH SHALL BE PUNCHED INTO THE SOIL TO A MINIMUM DEPTH OF 2 INCHES USING A MULCH TILLER WHILE TRAVELING ON THE CONTOUR.
 - INFILTRATION BASIN SIDE SLOPES AND BERM SHALL BE LOW MAINTENANCE NATIVE SEED MIX.
 - INFILTRATION BASIN BOTTOM SURFACE AREA SHALL BE NATIVE WETLAND SEED MIX WITH NURSE COVER CROP. NATIVE SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (BETWEEN MAY 1 AND JUNE 20.)
- TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS.
 - TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.
 - WISDOT PAL CLASS I TYPE B URBAN EROSION CONTROL MAT.
- ALL SLOPES EXCEEDING 5:1 SHALL USE PRESCRIPTIVE COMPLIANCE INCLUDING SLOPE INTERRUPTION PER WDNR TECH. STD. 1071. SOIL STABILIZATION (PERMANENT SEEDING AND CLASS I, TYPE B EROSION MATTING ON SLOPES OR EROSION MATTING IN DRAINAGE SWALES AS PRESCRIBED IN STABILIZATION SCHEDULE) AND LIMITING THE MAX PERIOD OF BARE SOIL EXPOSURE TO 90 DAYS.
- CLASS III, TYPE C TURF REINFORCEMENT MATTING TO BE INSTALLED PER MANUFACTURER'S INSTALLATION GUIDELINES. APPROVED MATTING SHALL BE THOSE LISTED ON THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST OR APPROVED EQUIVALENT. PER WDNR TECHNICAL STANDARD 1053, A CLASS II, TYPE B OR CLASS II, TYPE B OR C MUST BE PLACED OVER THE AREAS WHERE CLASS III, TYPE C TURF REINFORCEMENT MATTING IS SHOWN ON THE PLANS.
- ON-SITE BORROW PITS MUST BE CONSTRUCTED WITH THE SAFETY OF THE GENERAL PUBLIC IN MIND.

STORM SEWER GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL STORM SEWER SHALL BE REINFORCED CONCRETE STORM SEWER. CIRCULAR PIPE SHALL BE ASTM C-76, CLASS III MINIMUM AND SHALL HAVE RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. THE JOINT SHALL BE TYLOX TYPE C, OR EQUAL. ALL HORIZONTAL ELLIPTICAL PIPE SHALL BE ASTM C-507, CLASS HE III MINIMUM. JOINTS ON HORIZONTAL ELLIPTICAL PIPE AND PRECAST BOX CULVERT SHALL BE FILLED WITH COLD PLASTIC JOINT COMPOUND EQUAL TO SEAL-TIGHT AS MANUFACTURED BY W.R. MEADOWS, AND MACWRAP EXTERNAL SEALING BAND AS MANUFACTURED BY MAR MAC CONSTRUCTION PRODUCTS CO. INC.
 - STORM SEWER MANHOLE CASTINGS SHALL BE NEEHAH FOUNDRY CASTING R-2050 MANHOLE FRAME, WITH TYPE "D" GRATE, OR APPROVED EQUAL. STEPS SHALL BE SPACED 16 INCHES ON CENTER. MANHOLE FRAME AND COVER SHALL BE MACHINED AND FITTED SO THAT ROCKING AND CHATTERING WILL BE ELIMINATED.
 - STORM SEWER INLET CASTINGS SHALL BE NEEHAH FOUNDRY CASTING R-3067-C CURB INLET. ALL INLET GRATES ON STREET GRADES OF 1% OR GREATER SHALL BE NEEHAH FOUNDRY TYPE V (VANE) GRATES, OR APPROVED EQUAL. INLET GRATES ON STREET GRADES OF LESS THAN 1% OR IN SUMP CONDITION SHALL BE NEEHAH FOUNDRY TYPE R, OR APPROVED EQUAL.
 - MANHOLE STEPS SHALL BE EQUAL TO NEEHAH R-1982-F CAST IRON STEP. M.A. INDUSTRIES INC. COPOLYMER STEP WITH 2-INCH GRADE 60 STEEL REINFORCEMENT IS AN APPROVED EQUAL.
 - CONCRETE BLOCK MANHOLE APPROVED BY THE ENGINEER WILL BE PERMITTED AS AN ALTERNATE ON STORM SEWER WORK.
 - REINFORCED PRECAST FLAT SLAB COVERS SHALL BE USED IN LIEU OF PRECAST CONCENTRIC CONES WHEN REQUIRED.
 - CONCRETE USED FOR POURED-IN-PLACE STRUCTURES SHALL CONTAIN A MINIMUM OF 6 BAGS (94 NET OF CEMENT PER CUBIC YARD. CONCRETE SHALL OBTAIN A MINIMUM 28 DAY STRENGTH OF 3,000 POUNDS PER SQUARE INCH. CONCRETE SHALL BE AIR ENTRAINED TO 6% AIR BY VOLUME, PLUS OR MINUS 1.5%. CONCRETE SHALL BE PLACED WITH A SLUMP OF NOT LESS THAN 3 INCHES OR MORE THAN 4 INCHES.
 - UNLESS OTHERWISE SPECIFIED ON THE PLANS, REINFORCING STEEL SHALL BE DEFORMED ROUND STEEL BARS CONFORMING TO ASTM A615, GRADE 40. ALL BARS SHALL BE EPOXY COATED.
 - ALL MANHOLES SHALL BE WATER TIGHT. ADJUSTING RINGS ON MANHOLES SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE PLASTERED INSIDE AND OUTSIDE WITH 2-INCH OF TYPE M OR S MORTAR.
 - INLET CASTINGS SHALL BE SET TO GRADE PRIOR TO AND SEPARATE FROM THE POURING OF THE CONCRETE CURB AND GUTTER. IT IS REQUIRED THAT 3 FEET OF CONCRETE CURB AND GUTTER ON EACH SIDE OF THE INLET SHALL BE POURED BY HAND, NOT THROUGH THE USE OF A CURB MACHINE. THE INLET CASTING SHALL BE SET TO GRADE ON A BED OF TYPE M OR S MORTAR, WITH THICKNESS AS SHOWN IN TYPE H STORM SEWER INLET. THE INLET SHALL BE PLACED ON THE MORTAR BED AND SHALL BE ADJUSTED TO GRADE BY APPLYING DIRECT PRESSURE TO THE CASTING. ADJUSTING RINGS SHALL BE PLASTERED INSIDE AND OUTSIDE WITH 2-INCH OF TYPE M OR S MORTAR. ONCE THE CASTING ADJUSTMENT IS COMPLETE, 3 FEET OF CURB AND GUTTER ON EACH SIDE OF THE CASTING SHALL BE POURED BY HAND.
 - THE CONTRACTOR SHALL INSTALL DOT TYPE D INLET PROTECTION IN ALL NEW INLETS. THE CONTRACTOR SHALL MAINTAIN THE INLET PROTECTION DEVICES DURING CONSTRUCTION AND THROUGH THE ONE-YEAR GUARANTEE PERIOD AS REQUIRED BY THE VILLAGE ENGINEER.
- THE ABOVE NOTES ARE FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT INCLUSIVE NOR DO THEY SUPERSEDE THE SPECIFICATIONS.

BUILDING TYPE

Building Number	Building Type
1	Tamarind
2	Rosewood
3	Tamarind
4	Rosewood
5	Tamarind
6	Tamarind
7	Sandalwood
8	Rosewood
9	Tamarind
10	Sandalwood
11	Tamarind
12	Rosewood
13	Sandalwood
14	Tamarind
15	Rosewood
16	Tamarind
17	Sandalwood
18	Rosewood
19	Tamarind
20	Rosewood
21	Tamarind

BUILDING ELEVATIONS

Building Number	First Floor Elevation	Top of Foundation	Garage Floor Entry	Deck Elevation	Basement Elevation
1	1152.13	1150.97	1150.55	1151.38	1143.22
2	1153.90	1152.74	1152.32	1153.15	1144.99
3	1155.21	1154.04	1153.63	1154.46	1146.29
4	1155.66	1154.49	1154.07	1154.91	1146.74
5	1155.27	1154.10	1153.68	1154.52	1146.35
6	1153.14	1151.98	1151.56	1152.39	1144.23
7	1150.67	1149.51	1149.09	1149.92	1141.76
8	1148.07	1146.91	1146.49	1147.32	1139.16
9	1146.03	1144.87	1144.45	1145.28	1137.12
10	1144.08	1142.92	1142.50	1143.33	1135.17
11	1143.39	1142.22	1141.81	1142.64	1134.47
12	1142.78	1141.61	1141.20	1142.03	1133.86
13	1142.08	1140.91	1140.49	1141.33	1133.16
14	1141.61	1140.44	1140.03	1140.86	1132.69
15	1141.26	1140.09	1139.67	1140.51	1132.34
16	1141.31	1140.14	1139.72	1140.56	1132.39
17	1141.82	1140.65	1140.24	1141.07	1132.90
18	1143.11	1141.95	1141.53	1142.36	1134.20
19	1144.67	1143.51	1143.09	1143.92	1135.76
20	1146.97	1145.81	1145.39	1146.22	1138.06
21	1148.90	1147.74	1147.32	1148.15	1139.99

WATER MAIN GENERAL NOTES

- WATER MAIN SHALL BE CEMENT MORTAR LINED DUCTILE IRON, CLASS 52. ALL BENDS AND FITTINGS SHALL BE D.I., MECHANICAL JOINT, WITH MEGALUG JOINT RESTRAINT AND ALL T-BOLTS AND NUTS SHALL BE COR-BLUE COATED AS MANUFACTURED BY TYLER UNION.
 - ALL WATER MAIN SHALL BE LAID WITH A MINIMUM 6 FEET OF COVER FROM FINISHED GRADE. THE WATER MAIN BEDDING REQUIREMENTS REQUIRE THE CONTRACTOR TO PROVIDE BEDDING STONE TO A POINT 12 INCHES ABOVE TOP OF PIPE. BEDDING STONE SHALL BE MECHANICALLY COMPACTED PRIOR TO PLACING THE BACKFILL MATERIAL.
 - HYDRANTS SHALL BE INSTALLED 5 FEET BEHIND THE CURB AND SHALL BE SET WITH CENTER OF THE PUMPER NOZZLES 24 INCHES ABOVE THE TOP OF CURB. ALL HYDRANT LEADS SHALL HAVE A 6-INCH AUXILIARY VALVE INSTALLED BEHIND THE CURB. HYDRANTS SHALL BE WATEROUS WB-67 WITH TWO (2) PUMPER NOZZLES ONLY.
 - WATER MAIN VALVES SHALL BE LOCATED SUCH THAT NO VALVE IS CLOSER THAN 10 FEET TO AN ADJACENT VALVE.
 - UNLESS OTHERWISE INDICATED, A WATER SERVICE LATERAL SHALL BE INSTALLED AT EACH LOCATION WHERE A SEWER LATERAL IS SHOWN ON THE PLANS. WATER SERVICES SHALL BE 1-INCH DIAMETER UNLESS OTHERWISE SHOWN AND SHALL EXTEND 4 FEET INTO THE LOT.
 - BACKFILL MATERIAL SHALL BE FREE OF VEGETATION, ORGANIC MATTER, TOPSOIL, FROZEN SOIL, CLODS AND STONES OVER 6 INCHES IN DIAMETER, OR ANY OTHER UNSUITABLE MATERIAL. ALL BACKFILL SHALL BE CAREFULLY PLACED TO PREVENT DAMAGE TO OR DISPLACEMENT OF THE PIPE.
 - THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES AND CURB BOXES TO THE FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY VALVES BOXES DAMAGED OR OTHERWISE DISTURBED PRIOR TO ACCEPTANCE SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- THE ABOVE NOTES ARE FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT INCLUSIVE NOR DO THEY SUPERSEDE THE SPECIFICATIONS.

SANITARY SEWER GENERAL NOTES

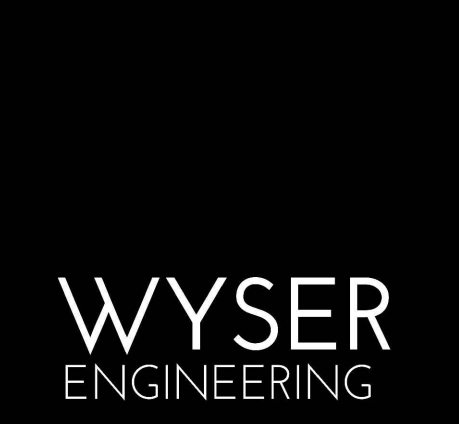
- ALL SANITARY SEWER SHALL BE PVC, ASTM D-3033 OR 3034, SDR 35.
 - SANITARY SEWER LATERALS SHALL BE FOUR INCH (4") DIAMETER UNLESS OTHERWISE SHOWN ON THE PLANS, AND SHALL BE THE SAME MATERIAL AS THE SEWER MAIN. ALL LATERALS SHALL BE LAID AT A SLOPE OF 1/4" PER FOOT UNLESS OTHERWISE INDICATED AND SHALL BE EXTENDED TEN FEET (10') INTO THE LOT. THE ENDS OF ALL LATERALS SHALL BE MARKED WITH 4"x4" POSTS EXTENDING FOUR FEET (4') BELOW THE GROUND TO THREE FEET (3') ABOVE GROUND. THE CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF THE LOCATION OF ALL WYES AND LATERALS INSTALLED AND SHALL PRESENT THIS WRITTEN RECORD TO ENGINEER PRIOR TO FINAL PAYMENT.
 - SANITARY SEWER MANHOLE CASTINGS SHALL BE NEEHAH FOUNDRY CASTING R-1550 MANHOLE FRAME, WITH R-1550 TYPE "B" SELF-SEALING MANHOLE LID WITH CONCEALED PICK HOLES, OR APPROVED EQUAL. ADJUSTMENT OF EXISTING AND SALVAGED MANHOLE CASTINGS IS INCIDENTAL TO ADJACENT WORK.
 - MANHOLE FRAME AND COVER SHALL BE MACHINED AND FITTED SO THAT ROCKING AND CHATTERING WILL BE ELIMINATED.
 - MANHOLE STEPS SHALL BE EQUAL TO NEEHAH R-1982-F CAST IRON STEP. M.A. INDUSTRIES INC. COPOLYMER STEP WITH 1/2" GRADE 60 STEEL REINFORCEMENT IS APPROVED EQUAL. STEPS SHALL BE SPACED 16" ON CENTER.
 - CONCRETE BLOCK MANHOLE APPROVED BY THE ENGINEER WILL BE PERMITTED AS AN ALTERNATE ON STORM SEWER WORK ONLY.
 - REINFORCED PRECAST FLAT SLAB COVERS SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CONES WHEN DIRECTED BY THE ENGINEER.
 - OUTSIDE DROP ENTRANCES SHALL BE PROVIDED ON MANHOLES FOR ALL SANITARY SEWERS WHERE INLET TO OUTLET DISTANCE IS 2' OR GREATER.
 - SEWER BEDDING SHALL BE CLASS B OR AS SPECIFIED IN THE SPECIAL PROVISIONS.
- THE ABOVE NOTES ARE FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT INCLUSIVE NOR DO THEY SUPERSEDE THE SPECIFICATIONS.

SANITARY SEWER SERVICE SCHEDULE

Building Number	Length (ft)	Sanitary Sewer Schedule				Pipe Size & Type
		Connection Invert Elevation	Building Invert Elevation	Slope		
1	37	1133.24	1133.97	2.00%	4" SDR 35 PVC	
2	36	1138.13	1138.85	2.00%	4" SDR 35 PVC	
3	17	1137.69	1138.03	2.00%	4" SDR 35 PVC	
4	28	1136.83	1137.39	2.00%	4" SDR 35 PVC	
5	18	1135.97	1136.34	2.00%	4" SDR 35 PVC	
6	61	1140.19	1141.41	2.00%	4" SDR 26 PVC	
7	53	1139.43	1140.49	2.00%	4" SDR 26 PVC	
8	39	1134.41	1135.19	2.00%	4" SDR 26 PVC	
9	58	1131.06	1132.22	2.00%	4" SDR 26 PVC	
10	39	1129.28	1130.06	2.00%	4" SDR 26 PVC	
11	37	1128.78	1129.52	2.00%	4" SDR 26 PVC	
12	37	1128.45	1129.19	2.00%	4" SDR 26 PVC	
13	51	1127.89	1128.91	2.00%	4" SDR 26 PVC	
14	56	1127.43	1128.55	2.00%	4" SDR 26 PVC	
15	37	1127.13	1127.87	2.00%	4" SDR 26 PVC	
16	65	1126.85	1128.15	2.00%	4" SDR 26 PVC	
17	46	1128.91	1129.83	2.00%	4" SDR 26 PVC	
18	32	1130.24	1130.88	2.00%	4" SDR 26 PVC	
19	51	1132.76	1133.78	2.00%	4" SDR 26 PVC	
20	32	1134.10	1134.74	2.00%	4" SDR 26 PVC	
21	45	1134.43	1135.34	2.00%	4" SDR 26 PVC	

WATER SERVICE SCHEDULE

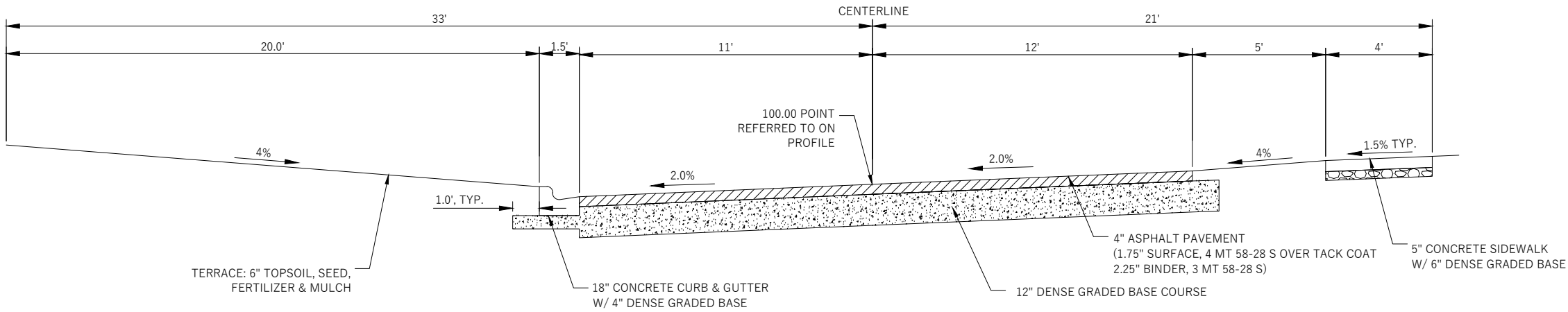
Building Number	Length (ft)	Water Schedule	
		Pipe Size & Type	
1	57	1" COPPER	
2	60	1" COPPER	
3	60	1" COPPER	
4	60	1" COPPER	
5	41	1" COPPER	
6	48	1" COPPER	
7	43	1" COPPER	
8	29	1" COPPER	
9	48	1" COPPER	
10	29	1" COPPER	
11	31	1" COPPER	
12	31	1" COPPER	
13	45	1" COPPER	
14	50	1" COPPER	
15	31	1" COPPER	
16	73	1" COPPER	
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18	22	1" COPPER	
19	41	1" COPPER	
20	22	1" COPPER	
21	51	1" COPPER	



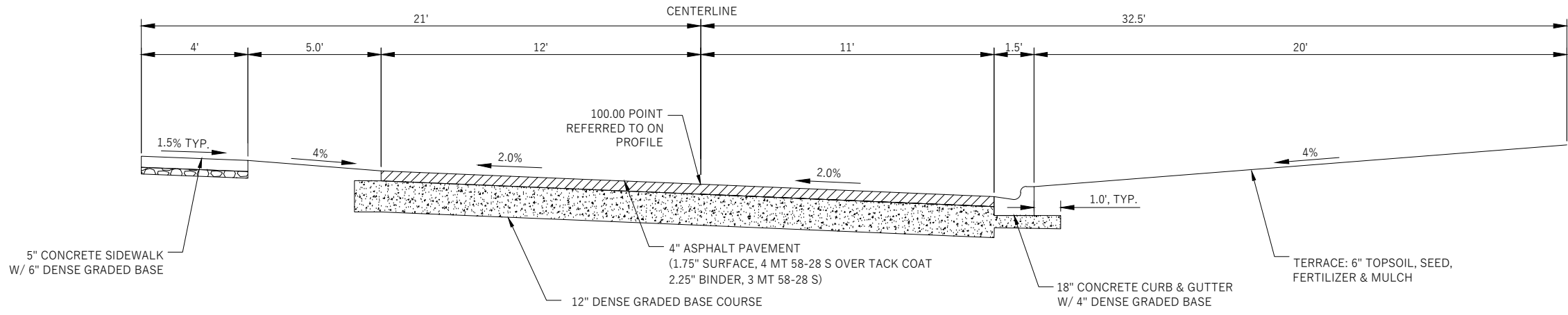
BROOKVIEW TRAIL
MOUNT HOREB, WI 53572

BROOKSTONE HILLS
COTTAGE DEVELOPMENT
VILLAGE OF MOUNT HOREB, DANE COUNTY, WI
Sheet Title:
NOTES AND LEGEND

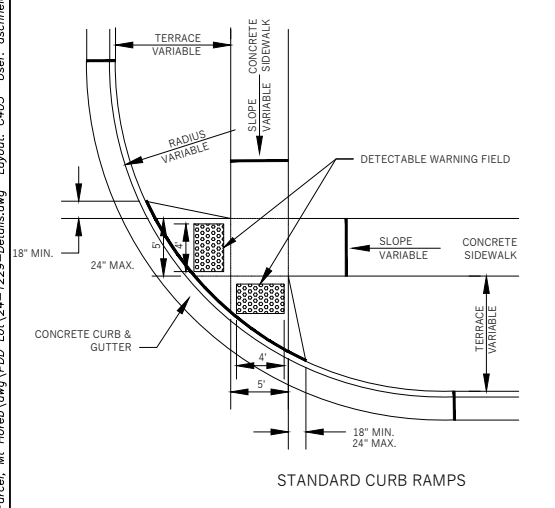
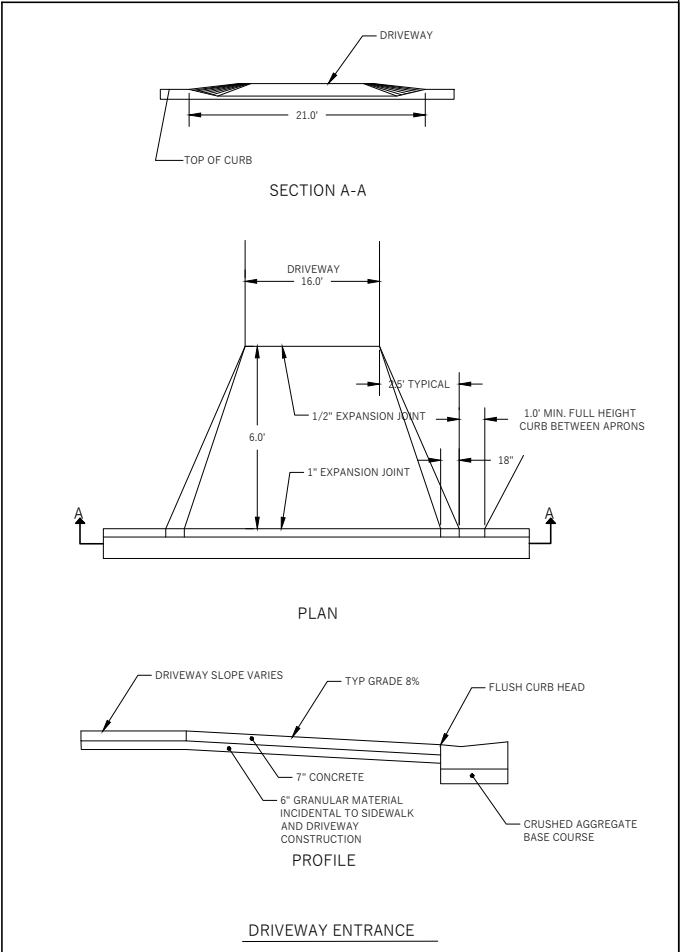
Revisions:



TYPICAL SECTION
 BROOKVIEW VALLEY CIRCLE - PRIVATE
 START - STA 52+97



TYPICAL SECTION
 BROOKVIEW VALLEY CIRCLE - PRIVATE
 STA 52+97 - END

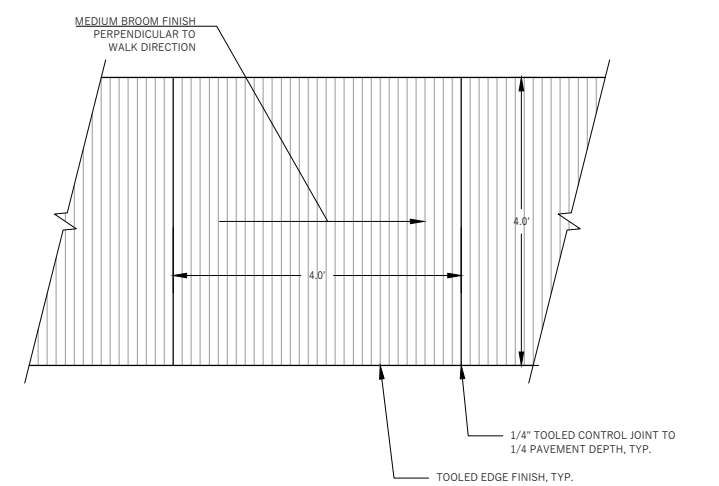
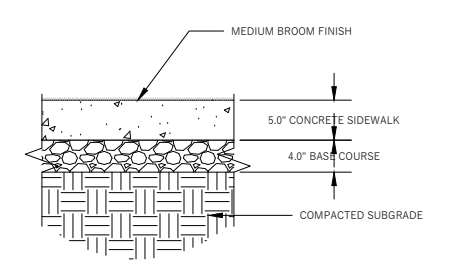
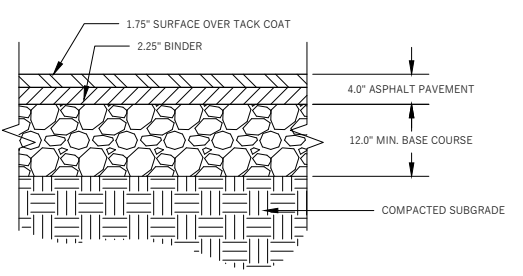


LEGEND

- 1" EXPANSION JOINT
- CONTRACTION JOINT FIELD LOCATED

NOTES:

1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
2. RAMP SHALL BE BUILT AT 12%:1V, OR FLATTER. THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT OF RAMP.
3. CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND DEVICES SHALL BE APPROVED BY THE ENGINEER. THE DETECTABLE WARNING FIELD SHALL BE NON-PAINTED CAST IRON.
4. SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.



BROOKSTONE HILLS COTTAGE DEVELOPMENT

VILLAGE OF MOUNT HOREB, DANE COUNTY, WI

Sheet Title:
 STREET DETAILS

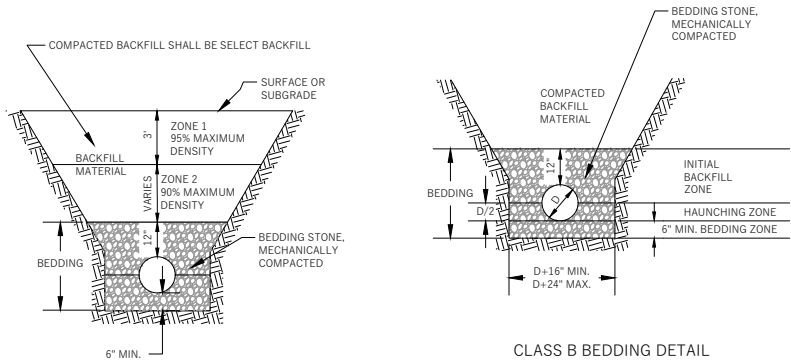
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 MOUNT HOREB, WI 53572

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Graphic Scale	NTS	Wyser Number	24-1229
Revisions:		Set Type	REVIEW
No.	Date	Date Issued	05/07/2026
		Sheet Number	C403

File: W:\2024\241229_Grounds.dwg - Fink Parcel, Mt. Horeb.dwg (PDD) Lot 24-1229-Details.dwg Layout: C403 User: dschneider Plotlet: May 07, 2026 - 3:59pm

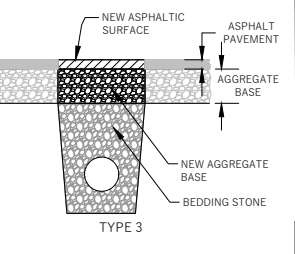
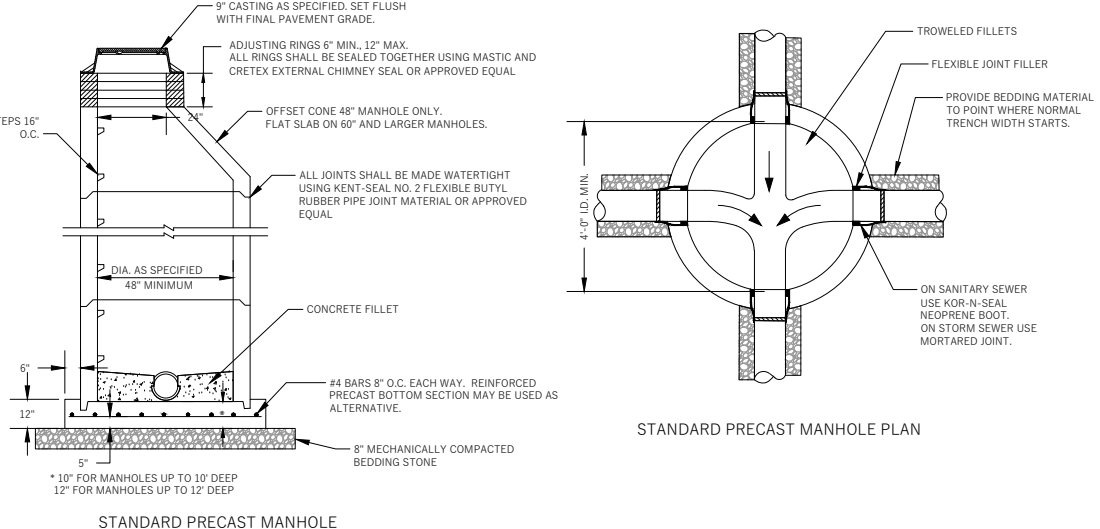
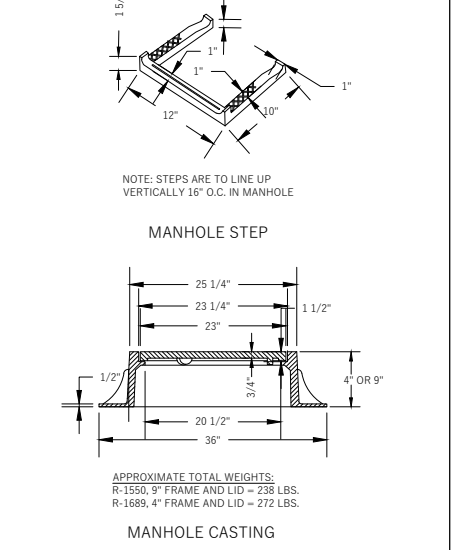
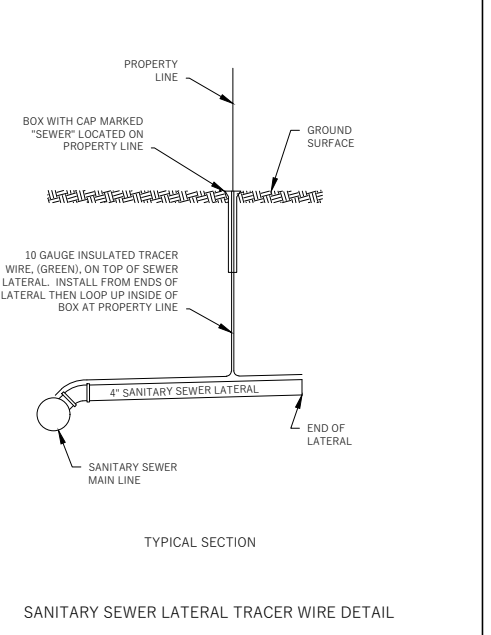
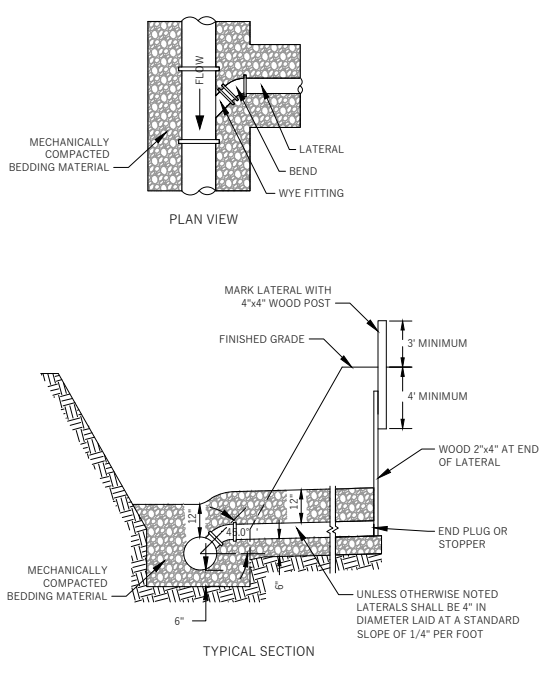




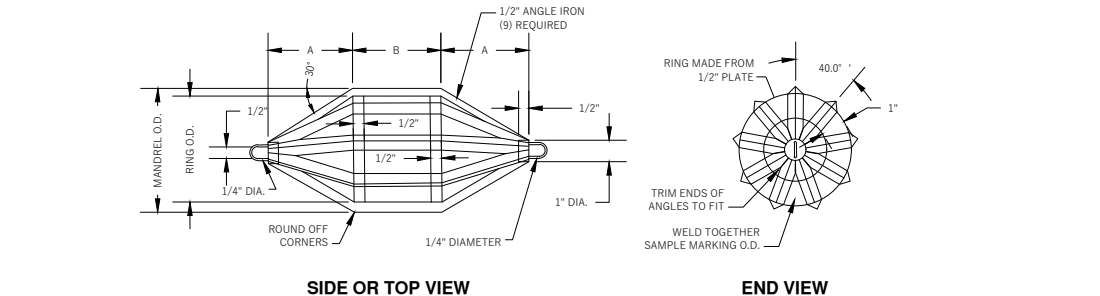
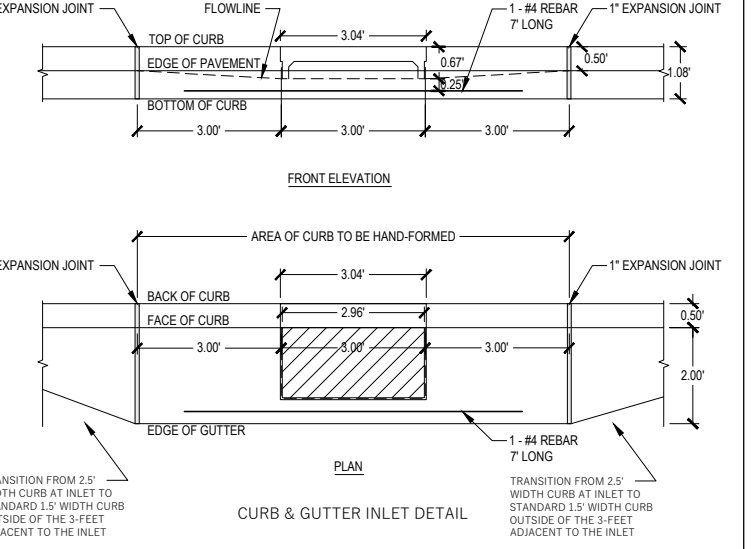
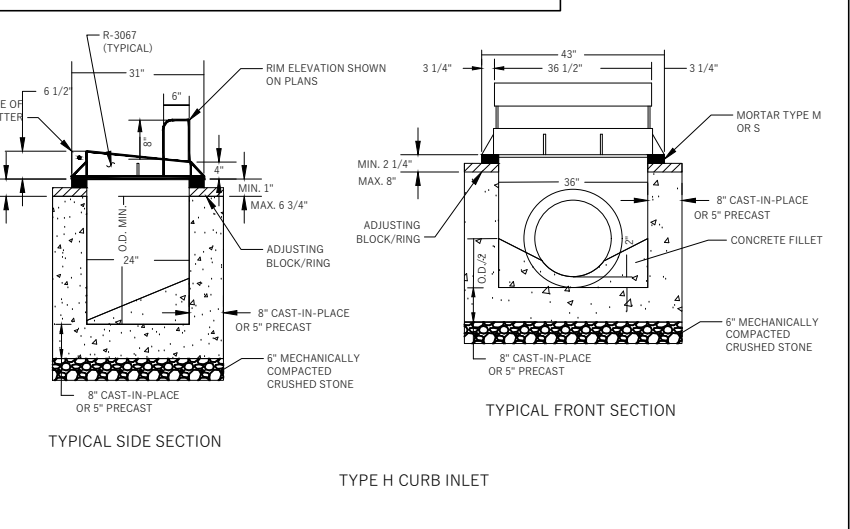
PIPE LENGTH	PIPE DIAMETER											
	4"	6"	8"	10"	12"	15"	18"	21"	24"			
25'	0:04	0:10	0:18	0:28	0:40	1:02	1:29	2:01	2:38			
50'	0:09	0:20	0:35	0:55	1:19	2:04	2:58	4:03	5:17			
75'	0:13	0:30	0:53	1:23	1:59	3:06	4:27	6:04	7:55			
100'	0:18	0:40	1:11	1:50	2:38	4:08	5:56	8:05	10:39			
125'	0:22	0:50	1:28	2:18	3:18	5:09	7:26	9:55	11:20			
150'	0:26	0:59	1:46	2:45	3:58	6:11	8:30	9:55	11:20			
175'	0:31	1:09	2:03	3:13	4:37	7:05	8:30					
200'	0:35	1:19	2:21	3:40	5:17	7:05						
225'	0:40	1:29	2:39	4:08	5:40							
250'	0:44	1:39	2:56	4:35	5:40							
275'	0:48	1:49	3:14	4:43								
300'	0:53	1:59	3:31	4:43								
325'	0:57	2:09	3:47									
350'	1:02	2:19	3:47									
375'	1:06	2:29										
400'	1:10	2:38										
425'	1:15	2:48										
450'	1:19	2:50										
475'	1:24	2:50										
500'	1:28	2:50	3:47	4:43	5:40	7:05	8:30	9:55	11:20			

NOTES:
 1. THE COSTS OF BEDDING SHALL BE INCLUDED IN THE UNIT PRICES BID FOR THE PIPE.
 2. THE BEDDING INCLUDES THE BEDDING, HAUNCHING AND INITIAL BACKFILL ZONES.
 3. THE BEDDING SHALL BE INSTALLED AND COMPACTED IN 6" MAXIMUM LIFTS.

LOW PRESSURE AIR TEST TIME (MANHOLE TO MANHOLE)



UTILITY TRENCH PAVEMENT RESTORATION DETAILS



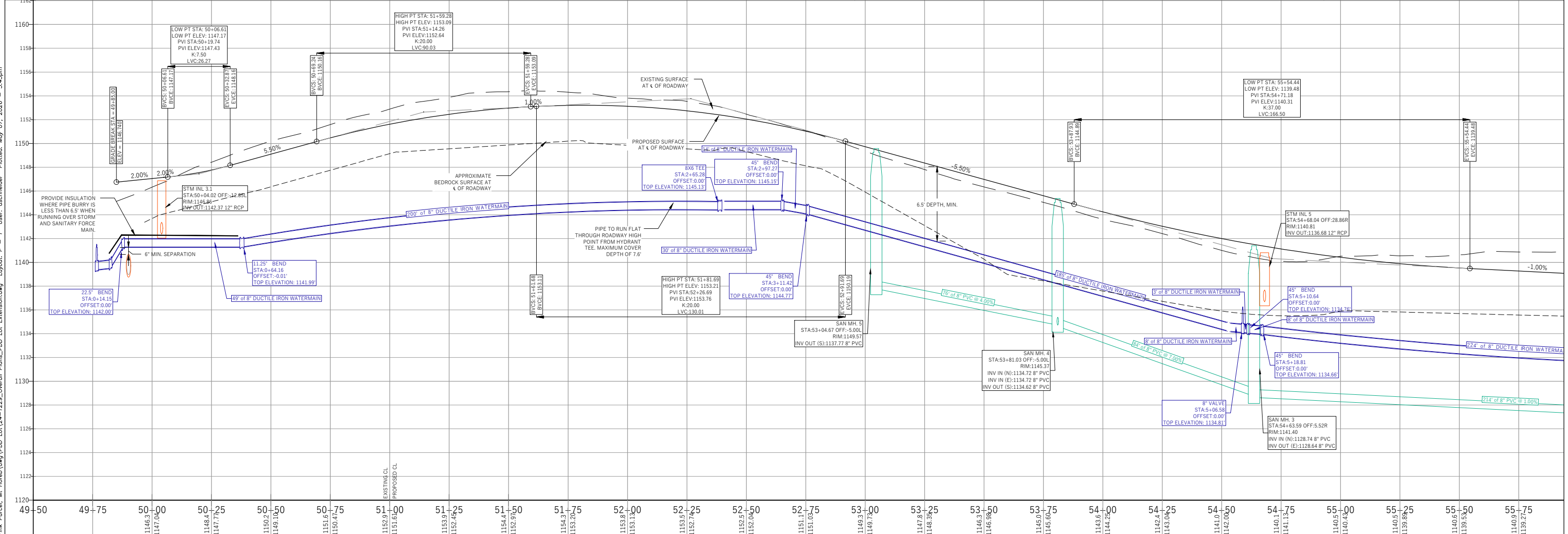
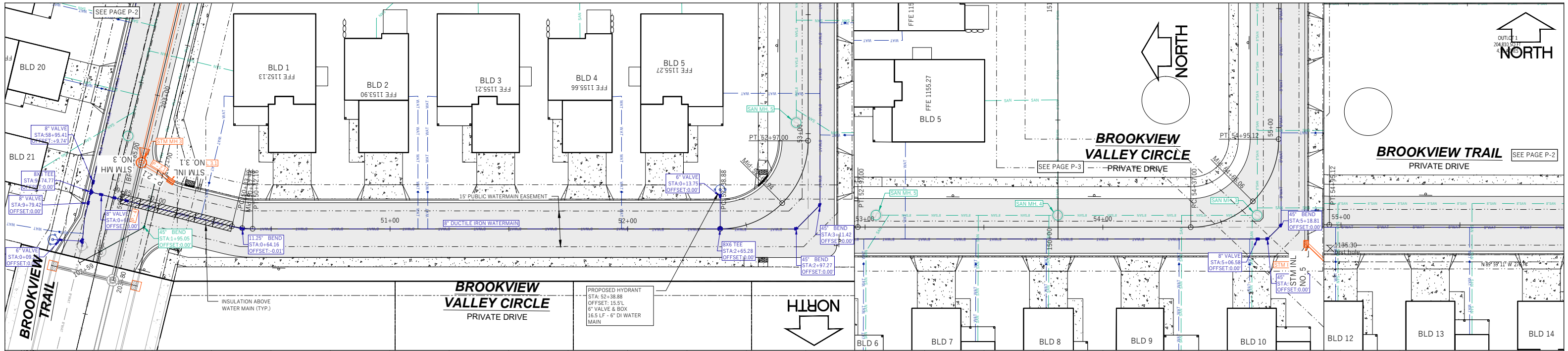
SIZE	"A"	"B"	MANDREL O.D.				RING O.D.			
			3033	3034	3034 SDR35	ABS 2680	3033	3034	3034 SDR35	ABS 2680
6"	4.0"	4"	5.61"	5.61"	5.61"	*5.62"	4.96"	4.90"	4.90"	*4.91"
8"	5.3"	6"	7.36"	7.60"	7.52"	7.36"	6.65"	6.65"	6.81"	6.65"
10"	6.7"	6"	9.21"	9.50"	9.40"	9.26"	8.50"	8.79"	8.69"	8.55"
12"	8.0"	8"	11.06"	11.30"	11.19"	11.16"	10.35"	10.59"	10.48"	10.45"
15"	10.0"	9"	13.82"	--	--	14.01"	13.11"	--	--	13.30"

DIMENSIONS ARE FOR ALLOWABLE 5% DEFLECTION.
 NUMBERS 3033, 3034, 3034 SDR 35, ABS 2680, AND ABS 2751 REFER TO A.S.T.M. DESIGNATIONS.
 AFTER CONSTRUCTION IS COMPLETED, TRUE THE O.D. DIMENSION FOR THE FULL LENGTH OF "B" TO +0.01" BY TOOL & LATHE OR GRINDING.

File: W:\2024\241229_Grounds\Drawings\DWG\241229-Details.dwg Layout: C405 User: dschneider Plotlet: Mar 25, 2026 - 7:52am

WYSER ENGINEERING BROOKSTONE HILLS COTTAGE DEVELOPMENT VILLAGE OF MOUNT HOREB, DANE COUNTY, WI	Sheet Title: SANITARY AND STORM SEWER DETAILS	 Toll Free (800) 242-8511 or- 811 Hearing Impaired TDD (800) 542-2289 www.DiggersHotline.com	Graphic Scale NTS 0" 1" 2" 3" 4" 5" 6" 7" 8" 9" 10"	Revisions: No. Date Description	Wyser Number 24-1229
	BROOKVIEW TRAIL MOUNT HOREB, WI 53572				Set Type REVIEW

File: W:\2024\241229_Gravelhills - Fink Parcel.dwg (PDD) Lot\24-1229_Overall_Plans_PDD Lot_Extension.dwg Layout: P - 1 User: dschneider Plot: May 07, 2026 - 3:45pm



BROOKSTONE HILLS - PDD LOT

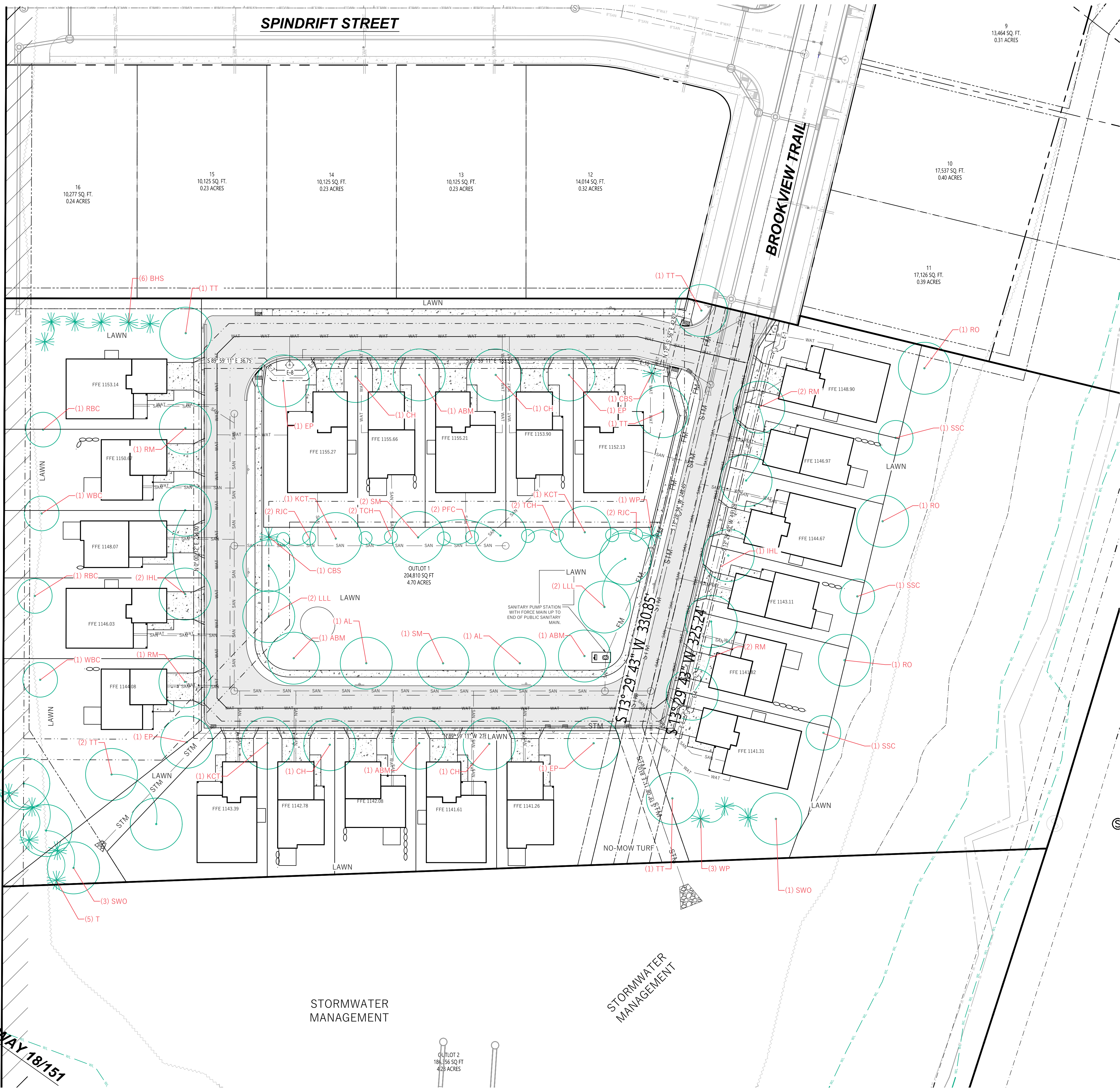
VILLAGE OF MOUNT HOREB, DANE COUNTY, WI

Sheet Title:
 PLAN AND PROFILE
 BROOKVIEW TRAIL - PRIVATE DRIVE
 START TO 55+50

BROOKVIEW TRAIL
 MOUNT HOREB, WI 53572



Graphic Scale	0' 5' 10' 20' 30'	1" = 40'
Revisions:	No.	Date:
Wysers Number	24-1229	
Set Type	REVIEW	
Date Issued	05/07/2026	
Sheet Number	P-1	



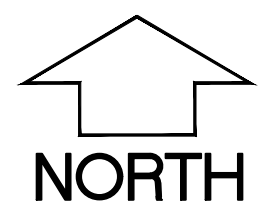
SPINDRIFT STREET

BROOKVIEW TRAIL

US HIGHWAY 18/151

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT

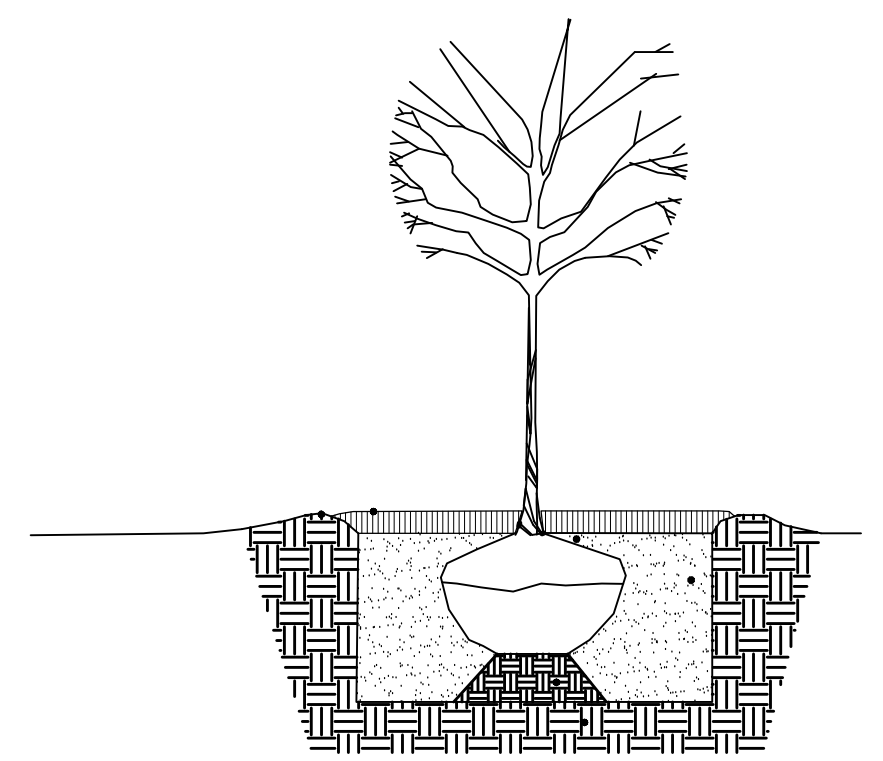


WYSER ENGINEERING

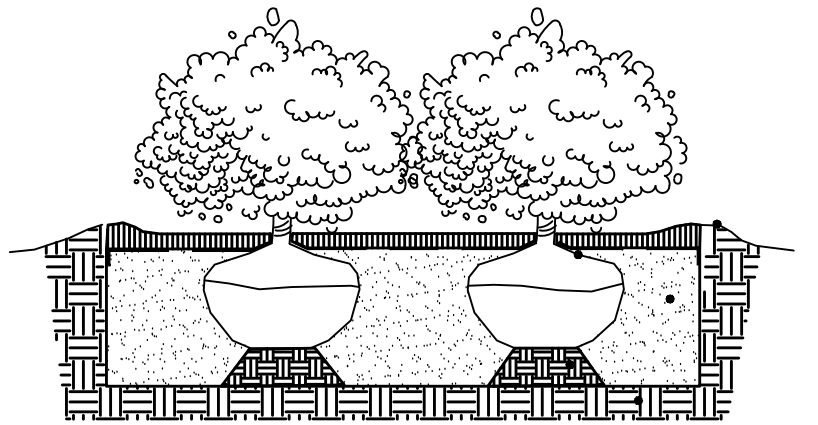
PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	Botanical Name	ROOT
(51) Canopy Trees					
ABM	4	2"	Autumn Blaze Maple	Acer Freemanii	BB
AL	2	2"	Basswood	Tilia Americana	BB
CH	4	2"	Common Hackberry	Celtis Occidentalis	BB
EP	4	2"	Exclamation Planetree	Platanus Occidentalis	BB
IHL	3	2"	Imperial Honeylocust	Gleditsia Tricanthos 'Imperial'	BB
KCT	3	2"	Gymnocladus Dioicus	Kentucky Coffee Tree	BB
LLL	4	2"	Little Leaf Linden	Tilia Cordata	BB
RM	6	2"	Red Maple	Acer Rubrum	BB
RO	3	2"	Red Oak	Quercus Rubrum	BB
SM	3	2"	Sugar Maple	Acer Saccharum	BB
SWO	4	2"	Swamp White Oak	Quercus Bicolor	BB
T	5	5"	Tamarack	Larix Laricina	BB
TT	6	2"	Tulip Tree	Liriodendron Tulipifera	BB
(4) Medium Trees					
RBC	2	10'	River Birch Clump	Betula Nigra	BB
WBC	2	10'	Whitespire Birch Clump	Betula Populafolia 'Whitespire'	BB
(13) Ornamental Trees					
PFC	2	1 1/2"	Prairie Fire Crab	Malus 'Prairie Fire'	BB
RJC	4	1 1/2"	Red Jade Crab	Malus 'Red Jade'	BB
SSC	3	1 1/2"	Spring Snow Crab	Malus 'Spring Snow'	BB
TCH	4	1 1/2"	Thornless Cockspur Hawthorn	Crataegus Crusgallii Inermis	BB
(12) Evergreen Trees					
BHS	6	5"	Black Hills Spruce	Picea Pungens Densata	BB
CBS	2	5"	Colorado Blue Spruce	Picea Pungens Glauca	BB
WP	4	5"	White Pine	Pinus Strobus	BB

- NOTES:
- 1) Designated lawn areas to receive a minimum of 6" of topsoil, premium bluegrass seed mix, starter fertilizer, and straw mulch.
 - 2) Designated no-mow turf areas to receive a minimum of 6" of topsoil, premium no-mow seed mix, starter fertilizer, and straw mulch.
 - 3) Lawn and no-mow turf areas in swales and on slopes in excess of 3:1 shall be mulched with straw mat.
 - 4) Planting beds to be mulched with shredded hardwood bark mulch spread to a depth of 3".
 - 5) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
 - 6) Designated planting beds to be separated from lawn areas with 5" crisp shovel-cut edge.



2 TREE PLANTING
NTS



1 SHRUB PLANTING
NTS

BROOKSTONE HILLS
COTTAGE DEVELOPMENT
VILLAGE OF MOUNT HOREB, DANE COUNTY, WI

BROOKVIEW TRAIL
MOUNT HOREB, WI 53572

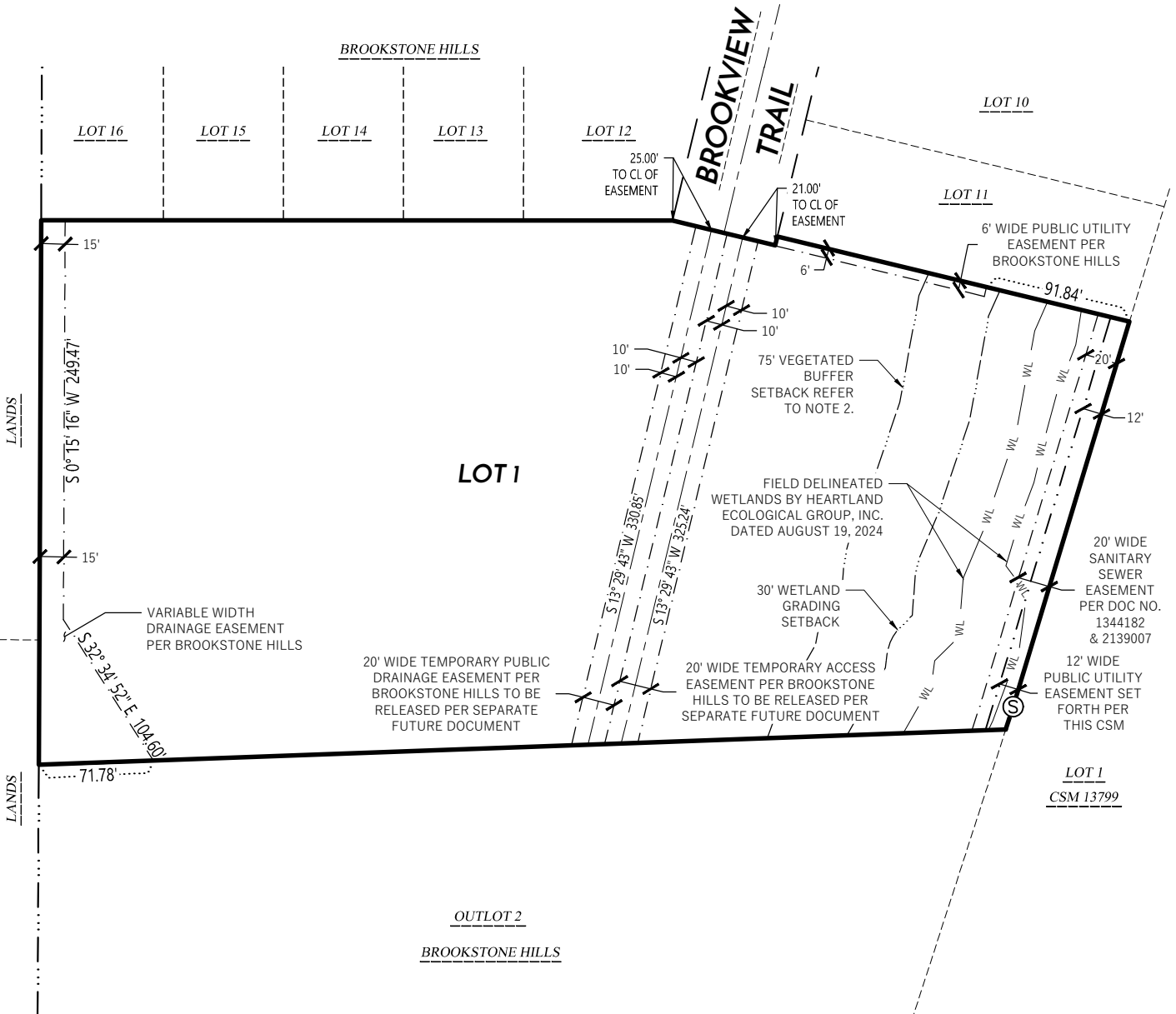
Revisions:		
No.	Date:	Description:

Graphic Scale	0' 15' 30' 45'
Wyser Number	24-1229
Set Type	REVIEW
Date Issued	05/07/2026
Sheet Number	L100

DIGGERS HOTLINE
Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

CERTIFIED SURVEY MAP NO. _____

OUTLOT 1, BROOKSTONE HILLS, RECORDED IN VOLUME 62-041B OF PLATS, PAGES 226-227, AS DOCUMENT 6057033, BEING LOCATED IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN



LEGEND

- SANITARY MANHOLE
- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- SECTION LINE
- PLATTED LINE
- EXISTING EASEMENT
- EASEMENT CREATED HEREON
- SETBACKS (TYP.)
- DELINEATED WETLANDS

NOTES:

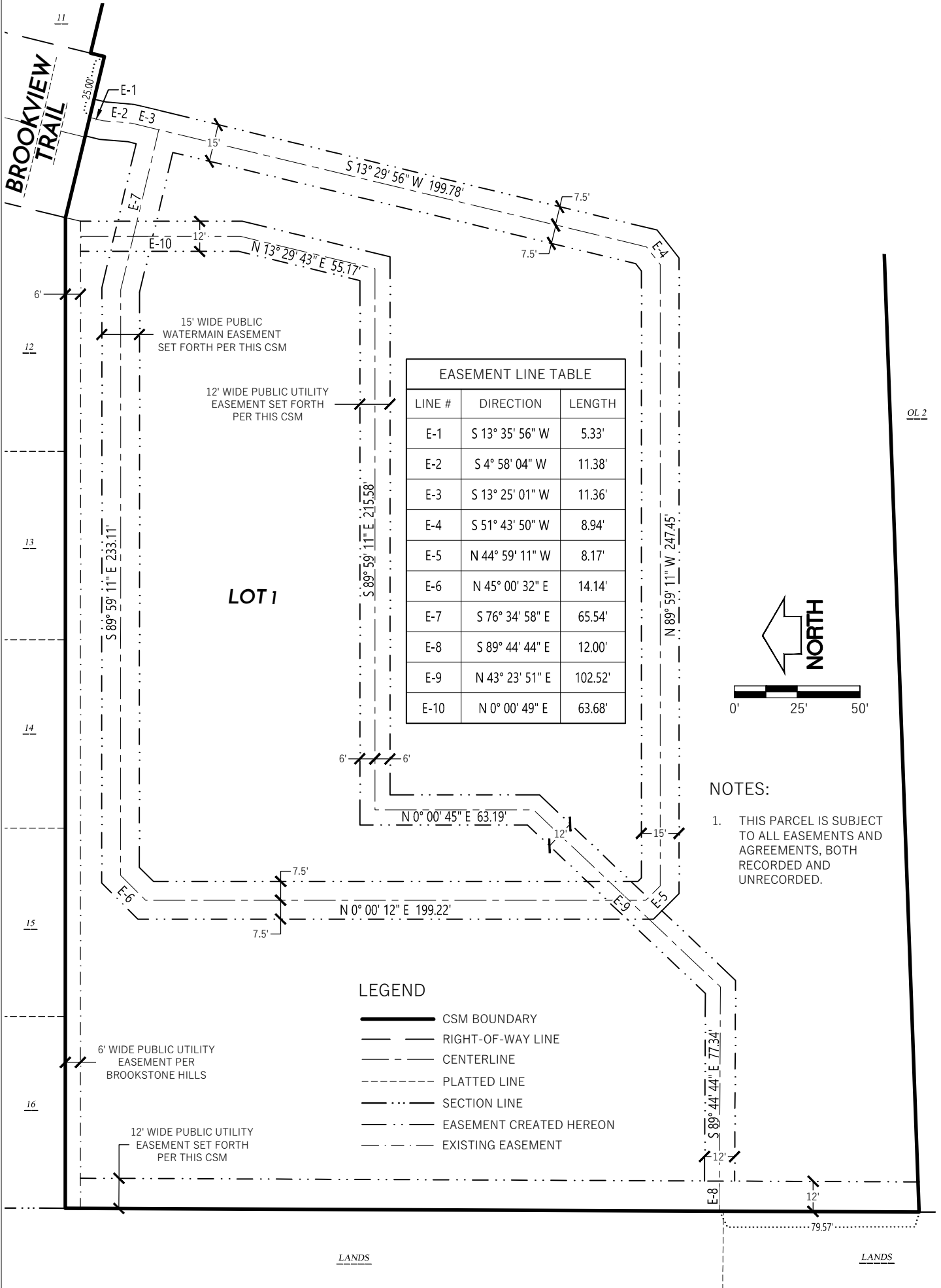
1. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
2. NO IMPERVIOUS AREA IS ALLOWED WITHIN THE 75' WETLAND SETBACK. THE AREA IN THE SETBACK IS TO BE A VEGETATED BUFFER.

File: W:\2024\241229_Grundahl - Fink Parcel, Mt. Horeb\dwg\24-1229_CSM.dwg Layout: CSM 2 OF 6 User: shearn Plotted: Mar 25, 2026 - 9:34am

WYSER ENGINEERING	PREPARED BY: WYSER ENGINEERING 300 EAST FRONT STREET MOUNT HOREB, WI 53572 www.wyserengineering.com	PREPARED FOR: BROOKSTONE SOUTH, LLC 6840 SCHNEIDER ROAD MIDDLETON, WI 53562	SURVEYED BY: MAL DRAWN BY: SCH CHECKED BY: ZMR APPROVED BY: ZMR	PROJECT NO: 241229 SHEET NO: 2 of 6	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

OUTLOT 1, BROOKSTONE HILLS, RECORDED IN VOLUME 62-041B OF PLATS, PAGES 226-227, AS DOCUMENT 6057033, BEING LOCATED IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN



EASEMENT LINE TABLE		
LINE #	DIRECTION	LENGTH
E-1	S 13° 35' 56" W	5.33'
E-2	S 4° 58' 04" W	11.38'
E-3	S 13° 25' 01" W	11.36'
E-4	S 51° 43' 50" W	8.94'
E-5	N 44° 59' 11" W	8.17'
E-6	N 45° 00' 32" E	14.14'
E-7	S 76° 34' 58" E	65.54'
E-8	S 89° 44' 44" E	12.00'
E-9	N 43° 23' 51" E	102.52'
E-10	N 0° 00' 49" E	63.68'

NOTES:

- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGEND

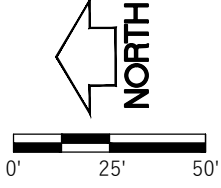
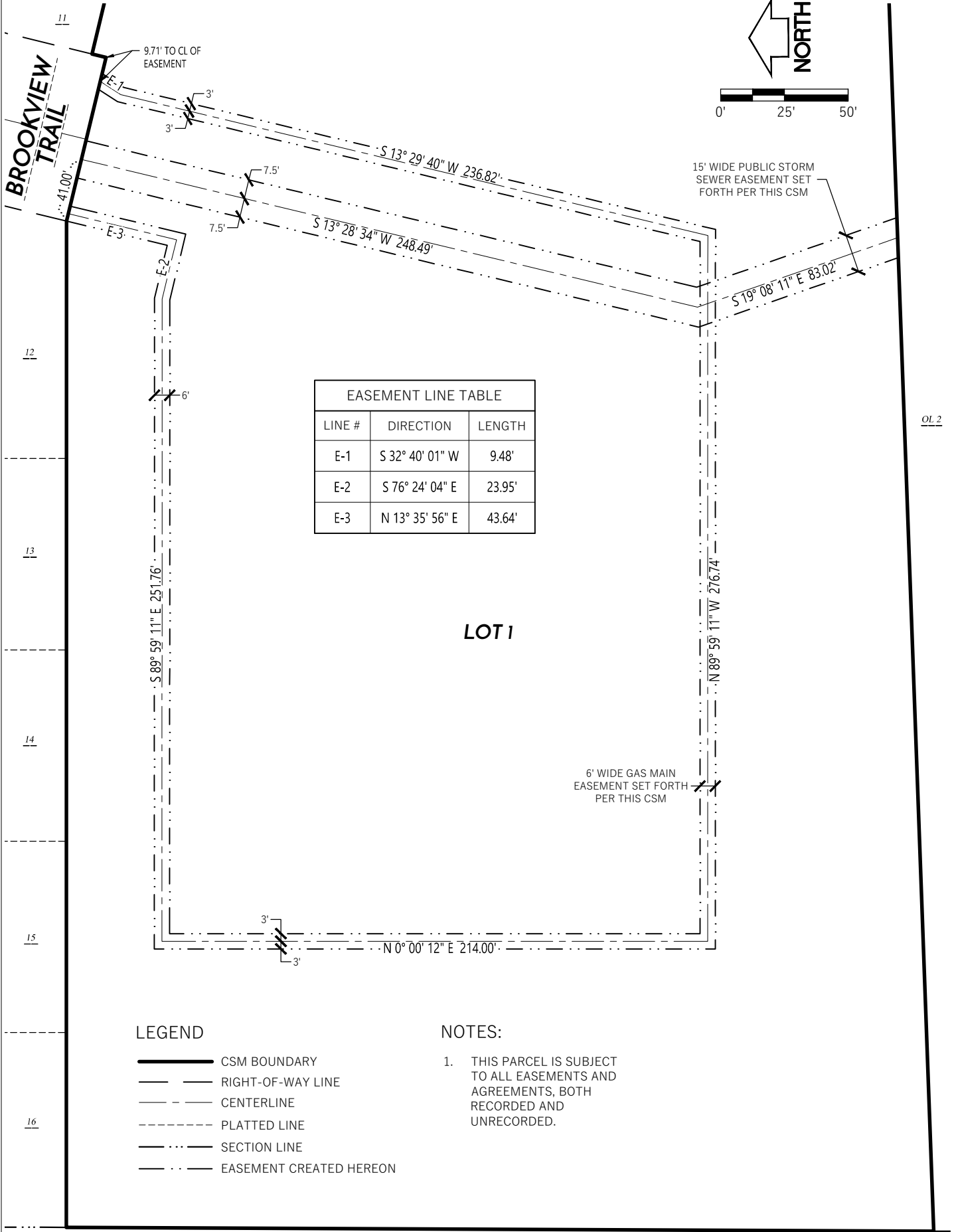
	CSM BOUNDARY
	RIGHT-OF-WAY LINE
	CENTERLINE
	PLATTED LINE
	SECTION LINE
	EASEMENT CREATED HEREON
	EXISTING EASEMENT

File: W:\2024\241229_Grundahl - Fink Parcel, Mt. Horeb.dwg\24-1229_CSM.dwg Layout: CSM 3 OF 6 User: shearn Plotted: Mar 25, 2026 - 9:34am

	<p>PREPARED BY: WYSER ENGINEERING 300 EAST FRONT STREET MOUNT HOREB, WI 53572 www.wyserengineering.com</p>	<p>PREPARED FOR: BROOKSTONE SOUTH, LLC 6840 SCHNEIDER ROAD MIDDLETON, WI 53562</p>	<p>SURVEYED BY: MAL DRAWN BY: SCH CHECKED BY: ZMR APPROVED BY: ZMR</p>	<p>PROJECT NO: 241229 SHEET NO: 3 of 6</p>	<p>VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____</p>
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CERTIFIED SURVEY MAP NO. _____

OUTLOT 1, BROOKSTONE HILLS, RECORDED IN VOLUME 62-041B OF PLATS, PAGES 226-227, AS DOCUMENT 6057033, BEING LOCATED IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN



EASEMENT LINE TABLE		
LINE #	DIRECTION	LENGTH
E-1	S 32° 40' 01" W	9.48'
E-2	S 76° 24' 04" E	23.95'
E-3	N 13° 35' 56" E	43.64'

LEGEND

	CSM BOUNDARY
	RIGHT-OF-WAY LINE
	CENTERLINE
	PLATTED LINE
	SECTION LINE
	EASEMENT CREATED HEREON

NOTES:

- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

File: W:\2024\241229_Grindahl - Fink Parcel, Mt. Horeb.dwg\24-1229_CSM.dwg Layout: CSM 4 OF 6 User: shearn Plotted: Mar 25, 2026 - 9:35am

	PREPARED BY: WYSER ENGINEERING 300 EAST FRONT STREET MOUNT HOREB, WI 53572 www.wyserengineering.com	PREPARED FOR: BROOKSTONE SOUTH, LLC 6840 SCHNEIDER ROAD MIDDLETON, WI 53562	SURVEYED BY: MAL DRAWN BY: SCH CHECKED BY: ZMR APPROVED BY: ZMR	PROJECT NO: 241229 SHEET NO: 4 of 6	VOL. _____ PAGE _____ DOC. NO. _____ C.S.M. NO. _____
	LANDS				

CERTIFIED SURVEY MAP NO. _____

OUTLOT 1, BROOKSTONE HILLS, RECORDED IN VOLUME 62-041B OF PLATS, PAGES 226-227, AS DOCUMENT 6057033, BEING LOCATED IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN

LEGAL DESCRIPTION

ALL OF OUTLOT 1, BROOKSTONE HILLS, RECORDED IN VOLUME 62-041B OF PLATS, PAGES 226-227, AS DOCUMENT 6057033, BEING LOCATED IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN

SAID PARCEL CONTAINS 204,810 SQUARE FEET OR 4.70 ACRES.

SURVEYOR'S CERTIFICATE

I, ZACHARY M. REYNOLDS, WISCONSIN PROFESSIONAL LAND SURVEYOR S-3223, DO HEREBY CERTIFY THAT BY DIRECTION OF BROOKSTONE SOUTH, LLC, I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE VILLAGE OF MOUNT HOREB AND DANE COUNTY, WISCONSIN.

ZACHARY M. REYNOLDS, S-3223
WISCONSIN PROFESSIONAL LAND SURVEYOR

DATE

OWNER'S CERTIFICATE

BROOKSTONE SOUTH, LLC, AS OWNER I HEREBY CERTIFY THAT I CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY SEC. 75.17(1)(A), DANE COUNTY CODE OF ORDINANCES, TO BE SUBMITTED TO THE DANE COUNTY ZONING AND VILLAGE BOARD, VILLAGE OF MOUNT HOREB.

BY: _____
JEFFREY A. JASCHINSKI, AUTHORIZED MEMBER
BROOKSTONE SOUTH, LLC

STATE OF WISCONSIN) SS
DANE COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2026,

THE ABOVE NAMED AUTHORIZED MEMBER FOR BROOKSTONE SOUTH, LLC, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES

VOL. _____ PAGE _____

DOC. NO. _____

C.S.M. NO. _____

File: W:\2024\241229_Grundahl - Fink Parcel, Mt Horeb\dwg\24-1229_CSM.dwg Layout: CSM 5 of 6 User: sheern Plotted: Mar 25, 2026 - 9:35am



PREPARED BY:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

PREPARED FOR:
BROOKSTONE SOUTH, LLC
6840 SCHNEIDER ROAD
MIDDLETON, WI 53562

SURVEYED BY: MAL
DRAWN BY: SCH
CHECKED BY: ZMR
APPROVED BY: ZMR

PROJECT NO: 241229
SHEET NO: 5 of 6

CERTIFIED SURVEY MAP NO. _____

OUTLOT 1, BROOKSTONE HILLS, RECORDED IN VOLUME 62-041B OF PLATS, PAGES 226-227, AS DOCUMENT 6057033, BEING LOCATED IN PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN

CONSENT OF MORTGAGEE

OAK BANK, A BANKING ASSOCIATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEY, DIVIDING, MAPPING AND DEDICATION OF THE LAND DESCRIBED ON THIS PLAT AND DOES HEREBY CONSENT TO THE OWNER'S CERTIFICATE.

IN WITNESS WHEREOF, LINDA ZIMDARS HAS CAUSED THESE PRESENTS TO BE SIGNED BY CORPORATE OFFICER, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED

ON THIS _____ DAY OF _____, 20____.

BY: _____
LINDA ZIMDARS, - SENIOR VICE PRESIDENT - BUSINESS BANKING
AUTHORIZED OFFICER

STATE OF WISCONSIN)
DANE COUNTY) ss.

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____,

THE ABOVE NAMED BANKING ASSOCIATION, OAK BANK AUTHORIZED OFFICER, LINDA ZIMDARS, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

MY COMMISSION EXPIRES

VILLAGE OF MOUNT HOREB APPROVAL

THE VILLAGE OF MOUNT HOREB HAS APPROVED THIS CERTIFIED SURVEY MAP.

ALYSSA GAFFNEY
VILLAGE CLERK, VILLAGE OF MOUNT HOREB

DATE

OFFICE OF THE REGISTER OF DEEDS

_____ COUNTY, WISCONSIN

RECEIVED FOR RECORD _____,

20 ____ AT _____ O'CLOCK ____ M AS

DOCUMENT # _____

IN VOL. _____ OF CERTIFIED SURVEY

MAPS ON PAGE(S) _____.

KRISTI CHLEBOWSKI, REGISTER OF DEEDS



PREPARED BY:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

PREPARED FOR:
BROOKSTONE SOUTH, LLC
6840 SCHNEIDER ROAD
MIDDLETON, WI 53562

SURVEYED BY: MAL
DRAWN BY: SCH
CHECKED BY: ZMR
APPROVED BY: ZMR

PROJECT NO: 241229
SHEET NO: 6 of 6



VILLAGE OF MOUNT HOREB
 Zoning Administrator 608-437-9409
 138 East Main Street
 Mount Horeb, WI 53572

PLAN COMMISSION APPLICATION

PROJECT NAME: The Valley at Brookstone Hills 06061419051

Project Address _____ **Parcel Number:** 1
[Access Dane Link](#)

Zoning Map

Current Zoning PUD **Future Land Use Zoning:** _____
[\(select zoning layer in map\)](#) [\(select future land use layer in map\)](#)

APPLICANT: Chad Wuebben	
ADDRESS: 6840 Schneider Road, Middleton, WI 53562	
PHONE: 608 444 7752	EMAIL: cwuebben@encorehomesinc.com

OWNER: Brookstone South LLC	
ADDRESS: 6840 Schneider Road, Middleton, WI 53562	
PHONE: 608 836 9451	EMAIL: cwuebben@encorehomesinc.com

PROJECT DESCRIPTION: ~~This is a 21 unit single family condominium development designed to reach a level of affordability for homeowners not currently seen in Mt Horeb. The project includes shared open green space with a play system area. the project includes 6 varied elevations and 3 different floor plans, including ranch and two story models.~~

OWNER/APPLICANT SIGNATURE: **DATE:** 5-27-2026

FEES & DEPOSITS: (CHECK ALL THAT APPLY)

Application	Fee	Public Hearing-	Developer Deposit:
<input type="checkbox"/> Certificate of Appropriateness (for Central Business Zoning)	No Fee		An escrow deposit is required in accordance with the Development Application Agreement.
<input type="checkbox"/> Certified Survey Map (CSM) <i>scroll to Section 18.61 in schedule</i>	Schedule		
<input type="checkbox"/> Certified Survey Map Extraterritorial <i>scroll to Section 18.61 in schedule</i>	Schedule		
<input type="checkbox"/> Comprehensive Plan Amendment	\$150.00	Class One	Total Fee Paid: _____
<input type="checkbox"/> Conditional Use Permit (changes in USE of property)	\$150.00	Class Two	
<input type="checkbox"/> Conditional Use Permit (planned development district)	\$200.00	Class Two	Date: _____
<input type="checkbox"/> Design Review	\$100.00		
<input type="checkbox"/> General Development Plan (GDP)	\$200.00		Fee Waived By: _____
<input checked="" type="checkbox"/> Specific Improvement Plan (SIP)	\$300.00		
<input type="checkbox"/> Zoning Amendment (changes in zoning)	\$150.00	Class Two	
<input type="checkbox"/> Zoning Amendment (planned development district)	\$200.00	Class Two	

The Village of Mount Horeb Plan Commission meets the fourth Wednesday of the month, unless

noted on calendar. A schedule of deadlines can be found on the Zoning page of the Village website: [Plan Commission Calendar](#). **Consultation with the Village Administrator is highly encouraged to discuss procedure and necessary forms prior to any submittal.**

Note: applications requiring a public hearing will be scheduled for a hearing according to the publication deadline, with action considered at the scheduled Plan Commission meeting following the public hearing. Applicants are encouraged to contact the Village Administrator for a pre-application meeting to review the project and submittal requirements prior to submitting an official application.

Class One = Published in newspaper for one week / Class Two = Published in newspaper for two weeks

Application submittals should include:

- 1) Fully executed **Plan Commission Application**
- 2) Fully executed **Development Application Agreement** (attached)
 - A development agreement is a voluntary contract between a local jurisdiction and a person who owns or controls property within the jurisdiction, detailing the obligations of both parties and specifying the standards and conditions that will govern development.
- 3) Full payment for all associated fees
- 4) Written narrative of the proposed project
- 5) One electronic copy of **full submittal**
 - emailed to (2 parties) Nic.Owen@mounthorebwi.info and mhbuildinginspector@mounthorebwi.info,
 - or provided to our offices on a USB device or submitted via downloaded file

All **submittals** must contain the following to be considered complete:

- 1) Written narrative must include:
 - a. Owner and/or developer names and addresses
 - b. Where applicable; architect and/or engineer names and addresses
 - c. Description of proposed uses
 - d. Calculation indicating total site size, building floor area, number of parking stalls, amount of impervious surface, and amount of non-impervious green space
- 2) A scaled site plan which must include:
 - a. Name of project and date of plan preparation
 - b. Scale of drawing and north arrow
 - c. Property boundaries
 - d. Where applicable; both the one hundred (100) year recurrence interval floodplain and the floodway delineations
 - e. Where applicable; wetlands as delineated in the WDNR Wetland Inventory and 75' setback line from such wetlands
 - f. Existing and proposed easements on the subject property
 - g. Adjoining public street rights-of-way, street pavements, and sidewalk locations; existing and proposed driveways and curb cuts; and parking and loading areas
 - h. Location of existing and proposed building footprints with building and yard setback lines indicated
 - i. Location and size of any existing or proposed signs and fencing
 - j. Location and type of all outdoor lighting proposed to illuminate the site; including a photometrics plan of the site ([See Village Code Chapter 17.14 \(4\)](#))
- 3) Building Plans which must include:
 - a. Elevation drawing of each new or remodeled building façade, indicating height,

- materials and building dimensions
 - b. Colored renderings of all façades of the principal building showing the proposed colors
 - c. Building materials samples (upon request)
- 4) Grading and Stormwater Management Plan, including:
 - a. Existing and proposed topography shown at a contour interval of not less than two (2) feet at National Geodetic Vertical Datum
 - b. Location and dimension of Stormwater retention or detention basins and/or stormwater conveyances
 - 5) Landscape Plan that meets all landscaping standards ([See Village Code Chapter 17.14\(25-27\)](#))
 - 6) Parking Calculations
 - 7) Escrow fees as outlined in the Development Application Agreement
 - 8) Erosion Control and Stormwater Management Application and fees. *No person may begin a land disturbing construction activity or land developing activity subject to this division until the person has paid the Erosion Control Review and Inspection fee.
 - 9) Erosion Control Plan
 - 10) Signage Plan ([Village Code Chapter 17.171](#))
 - 11) Design Review guideline ([See Village Code Chapter 17.14](#))
 - 12) Refer to [Mount Horeb Village Code Chapter 17-Zoning Code](#) for all supporting details of required documentation.

DEVELOPMENT APPLICATION AGREEMENT

This Development Application Agreement (the "Agreement") is made and entered into this 25 day of MARCH, 2024, by and between the Village of Mount Horeb, a Wisconsin municipal corporation (the "Village"), and _____ (the "Applicant").

RECITALS

- A. The Applicant plans to file, or has filed, an application for approval by the Village of one or more of the following activities within the Village's jurisdiction: site plan / conditional use permit / rezone / variance / other development (hereinafter referred to as the "Development").
- B. The Village desires to review and take action on the Development in a timely manner in accordance with all applicable federal, state and local laws and regulations, and without unreasonable expense to Village taxpayers.
- C. The Applicant agrees and acknowledges that decisions and approvals regarding the Development are legislative determinations to be made in the Village's discretion and that the Applicant's compliance with this Agreement does not, in any way, entitle the Applicant to approval of the Development.
- D. The process of reviewing the plans and documents associated with the Development will cause the Village to incur direct and indirect expenses including, but not limited to, staff time and fees and expenses incurred by the Village for outside consultant services related to review of the Development (e.g., engineers, attorneys, accountants, planners, and other professionals).

NOW, THEREFORE, for and in consideration of the mutual covenants contained herein, and for good and valuable consideration, the Village and the Applicant agree as follows:

- 1. *Recitals.* The representations and recitations set forth in the foregoing paragraphs are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth in this paragraph.
- 2. *Applicant to Reimburse Village Review Costs.* The Applicant shall reimburse the Village for all direct and indirect costs and expenses related to the Village's review of the Development. The direct and indirect costs and expenses include, but are not limited to, staff time and fees and expenses incurred by the Village for outside consultant services (e.g., engineers, attorneys, accountants, planners, and other professionals). For purposes of this Agreement, the direct and indirect costs and expenses shall be referred to as "Review Costs." Village staff time shall be charged at current rates.

3. *Deposit Required to Fund Reimbursement Account.*

- a. To ensure that funds are readily available to the Village for reimbursement of the Review Costs as provided in paragraph 2 above, the Applicant shall deposit with the Village an amount determined by the Village Zoning Administrator to be used to pay the Review Costs (the "Deposit"). The Village Zoning Administrator shall use the following table as a guide to determine the amount of the Deposit:

- (1) Small additions (<2,500 sf) shall require a \$1,500 Deposit.
- (2) Small-sized projects (<5,000 sf) shall require a \$3,500 Deposit.
- (3) Medium-sized projects (<10,000 sf) shall require a \$5,500 Deposit.
- (4) Large-sized projects (>10,000 sf) shall require a \$10,000 Deposit.
- (5) In addition to the amounts identified in (1) through (4), any Development that requires a development agreement or tax incremental financing assistance from the Village shall require an additional \$5,000 to \$10,000 Deposit.

All Deposit amounts shall be determined by the Village Zoning Administrator in his/her sole discretion and are not subject to challenge by the Applicant. Generally small additions will be less than 2,500 square feet, small projects less than 5,000 square feet, medium projects less than 10,000 square feet and large projects are over 10,000 square feet.

- b. The Applicant is responsible for payment of all Review Costs regardless of whether the amount exceeds the amount initially deposited with the Village. The Village reserves the right to require the Applicant to deposit additional amounts if the Village Zoning Administrator determines that additional amounts are necessary because of the size of the Development or because the Reimbursement Account (defined below) has been depleted.
- c. The Deposit may be provided in the form of cash, a certified check, cashier's check, personal check, or some other form as approved by the Village.
- d. The required Deposit must be made by the Applicant upon execution of this Agreement.
- e. The Applicant agrees and acknowledges that the Village will not process the application(s) associated with the Development and that the Village may suspend or otherwise stop activities associated with the Development if the Applicant fails to comply with this Agreement.
- f. The Village shall place and maintain the Deposit in a segregated, non-interest-bearing account to be used solely for the purpose of reimbursing the Review Costs in accordance with paragraph 4 below (the "Reimbursement Account").

4. *Village Withdrawals from the Reimbursement Account.*
- a. After complying with the notification requirements of paragraph 4.b. below, the Village is entitled to make withdrawals from the Reimbursement Account to pay Review Costs in accordance with paragraph 2 above.
 - b. Not less than 5 days prior to making any withdrawal from the Reimbursement Account, the Village shall provide the Applicant with an itemized invoice for Review Costs incurred, together with a written notice of the Village's intent to withdraw such funds from the Reimbursement Account.
 - c. Withdrawals from the Reimbursement Account may be made as often as necessary to reimburse the Review Costs. In the event that the balance of Applicant's Reimbursement Account reaches \$1,000 or less, the Village shall have the discretion to continue withdrawing funds from the Reimbursement Account; to invoice the Applicant directly for payment; or to require the Applicant to pay additional monies to the Village, which monies shall be deposited in the Reimbursement Account. Payments for directly invoiced bills shall be due 30 days from the date the invoice is mailed to the Applicant.
 - d. Any amounts remaining in the Reimbursement Account after the Village as taken final action on the Development and all Review Costs have been paid shall be promptly refunded to the Applicant.
5. *Authority/Binding Effect.* The parties agree that the undersigned signatories to this Agreement have full power and authority to act on behalf of the Village and the Applicant, and that all necessary and enabling resolutions have been enacted. This Agreement shall bind the heirs, successors and assigns of the Applicant and the Village.
6. *Notification of Parties.*

Any notices to be provided under this Agreement may be made by delivery in person, by First Class mail, or by electronic mail (request a read receipt required) as provided below:

To Village: Village of Mount Horeb
 Village Administrator
 138 East Main Street
 Mount Horeb, WI 53572
 Email: Nic.Owen@mounthorebwi.info

To Applicant: CHAD WUEBEN
6840 SCHNEIDER RD.
MIDDLETON, WI 53562
Email: CWUEBEN@ENCOREHOMESINC.COM


7. *Severability.* If any provision of this Agreement is deemed invalid, then the invalidity of said provision shall not affect the validity of any other provision hereof.
8. *Amendment, Withdrawal, or Release.* This Agreement may be withdrawn, amended or released only by a written document duly executed by both parties.
9. *Effective Date.* This Agreement shall be effective commencing on the date indicated in the first paragraph above.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed by the duly authorized individuals and officers below.

VILLAGE OF MOUNT HOREB

By: _____
Nicholas W Owen
Administrator

APPLICANT

By:  _____
Print name: CHAD WUEBEN, PRESIDENT, ENCORE HOMES INC
Title: _____

BROOKSTONE HILLS CONDOMINIUM

A CONDOMINIUM PLAT

LOT 1, CSM XXXX, RECORDED IN VOLUME XX OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES XXXXX, AS DOCUMENT NO. XXXXXXXX, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWN 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN.

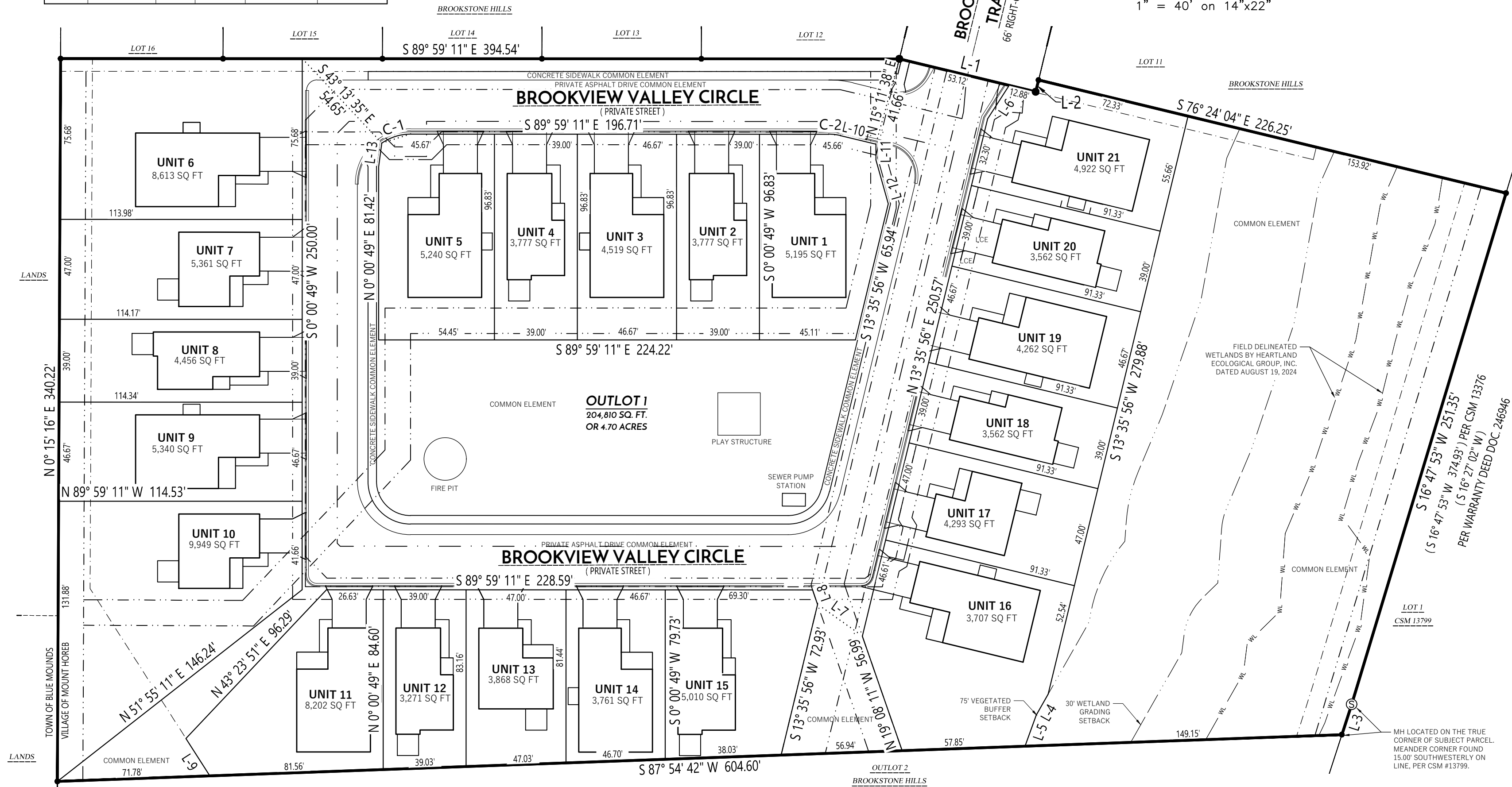
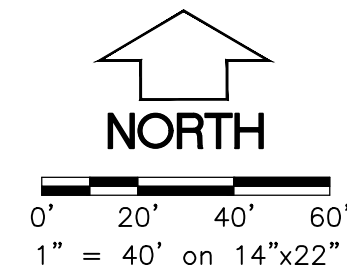
NOTES

- THIS PARCEL IS SUBJECT TO ALL EASEMENTS & AGREEMENTS, BOTH RECORDED AND UNRECORDED.
- SEE SHEET 2 FOR ADDITIONAL NOTES, LINE TABLE.

LEGEND

- FOUND 1-1/4" REBAR
- FOUND 3/4" REBAR
- ⊙ SANITARY MANHOLE
- PLAT BOUNDARY
- - - - - PLATTED LINE
- - - - - RIGHT-OF-WAY LINE
- - - - - CENTERLINE
- WL — WETLANDS
- - - - - WETLAND SETBACKS
- PROPOSED BUILDING FOOTPRINT
- EDGE OF CONCRETE
- EDGE OF ASPHALT
- - - - - 3' BUILDING PERIMETER UNIT LIMIT
- - - - - EASEMENT

CURVE TABLE					
CURVE #	CURVE LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	14.46'	23.50'	35° 15' 10"	N 72° 23' 14" E	14.23'
C2	5.57'	23.50'	13° 35' 07"	S 83° 11' 37" E	5.56'



FIELD DELINEATED WETLANDS BY HEARTLAND ECOLOGICAL GROUP, INC. DATED AUGUST 19, 2024

(S 16° 47' 53" W 374.93') PER CSM 13376
(S 16° 27' 02" W)
PER WARRANTY DEED DOC. 246946



SURVEYED BY: MAL
DRAWN BY: SCH
APPROVED BY: ZMR

PREPARED FOR:
BROOKSTONE SOUTH, LLC
6840 SCHNEIDER ROAD
MIDDLETON, WI 53562

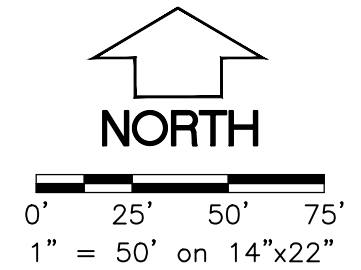
PREPARED BY:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

NOTES

1. FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC ON THE WEEKS OF JUNE 11TH, JUNE 14TH, JUNE 20TH, JULY 1ST, JULY 16TH, & JULY 29TH, 2024.
2. NORTH REFERENCE FOR THIS PLAT ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, NAD 83 (2011) WISCRS-RACINE, GRID NORTH. THE SOUTH LINE OF LOT1, CSM # BEARS S 87° 54' 42" W.
3. BUILDING PLANS & DIMENSIONS ARE BASED UPON DRAWINGS PROVIDED BY THE OWNER AND DO NOT REPRESENT AS-BUILT CONDITIONS.
4. ALL IMPROVEMENTS DEPICTED WITHIN THE CONDOMINIUM LIMITS ARE PROPOSED.
5. UNLESS OTHERWISE NOTED, ALL AREAS OUTSIDE OF THE UNIT BOUNDARIES ARE COMMON ELEMENTS.
6. UNIT AREAS ARE APPROXIMATE AND DO NOT SUPERSEDE UNIT BOUNDARIES AS SET FORTH IN THE DECLARATION.
7. THIS PARCEL IS SUBJECT TO ALL EASEMENTS & AGREEMENTS, BOTH RECORDED AND UNRECORDED .

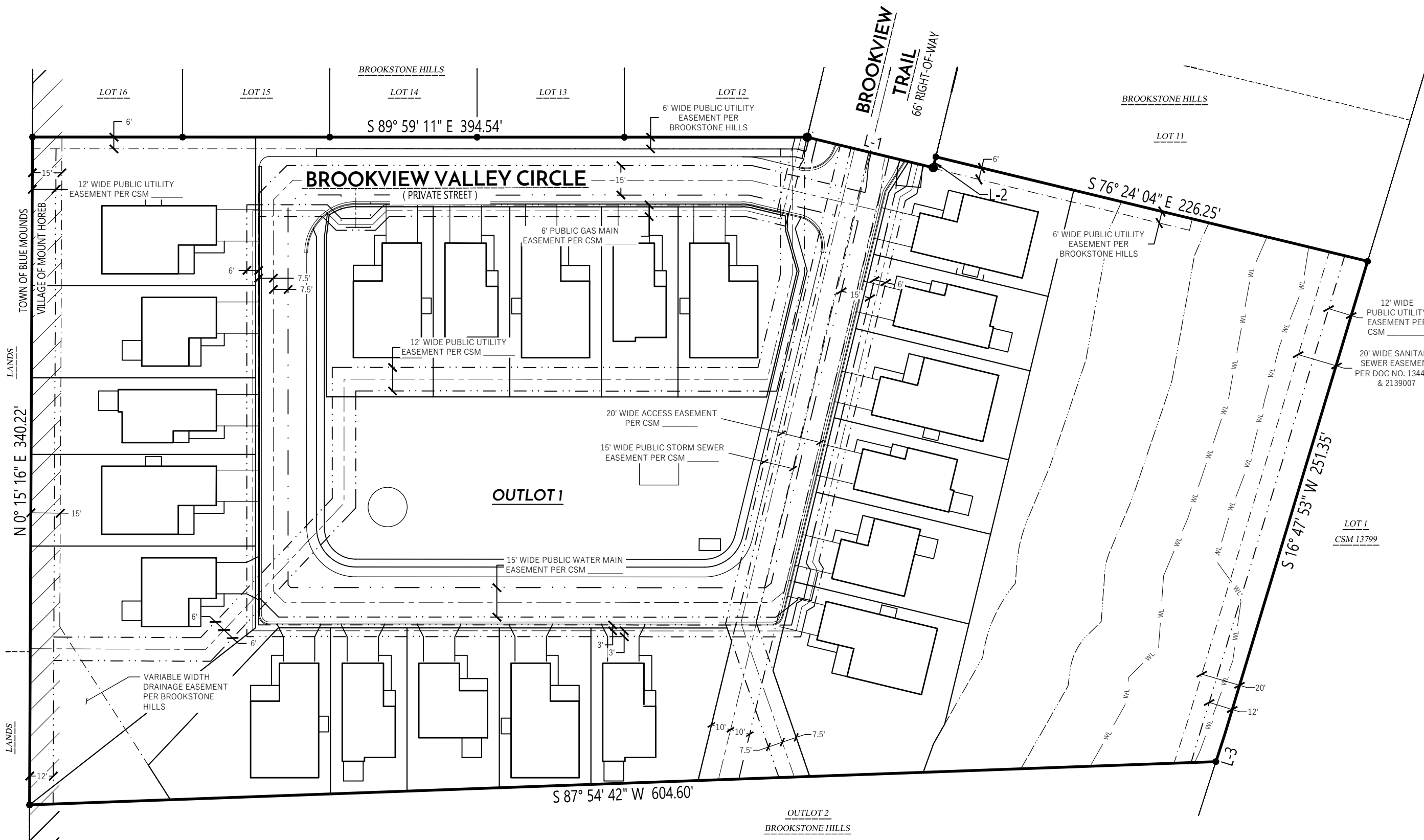
**BROOKSTONE HILLS CONDOMINIUM
A CONDOMINIUM PLAT**

LOT 1, CSM XXXXX, RECORDED IN VOLUME XX OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES XXXXX, AS DOCUMENT NO. XXXXXXXX, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWN 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN.



LEGEND

- FOUND 1-1/4" REBAR
- FOUND 3/4" REBAR
- PLAT BOUNDARY
- - - PLATTED LINE
- RIGHT-OF-WAY LINE
- - - CENTERLINE
- - - EASEMENT



LINE TABLE		
LINE #	DIRECTION	LENGTH
L-1	S 76° 24' 04" E	66.00'
L-2	N 13° 35' 56" E	5.68'
L-3	S 17° 54' 17" W	15.00'
()	S 17° 47' 29" W	
L-4	S 17° 54' 17" W	15.00'
L-5	S 19° 49' 18" W	15.50'
L-6	N 32° 40' 01" E	18.72'
L-7	N 54° 36' 40" W	25.85'
L-8	S 19° 08' 11" E	7.24'
L-9	N 32° 34' 52" W	20.90'
L-10	S 76° 24' 04" E	17.11'
L-11	S 00° 26' 14" E	7.48'
L-12	S 15° 42' 56" E	21.38'
L-13	N 07° 23' 00" E	11.20'

() PER CSM 13799 AND WARRANTY DEED DOC. 2469964



SURVEYED BY: MAL
DRAWN BY: SCH
APPROVED BY: ZMR

PREPARED FOR:
BROOKSTONE SOUTH, LLC
6840 SCHNEIDER ROAD
MIDDLETON, WI 53562

PREPARED BY:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

BROOKSTONE HILLS CONDOMINIUM

A CONDOMINIUM PLAT

LOT 1, CSM _____, RECORDED IN VOLUME _____ OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES _____, AS DOCUMENT NO. _____, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWN 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN.

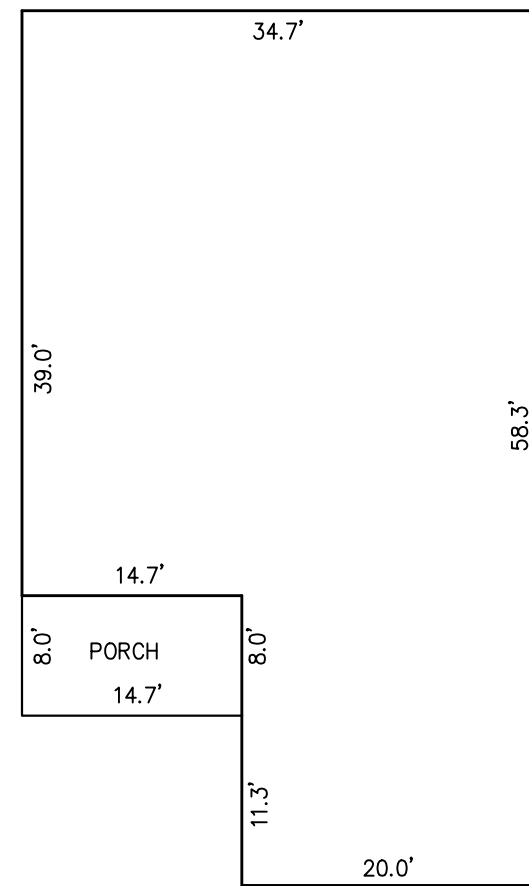
SURVEYORS CERTIFICATE

I, ZACHARY M. REYNOLDS, WISCONSIN PROFESSIONAL LAND SURVEYOR S-3223, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE INFORMATION PROVIDED, BY THE ORDER OF THOSE LISTED HEREON, AND IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES, EXISTING IMPROVEMENTS, THOSE TO BE CONSTRUCTED UPON THE PROPERTY FROM THE INFORMATION PROVIDED, AND THAT THIS SURVEY COMPLIES WITH AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE.

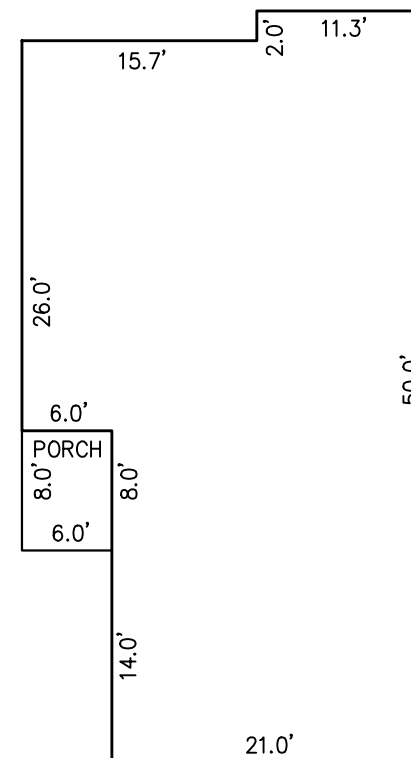
FURTHERMORE, IN COMPLIANCE WITH CHAPTER 703.11 WISCONSIN STATUTES, THE CONDOMINIUM PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF "BROOKSTONE HILLS CONDOMINIUM" AS PROPOSED AT THE DATE HEREOF, AND THE IDENTIFICATION AND LOCATION OF EACH UNIT, COMMON ELEMENTS, AND LIMITED COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT. THE UNDERSIGNED SURVEYOR MAKES NO CERTIFICATION AS TO THE ACCURACY OF THE CONDOMINIUM BUILDINGS AND UNITS CONTAINED IN THE PLAT AND THE APPROXIMATE DIMENSIONS AND FLOOR AREAS THEREOF.

ZACHARY M. REYNOLDS, S-3223
WISCONSIN PROFESSIONAL LAND SURVEYOR

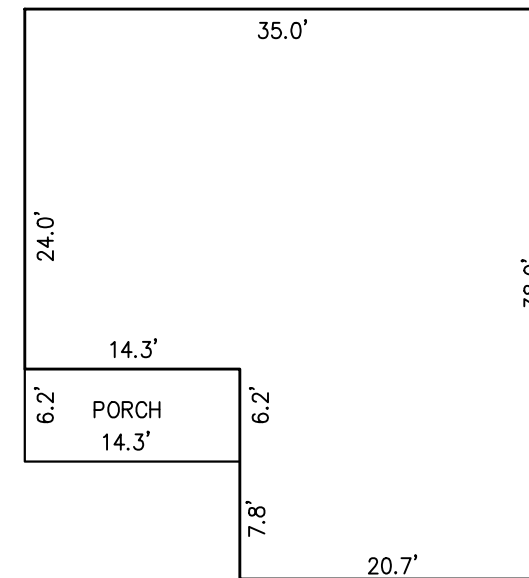
DATE



TAMARIND UNIT DETAIL
NOT TO SCALE



ROSEWOOD UNIT DETAIL
NOT TO SCALE



SANDALWOOD UNIT DETAIL
NOT TO SCALE

LEGAL DESCRIPTION

LOT 1, CSM _____, IN VOLUME _____ OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES _____, AS DOCUMENT NO. _____, DANE COUNTY REGISTRY, BEING A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWN 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN.

OFFICE OF THE REGISTER OF DEEDS
_____ COUNTY, WISCONSIN
RECEIVED FOR RECORD _____
20__ AT _____ O'CLOCK ____ M AS
DOCUMENT NO. _____
IN VOLUME _____ OF CONDOMINIUM
PLATS ON PAGE(S) _____
KRISTI CHLEBOWSKI, REGISTER OF DEEDS
THERE ARE NO OBJECTIONS TO THIS CONDOMINIUM PLAT WITH RESPECT TO CHAPTER 703 WISCONSIN STATUTES AND IS HEREBY APPROVED FOR RECORDING.
DATED THIS ____ DAY OF _____, 20__
DANE COUNTY PLANNING AND DEVELOPMENT

LEGEND

————— PROPOSED BUILDING FOOTPRINT

PREPARED BY:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

PREPARED FOR:
JEFF GRUNDAHL
JG DEVELOPMENT
455 S. JUNCTION ROAD
MAISON, WI 53719

SURVEYED BY: MAL
DRAWN BY: SCH
APPROVED BY: ZMR





Playsets

Hoops & Tramps

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Catalog

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Circus Clubhouse Pkg II Popular (29B)

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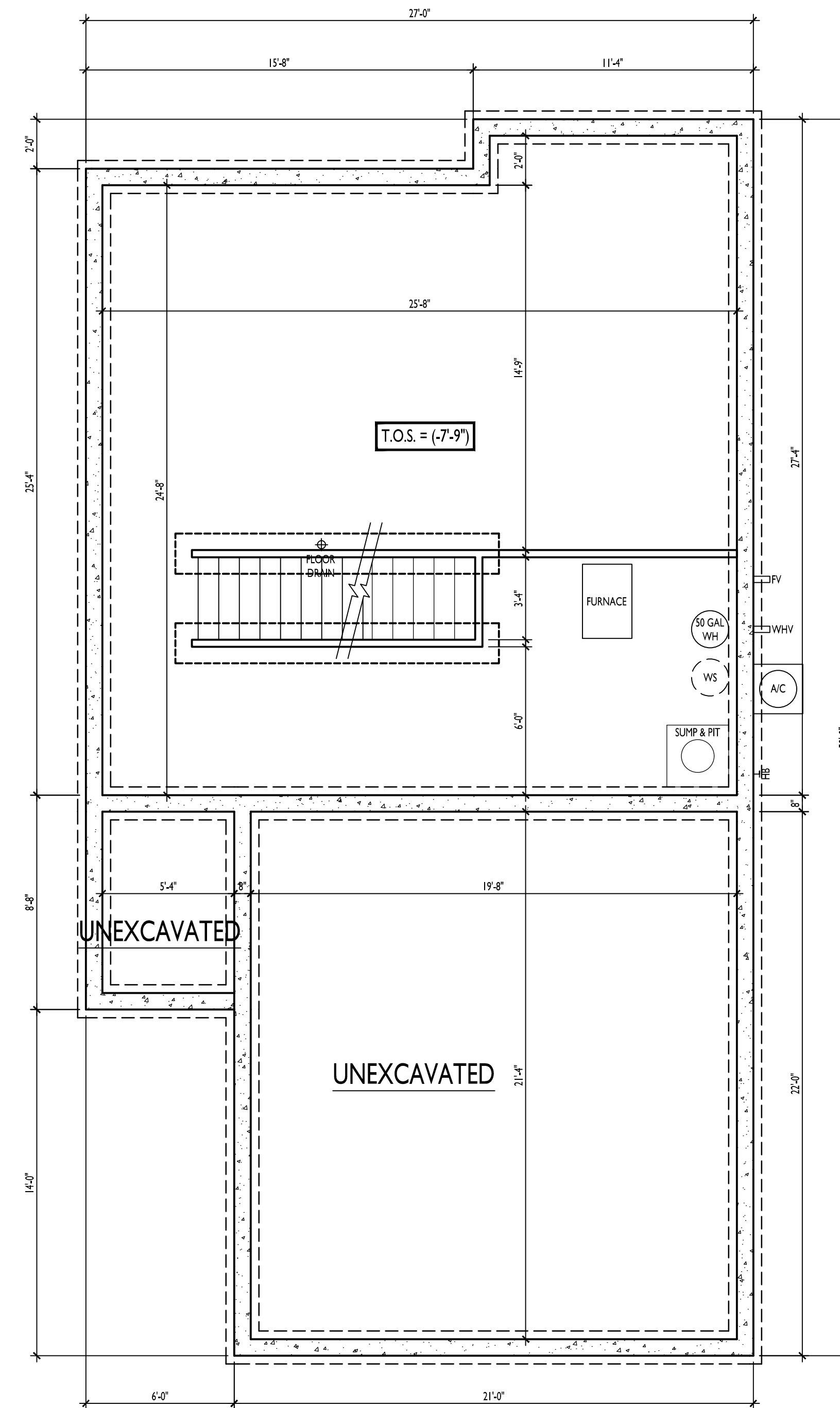
Specs

Features

Weight

1,015 lbs

Notes



Revisions
PRELIMINARY SET:
BID SET:
CONSTRUCTION SET:

Project Title

**HOMEOWNER
BROOKSTONE HILLS
ROSEWOOD-A**

ADDRESS-1
MT. HOREB, WI 53572

Drawing Title

Foundation Plan

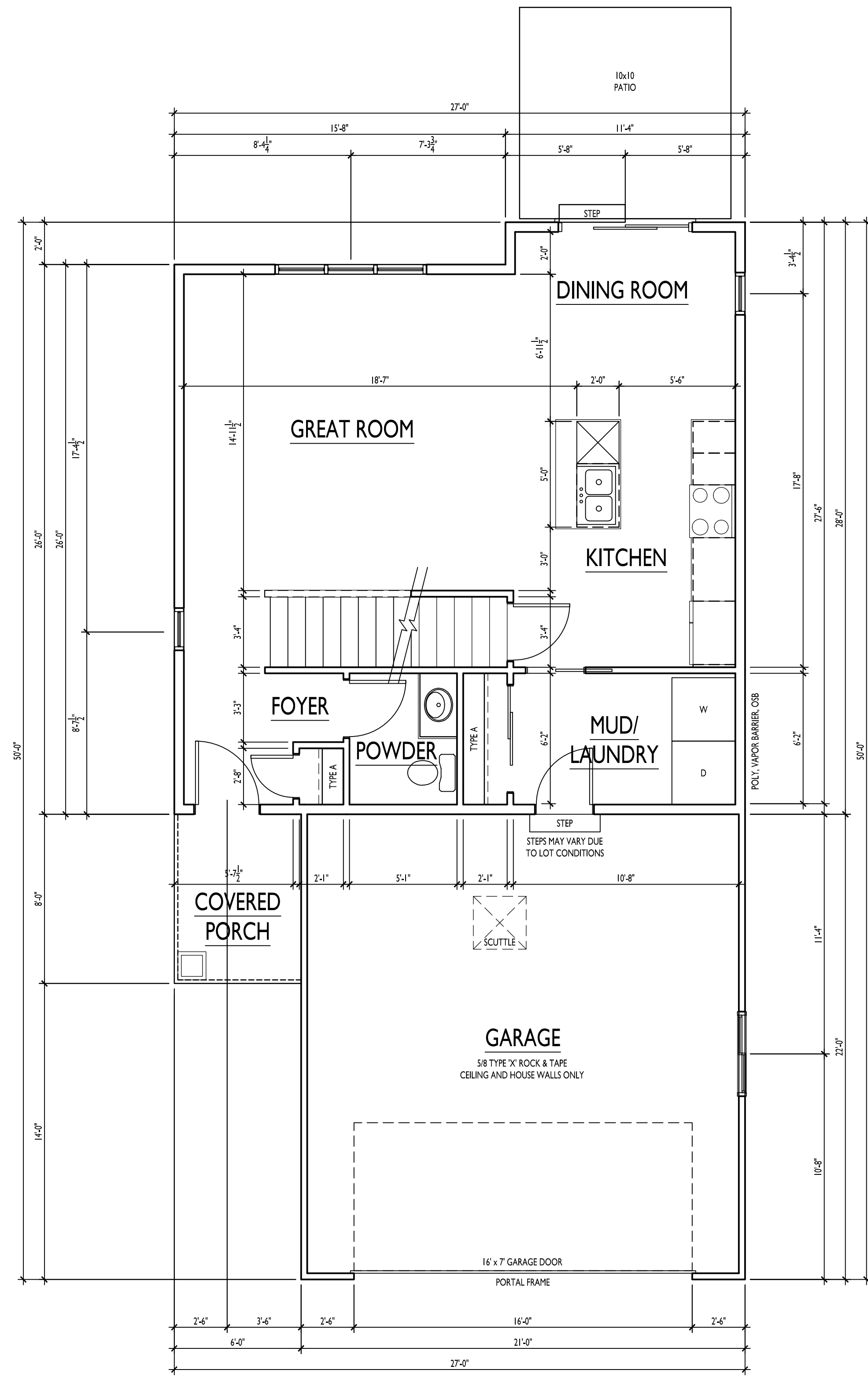
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Project No. Drawing No.

XXX 1 of 5 pages **F1.0**

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Notes



AREA:	
FIRST FLOOR:	675
SECOND FLOOR:	754
TOTAL:	1,390

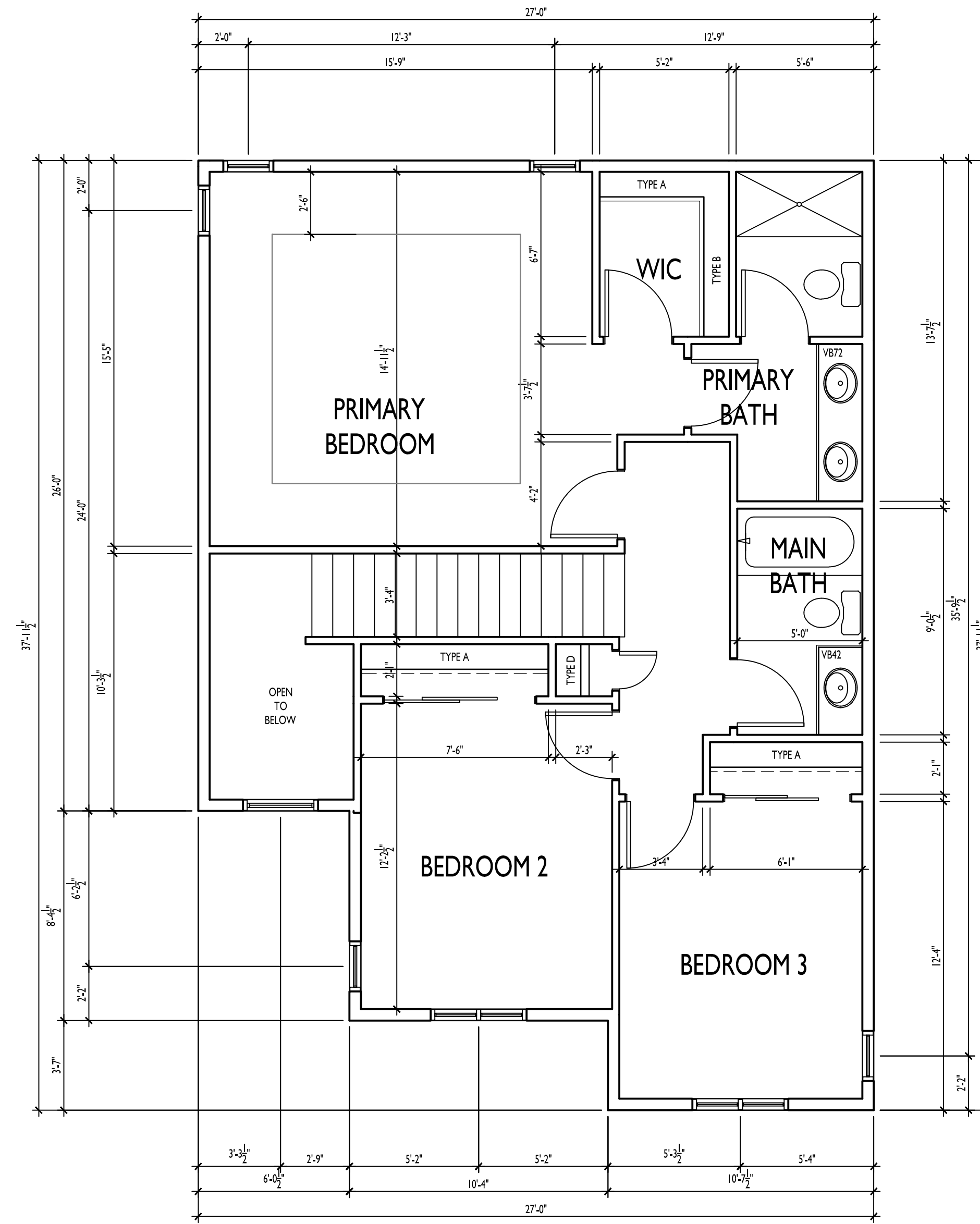
Revisions
PRELIMINARY SET:
BID SET:
CONSTRUCTION SET:

Project Title
**HOMEOwner
BROOKSTONE HILLS
ROSEWOOD-A**
ADDRESS-1
MT., HOREB, WI 53572

Drawing Title
First Floor Plan
Scale: 1/4"=1'-0" 2/20/2026
Project No. Drawing No.

XXX 2 of 5 pages **A1.1**
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Notes



AREA:	
FIRST FLOOR:	675
SECOND FLOOR:	754
TOTAL:	1,390

Revisions
PRELIMINARY SET:
BID SET:
CONSTRUCTION SET:

Project Title

**HOMEOWNER
BROOKSTONE HILLS
ROSEWOOD-A**

ADDRESS - I
MT. HOREB, WI 53572

Drawing Title

Second Floor Plan

Scale: 1/4"=1'-0"

2/20/2026

Project No.

Drawing No.

XXX

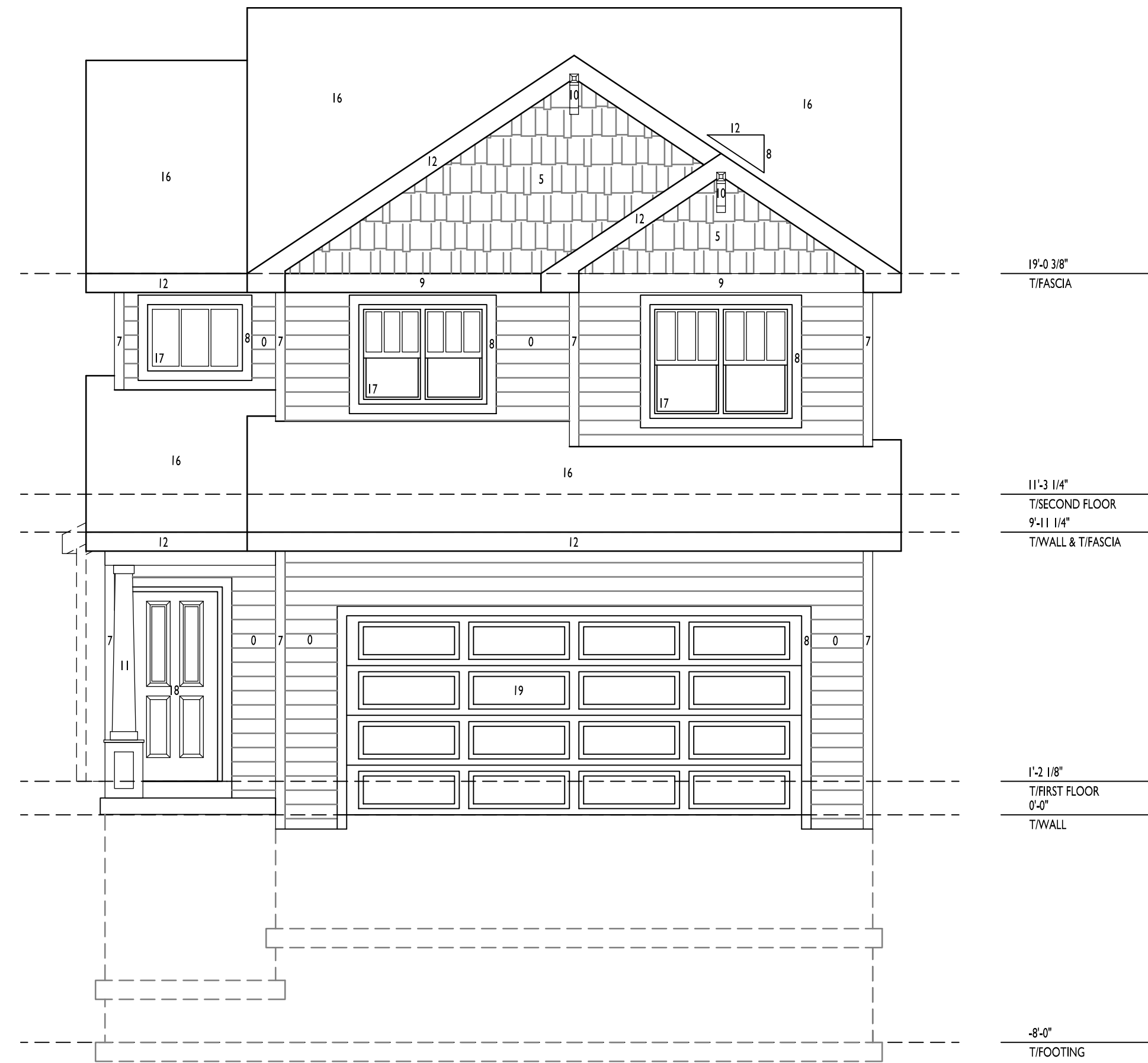
3 of 5 pages

A1.2

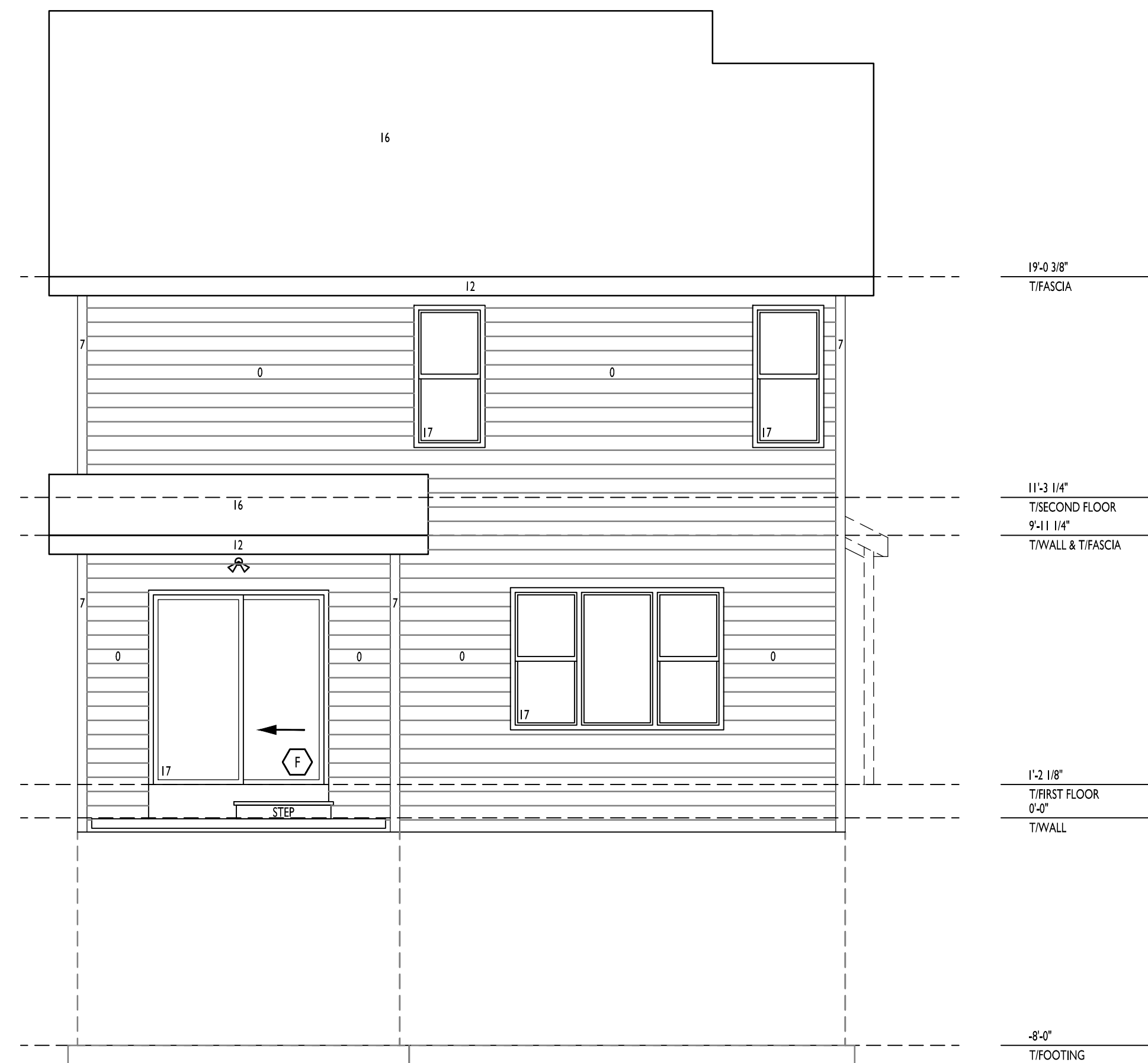
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Notes

- EXTERIOR COLORS:
0. MAIN SIDING (ID-0) = CASTLE STONE
 1. ACCENT SIDING (ID-1) = CHARCOAL GRAY
 2. ACCENT SIDING (ID-2) = PACIFIC BLUE
 3. ACCENT SIDING (ID-3) = N/A
 4. ACCENT SIDING (ID-4) = N/A
 5. SHAKES (ID-5) = N/A
 6. BOARD & BATTEN (ID-6) = N/A
 7. CORNER TRIM (ID-7) = WHITE
 8. WINDOW & DOOR TRIM (ID-8) = WHITE
 9. ACCENT BAND (ID-9) = WHITE
 10. GABLE ACCENTS (ID-10) = N/A
 11. COLUMNS (ID-11) = WHITE
 12. FASCIA (ID-12) = WHITE
 13. SOFT (ID-13) = WHITE
 14. LOUVERSHUTTERS (ID-14) = N/A
 15. MASONRY (ID-15) = BRICK - NEVE
 16. SHINGLES (ID-16) = MATTE BLACK
 17. WINDOWS (ID-17) = WHITE
 18. ENTRY DOOR (ID-18) = WHITE
 19. GARAGE DOOR (ID-19) = WHITE
 20. SERVICE DOOR (ID-20) = WHITE
 21. GUTTERS (ID-21) = WHITE
 22. METAL ROOF (ID-22) = N/A
 23. TRELLIS ROOF (ID-23) = N/A
 24. ALUMINUM RAILING (ID-24) = N/A
 25. DECK FLOORING (ID-25) = N/A



FRONT ELEVATION



REAR ELEVATION

Revisions
PRELIMINARY SET:
BID SET:
CONSTRUCTION SET:

Project Title

**HOMEOWNER
BROOKSTONE HILLS
ROSEWOOD-A**

ADDRESS - I
MT. HOREB, WI 53572

Drawing Title

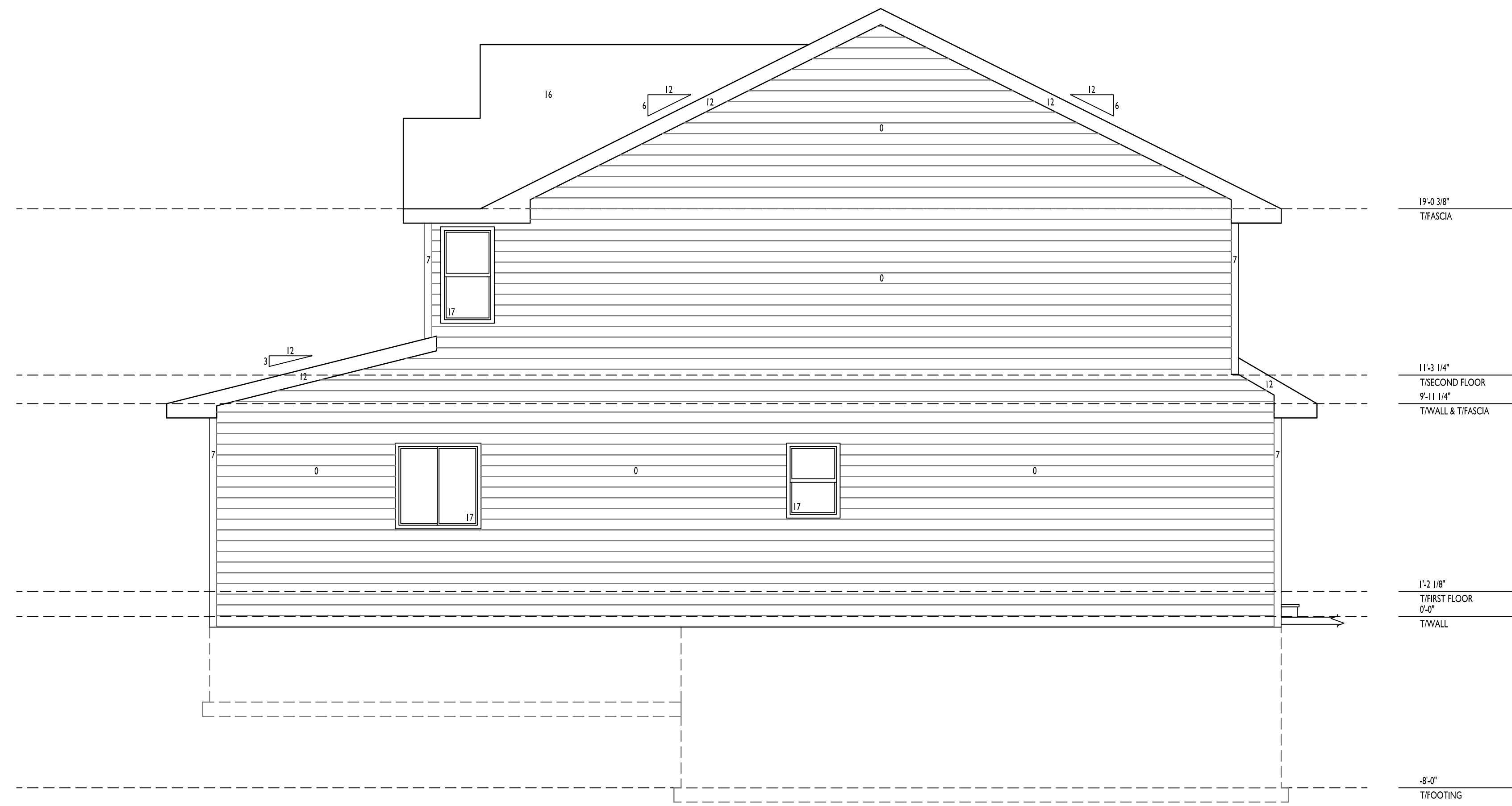
Exterior Elevations

Scale: 1/4"=1'-0" 2/20/2026

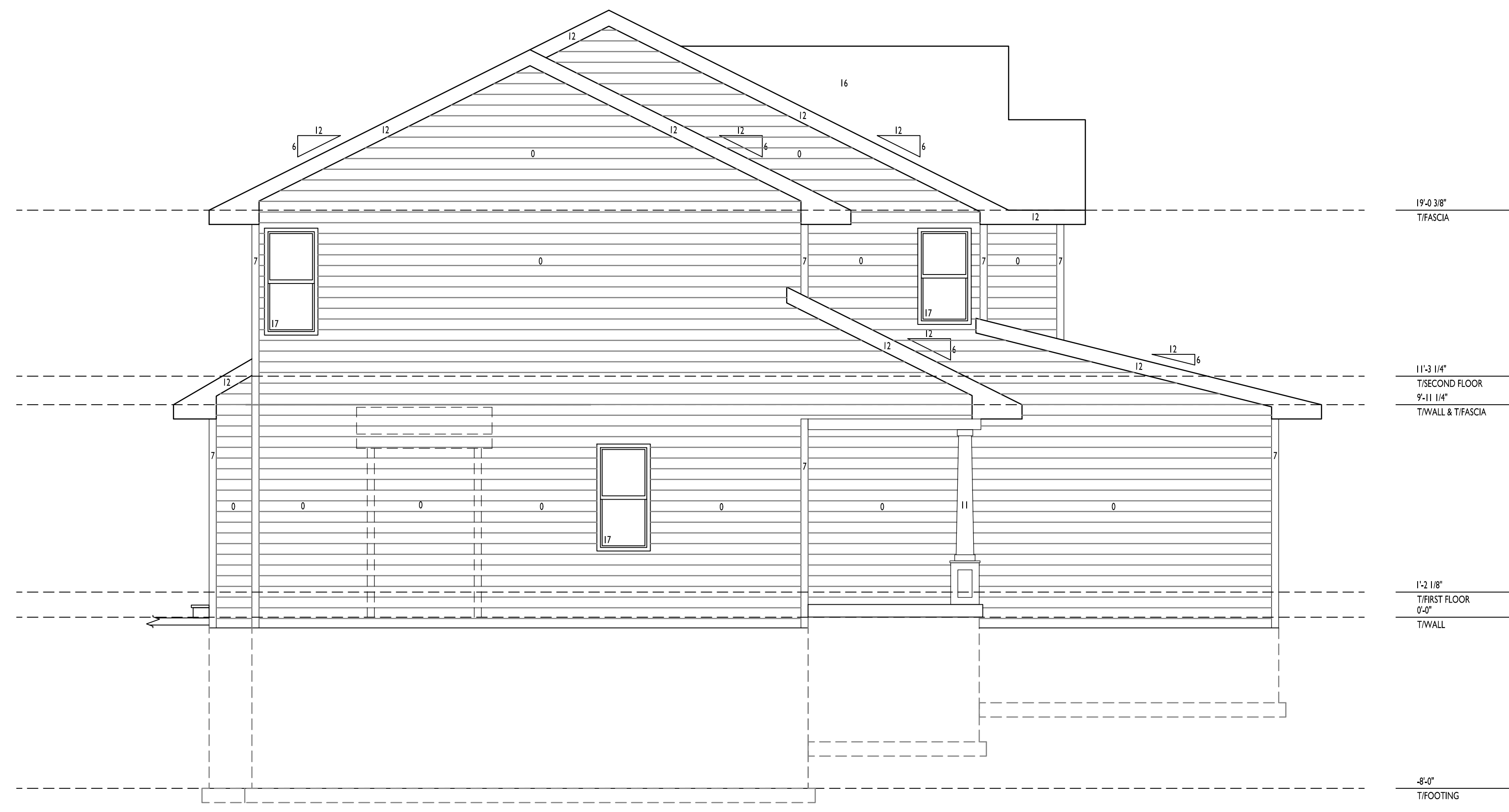
Project No. Drawing No.

XXX 4 of 5 pages **A3.0**

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RIGHT ELEVATION



LEFT ELEVATION

Notes

- EXTERIOR COLORS:
0. MAIN SIDING (ID-0) = CASTLE STONE
 1. ACCENT SIDING (ID-1) = CHARCOAL GRAY
 2. ACCENT SIDING (ID-2) = PACIFIC BLUE
 3. ACCENT SIDING (ID-3) = N/A
 4. ACCENT SIDING (ID-4) = N/A
 5. SHAKES (ID-5) = N/A
 6. BOARD & BATTEN (ID-6) = N/A
 7. CORNER TRIM (ID-7) = WHITE
 8. WINDOW & DOOR TRIM (ID-8) = WHITE
 9. ACCENT BAND (ID-9) = WHITE
 10. GABLE ACCENTS (ID-10) = N/A
 11. COLUMNS (ID-11) = WHITE
 12. FASCIA (ID-12) = WHITE
 13. SOFFIT (ID-13) = WHITE
 14. LOUVER SHUTTERS (ID-14) = N/A
 15. MASONRY (ID-15) = BRICK - NEVE
 16. SHINGLES (ID-16) = MATTE BLACK
 17. WINDOWS (ID-17) = WHITE
 18. ENTRY DOOR (ID-18) = WHITE
 19. GARAGE DOOR (ID-19) = WHITE
 20. SERVICE DOOR (ID-20) = WHITE
 21. GUTTERS (ID-21) = WHITE
 22. METAL ROOF (ID-22) = N/A
 23. TRELLIS ROOF (ID-23) = N/A
 24. ALUMINUM RAILING (ID-24) = N/A
 25. DECK FLOORING (ID-25) = N/A

Revisions

- PRELIMINARY SET:
- BID SET:
- CONSTRUCTION SET:

Project Title

HOMEOWNER
BROOKSTONE HILLS
ROSEWOOD-A
ADDRESS-1
MT. HOREB, WI 53572

Drawing Title

Exterior Elevations

Scale: 1/4"=1'-0" 2/20/2026

Project No. Drawing No.

XXX 5 of 5 pages **A3.1**

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The Valley at Brookstone Hills, A Condominium

Unit Number	Color	Floor Plan	Elevation	Exposure
1	Sterling Gray	Tamarind	B	Rear FULL
2	Pacific Blue	Rosewood	A	Rear FULL
3	Melrose	Tamarind	B	Rear FULL
4	Slate	Rosewood	B	Rear FULL
5	Natural Clay	Tamarind	A	Rear FULL
6	Charcoal Gray	Tamarind	B	Rear HALF
7	Mignight Blue	Sandalwood	A	Side QUARTER
8	Forest	Rosewood	A	Side QUARTER
9	Seagrass	Tamarind	A	Side QUARTER
10	Melrose	Sandalwood	B	Rear HALF
11	Pacific Blue	Tamarind	B	Rear FULL
12	Graystone	Rosewood	B	Rear FULL
13	Espresso	Sandalwood	A	Rear FULL
14	Oxford Blue	Tamarind	A	Rear FULL
15	Forest	Rosewood	A	Rear FULL
16	Slate	Tamarind	B	Rear FULL
17	Flagstone	Sandalwood	B	Rear FULL
18	Seagrass	Rosewood	B	Rear FULL
19	Mignight Blue	Tamarind	B	Rear FULL
20	Melrose	Rosewood	A	Rear FULL
21	Sable Brown	Tamarind	A	Rear FULL



AGENDA ITEM REPORT

MEETING DATE

June 24, 2026

PREPARED BY

AGENDA ITEM # 4.d

Consider the issue of sale/transfer of Village owned land for stormwater purposes

BACKGROUND

Community Developers Hidden Ridge Subdivision Preliminary Plat

RECOMMENDATION

ATTACHMENTS

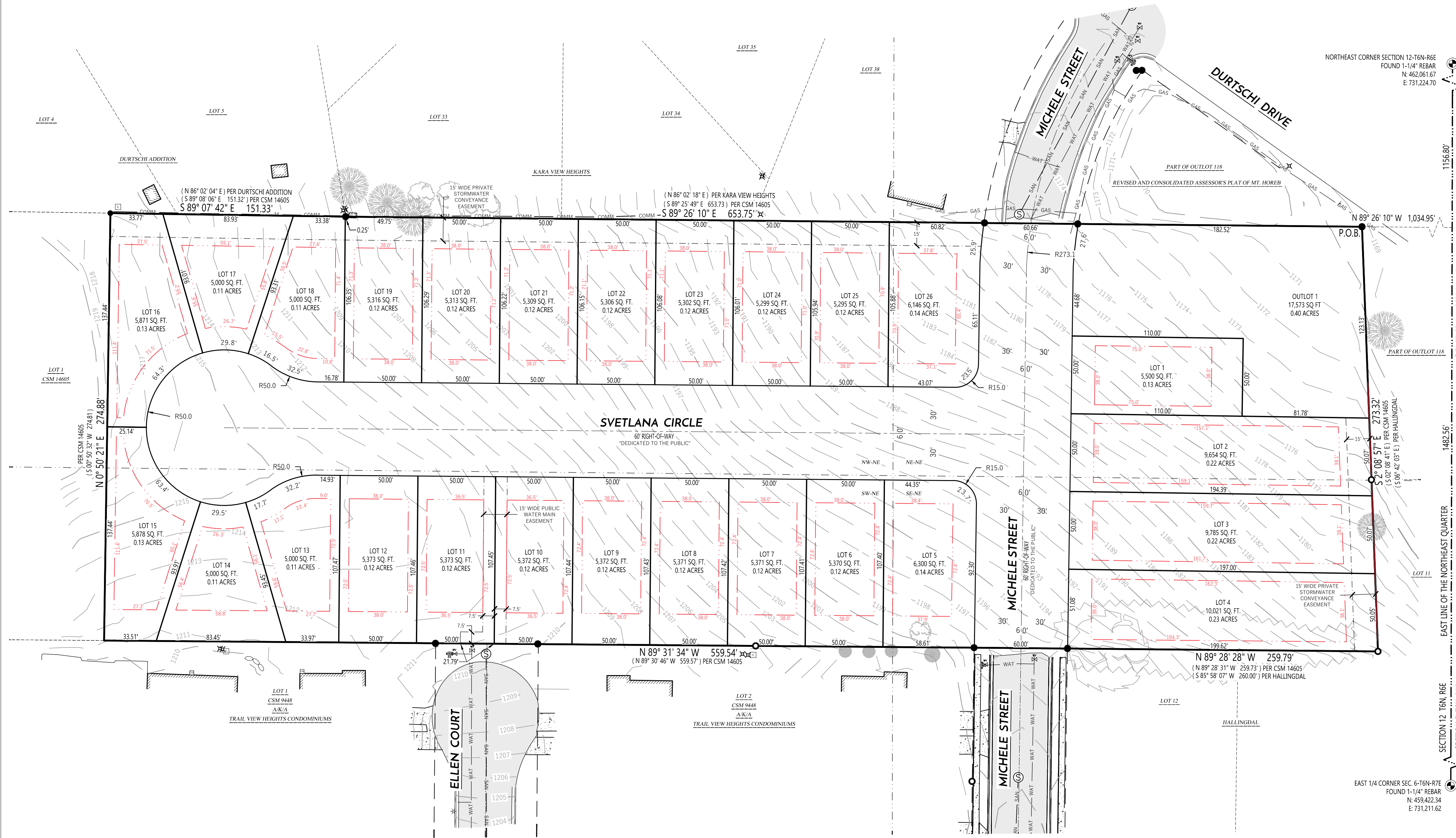
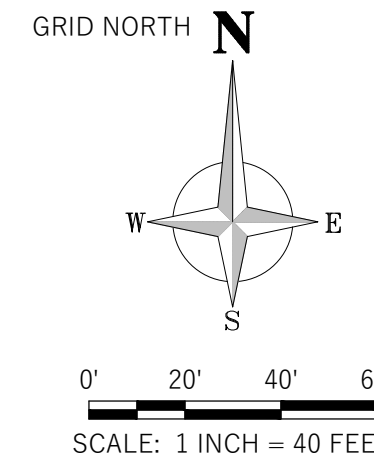
1. Jaycee Park parcel
2. Village Exhibit
3. 1 Preliminary Plat-Hidden Ridge w Setbacks
4. 2 Front Elevation Three Home Concept
5. 3 Rear Elevation Three Home Cocept



PRELIMINARY PLAT of HIDDEN RIDGE

A PART OF THE NW-1/4 OF THE NE-1/4, THE NE-1/4 OF THE NE-1/4, THE SE-1/4 OF THE NE-1/4, AND THE SW-1/4 OF THE NE-1/4 OF SECTION 12, TOWN 6 NORTH, RANGE 6 EAST, VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN.

NORTH REFERENCE FOR THIS SURVEY AND PLAT ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, DANE COUNTY, U.S. SURVEY FOOT, NAD 83 (2011) "WISCONSIN DANE" THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 12 BEARS S 0° 17' 03" W



LEGEND

	FOUND PLS SECTION MONUMENT TYPE NOTED
	SET 3/4"X18" REBAR 1.50 LB/FT
	FOUND 3/4" REBAR
	FOUND 1-1/4" REBAR
	FOUND IRON PIPE, SIZE NOTED
	EXISTING SEPTIC VENT
	EXISTING SANITARY MANHOLE
	EXISTING WELL
	EXISTING UTILITY POLE
	EXISTING UTILITY PEDESTAL
	EXISTING GAS METER
	EXISTING GAS VALVE
	DECIDUOUS TREE
	CONIFEROUS TREE
	VERTICAL BENCHMARK
	RECORDED AS (XXX)
	PLAT BOUNDARY LINE
	RIGHT-OF-WAY LINE
	CENTERLINE
	SECTION/QUARTER LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	SOIL TYPE BOUNDARY
	SETBACKS WHERE NOT TYPICAL
	EDGE OF WOODS / TREE LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING ELECTRIC
	EXISTING COMMUNICATION
	EXISTING NATURAL GAS LINE
	EXISTING STORM SEWER
	EXISTING FENCE LINE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL
	CONTOUR MAJOR
	CONTOUR MINOR

LEGAL DESCRIPTION (AS SURVEYED)

ALL OF LOT 2 CERTIFIED SURVEY MAP NO. 14605 RECORDED SEPTEMBER 15, 2017 IN VOLUME 101 OF CERTIFIED SURVEY MAPS OF DANE COUNTY ON PAGES 106-108 AS DOCUMENT NO. 5357648, BEING A PART OF ALL THE QUARTERS OF THE NORTHEAST QUARTER OF SECTION 12, TOWN 6 NORTH, RANGE 6 EAST, LOCATED IN THE VILLAGE OF MOUNT HOREB, DANE COUNTY, WISCONSIN.
ABOVE DESCRIBED AREA CONTAINS 222,168 SQUARE FEET OR 5.10 ACRES.

SURVEYORS CERTIFICATE

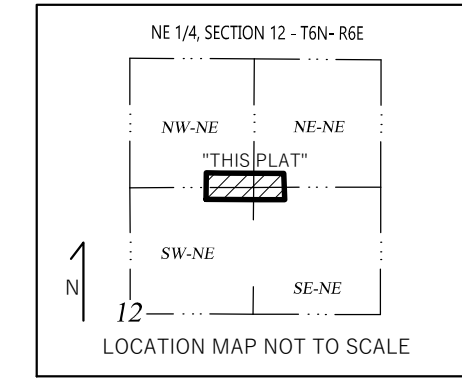
I, ZACHARY M. REYNOLDS, WISCONSIN PROFESSIONAL LAND SURVEYOR S-3223, DO HEREBY CERTIFY THAT THIS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE INFORMATION PROVIDED, BY THE ORDER OF THOSE LISTED HERON, AND THAT THIS SURVEY COMPLIES WITH AE 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND THE PROVISIONS AS STATED IN CHAPTER 18 - SUBDIVISION AND PLATTING OF THE VILLAGE OF MOUNT HOREB - CODE OF ORDINANCES.

ZACHARY M. REYNOLDS, S-3223
WISCONSIN PROFESSIONAL LAND SURVEYOR

DATE _____

NOTES

- FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC. ON MARCH 23-24, 2026.
- NORTH REFERENCE FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, NAD 83 (2011) GRID NORTH, THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 12 BEARS S 0° 17' 03" W.
- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
- WYSER ENGINEERING HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAN AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 - 2012b ADJUSTMENT (NAVD88(12b)).
- SUBSURFACE UTILITIES AND FIXTURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFACE FEATURES AND ACCESSORIES, DIGGERS HOTLINE FIELD MARKINGS AND EXISTING MAPS AND RECORDS.
- CONTOUR INTERVAL ARE 1 FOOT AND HAVE BEEN DETERMINED BY FIELD DATA.
- SUBJECT PARCEL LIES IN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP NO. 55025C0365G DATED JANUARY 02, 2009.
- CURRENT PARCEL ZONING IS AG (AGRICULTURAL) FOR THE ENTIRE PARCEL.
- ALL STREET RIGHT-OF-WAYS SHOWN WITHIN THE PLAT BOUNDARY ARE TO BE "DEDICATED TO THE PUBLIC".
- ALL OUTLOTS ARE TO BE PRIVATELY HELD AND MAINTAINED FOR OPEN SPACE PURPOSES AND EASEMENTS GIVEN TO THE PUBLIC FOR STORMWATER MANAGEMENT AND RECREATIONAL PURPOSES ACROSS THEM.



SURVEYOR/ENGINEER/PLANNER:
WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

SUBDIVIDER:
BVD LLC
515 REID DRIVE
MOUNT HOREB, WI 53572

OWNER:
BVD LLC
515 REID DRIVE
MOUNT HOREB, WI 53572

HIDDEN RIDGE | MOUNT HOREB, WI

CONCEPT RENDERING - VIEW FROM STRAIGHT SECTION OF SVETLANA CIRCLE

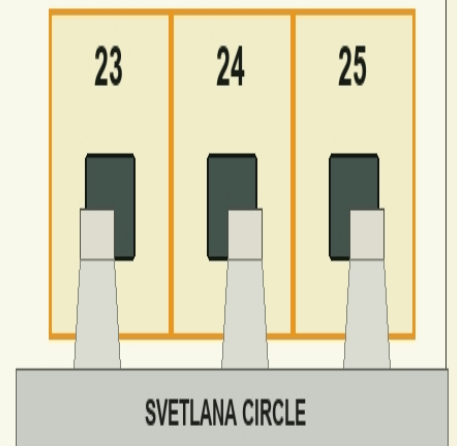


TYPICAL RANCH HOME

- Lots 23, 24, and 25 focus
- Single-family ranch style
- Less than 1,500 sq ft each
- Attached 2-car garage + front porch
- Driveways connect to Svetlana Cir.
- Lot 23 left-side driveway
- Lots 24-25 right-side driveways
- Right side basement exposure

LOTS 23-25 | PLAT-BASED LAYOUT

Lots 23-25 only | straight section of Svetlana Circle





LOT 25

LOT 24

LOT 23



AGENDA ITEM REPORT

MEETING DATE

June 24, 2026

PREPARED BY

AGENDA ITEM # 5.c

Building Inspector Report

BACKGROUND

RECOMMENDATION

ATTACHMENTS

1. May Permits & Inspector Update



Building Department Report

May 2026 Permits

- 2 general commercial permits
- 1 pending demolition permit for the Karakahl Inn
- 3 single family residential – Brookstone Hills and Windflower Way
- 2 duplexes – Field Court
- 45 general residential permits

Commercial Project Progress Report June 16, 2026

1881 Springdale Street

Partial occupancy has been authorized for the residential portion of the project. Remaining closeout items are being completed before final occupancy, and the Edward Jones tenant space continues through normal inspection closeout.

105 W Front Street / Front Street Station

Construction activity continues on the Front Street Station project. Required inspections and plan approvals continue to be coordinated as the project advances.

207 Academy Street / Primary Center

Footing and foundation work has begun for the Primary Center project. The permit has been issued, and site work remains active.

900 E Garfield Street / Middle School

The Middle School renovation permit has been approved. The project includes construction of two new bathrooms within the existing boys locker room, select window replacement, and related trade work.

1290 Springdale Street / Neff Ace Hardware

The Neff Ace Hardware interior project is underway. Rough inspections have begun, and normal inspection follow-up items are being addressed as construction continues.

Prepared by: Ryan Lindsey, 3C Inspect LLC